

McCALL AREA PLANNING AND ZONING COMMISSION

Agenda

April 4, 2023 – 4:30 p.m.

McCall City Hall – Lower Level & MStTeams Teleconference
216 E Park St, McCall, ID 83638

This meeting will be a hybrid, in-person and virtual meeting. Use a phone to call 208-634-8900, when prompted enter **Conference ID 205 293 751#**. If there are any questions, contact Brian Parker, City Planner (bparker@mccall.id.us).

The Legion Hall's Occupancy Capacity is 32. The Commission Members and staff who are anticipated to be in attendance is 8. The first 24 persons who appear will be allowed to be present in the meeting location. All other persons may be in attendance virtually.

American with Disabilities Act Notice: The Planning & Zoning Meeting room is accessible to persons with disabilities. If you need assistance, please contact City Hall at 634-7142 at least 48 hours prior to the meeting. Planning & Zoning Meetings are available for in person and virtual attendance.

MEETING – Begins at 4:30 p.m.

CALL TO ORDER AND ROLL CALL – Commissioners Robert Lyons (Chair), Christina Nemec, Ryan Kinzer, Liz Rock, Tony Moss, Tom Mihilfeith, Dana Paugh

1. REVIEW & APPROVAL OF MINUTES

- February 1, 2023 Minutes (Training)
- March 7, 2023 Minutes

2. PRELIMINARY DEVELOPMENT PLAN REVIEW MEETINGS

Pre-App: Conditional Use Permit – Agricultural Structure – IMPACT AREA

TBD Oakwood Rd – Martin Potucek

A pre-application for a Conditional Use Permit to construct and operate an agricultural shed structure as the primary structure and use on a Residential property. Shed will provide propagation space and storage for landscaping materials and will not require utilities. The Property is Zoned R4 – Low Density Residential and is more particularly described as:

Lot 13 of Group D of Payette Lakes Club Subdivision, situate in the SE ¼ of the SE ¼ of Section 6, T18N, R3E, B.M., Valley County, Idaho.

Not A Public Hearing

3. CONSENT AGENDA

All matters which are listed within the consent section of the agenda have been distributed to each member of the McCall Area Planning and Zoning Commission for reading and study. Items listed are considered routine by the Commission and will be enacted with one motion unless a commissioner specifically requests it to be removed from the Consent Agenda to be considered separately. Staff recommends approval of the following ACTION ITEMS:

SR-23-02 ONLY (ACTION ITEM)

1013 Kaitlyn Loop – John Gonda for Vickie & Louie Fund

An application for Scenic Route Review of a new single-family dwelling along the Lick Creek Road Scenic Route, with Design Approval granted by the Architectural review committee of Lick Creek Meadows Subdivision. The structure is located within the R4 – Low Density Residential Zone, is located within Lick Creek Road Scenic Route and is more particularly described as:

Lot 28 of Block 2 of Phase 2 of the Lick Creek Meadows Subdivision, situate in the SE ¼ of Section 3, T18N, R3E, B.M., City of McCall, Valley County, Idaho

Not A Public Hearing

Findings of Fact & Conclusions of Law from March 7, 2023, P&Z Commission Agenda & Review

DR-23-02 & SR-23-01 (ACTION ITEM)

2078 Warren Wagon Rd – Courtney Bork for Gregg & Sallee Middlekauf

An application for Design Review to construct new single-family residence totaling 2,781 square feet with an attached garage to replace an old cabin on site. The property is zoned R4 – Low Density Residential; is located along the Warren Wagon Rd Scenic Route and is more particularly described as:

Lot 3 of Block 1 of the Amended Pinecrest State Subdivisions, Situate in Section 32, T19N, R3E, B.M., Valley County, Idaho.

4. OLD BUSINESS

DR-22-27 & SH-22-05 (ACTION ITEM)

1410 Mill Rd – David Carey & Wayne Ruemmele – ‘The Glass House’

An application for Design Review and Shoreline Review to entitle the renovation of an existing building, and landscaping improvements to support a variety of commercial uses. The property is zoned CBD – Central Business District; is located within the Shoreline Zone of Payette Lake; is within the Railroad Avenue Urban Renewal District (Sunset in 2022) and is more particularly described as:

Lots 7-10 of Block 5 of McCall’s First Addition, situate in Section 9, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

PUBLIC HEARING

DR-23-01 & SH-23-01 (ACTION ITEM)

2255 Edgemere Lane – Eric Anderson for Colby Smith

An application for Design Review to construct a new single family home totaling 3,821 square feet along and new landscaping along the lakefront of Payette Lake. The property is zoned R4 – Low Density Residential; is within the Shoreline Environs Zone of Payette Lake and is more particularly described as:

Lot 12 of the Luck’s Point Subdivision less Tax No. 32, situate in Section 26, T19N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Continued on following page

5. NEW BUSINESS

DR-23-04 & SR-23-08 (ACTION ITEM)

TBD Stibnite St – Kerstin Dettrich for McCall Donnelly Joint School District

An application for Design Review to develop the school district staff housing site and review necessary site planning and entitle the construction of one (1) cottage and one (1) multifamily building with eight (8) units. The property is zoned R8 – Medium Density Residential; and is more particularly described as:

Part of Tax Parcel No. 80 in the NW ¼ of the N/W ¼ of Section 16, T18N, R3E, B.M., City of McCall, Idaho

PUBLIC HEARING

DR-23-03 (ACTION ITEM)

651 Stockton Dr – Leo Stoddard (IMPACT AREA)

An application for Design Review to construct a new single-family residence totaling 7,738 square feet with an attached garage and covered wrap-around porch.. The property is zoned R1 – Residential 1 Acre; and is more particularly described as:

Tax No. 43, Lot 15 of Block 1 of the West Place Subdivision, Situate in the NE ¼ of the SW ¼ of Section 15, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

CUP-23-01 (ACTION ITEM)

1755 Warren Wagon Rd – Clare Dreyer (IMPACT AREA)

An application for a Conditional Use Permit Application for a CUP to entitle a commercial business (Salon & Retail) in a residential zone. The property is zoned R4, is located along the Warren Wagon Rd Scenic Route, and is more particularly described as:

Tax No. 28 in Gov't Lot 2, situate in Section 5, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

FP-23-01 & PUDF-23-01 (ACTION ITEM)

River Ranch Phase 2 – Devon Spickard for the River Ranch Company

An application for a final plat and final development plan for a 27 lot subdivision on a 126.67 acre parcel. 26 of the parcels are residential, and one (1) parcel is a non-buildable common lot. The property is zoned RE –Residential Estate; and is more particularly described as:

Located in the S ½ of Section 20 and the N ½ of Section 29, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

Not A Public Hearing

6. OTHER

- Haze Noble – Senior Project: Analysis of the McCall Design Guidelines (INFO ONLY)
- Signs approved administratively
~~–McCall Airport Sign Plan~~ **INCOMPLETE**
- Review Letters of Interest for Planning & Zoning Commission Seat and Recommend Appointment to McCall City Council (City) (ACTION ITEM)
- **Upcoming Meeting Agenda – May 2, 2023 - Tentative**
 - DR-23-05 & SR-23-03 – 120 E Lake St – Single Family Dwelling
 - DR-23-06, SR-23-05 & SH-23-05 – 149 E Lake St – Food Truck Court
 - DR-23-07 & SH-23-02 -1870 Warren Wagon Rd – Single Family Dwelling

- DR-23-08 & SH-23-04 – 1844 Warren Wagon Rd – Single Family Dwelling
- DR-23-09 & SR-23-06 – 997 Squirrel Lane – Single Family Dwelling
- DR-2310 & SR-23-07 – 2212 Warren Wagon Rd – Single Family Dwelling
- CUP-23-02 – 507 1st St – STR Occupancy > 10 Persons
- SUB-23-01 – TBD Stockton Dr – Torres 2 Lot Subdivision
- FP-23-02 & PUDF-23-02 – TBD Chad Dr – Coy Estates Final Plat & Plan

7. ADJOURNMENT

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SR-23-08 – This Application Number had not been assigned due to an administrative error in the application system, however the project was applied for under both Design Review and Scenic Route Review along the Mission Street Scenic Route Corridor.

McCALL AREA PLANNING AND ZONING COMMISSION

Minutes

February 1, 2023 – 4:00 p.m.

McCall City Hall – Lower Level & MStTeams Teleconference
216 East Park Street, McCall, ID 83638

COMMISSION MEETING – Began at 4:00 p.m.

CALL TO ORDER AND ROLL CALL – Commissioners Robert Lyons (Chair), Ryan Kinzer, Liz Rock, and Tony Moss were present. Christina Nemec and Tom Mihlfeith were absent. Bill Punkoney (City Attorney), Brian Parker (City Planner), Michelle Groenevelt (CED Director), Meredith Todd (Assistant Planner), Amanda Payne (LOT & STR Administrator), Nathan Stewart (Public Works Director), and Morgan Stroud (Staff Engineer) were also present.

1. Review of Due Process and Open Meeting Laws

Bill Punkoney reviewed the Due Process and Open Meeting Laws with the commission and spent the most time answering questions about quasi-judicial decision making, what constitutes an ex parte communication, and the role the Land Use Planning and Planning Commissions play in administering and balancing property rights with community values.

2. Review of Short Term Rental Code Standards

Amanda Payne (LOT & STR Administrator) and Michelle Groenevelt provided a summary of the active, new Short Term Rental regulations and the webpage resources offered to prospective vacation property owners. They reviewed the reduction in maximum occupancy from 4 persons per bedroom to 2 persons per bedroom plus 2 additional persons, as well as requiring every property to hold a business license. Staff mentioned it would still take time to see the impact of these code changes on reducing neighborhood impacts.

Commissioner Moss asked whether a timeline for adoption of this code amendment by the Board of County Commissioners so that residents of the Impact Area could benefit from increased protection was on the horizon. Ms. Groenevelt indicated the hope was to bring a batch of Code Amendments for work sessions with the BOCC throughout 2023.

3. Effective Reading of Meeting Packet Materials/Opportunities for Improvement

Brian Parker reviewed his best recommendations for reading the hundreds of pages long packets with the most efficiency and important detail, emphasizing the role of Staff Reports, Code Analysis, Plan Sets, and using your familiarity with size scale, and known objects in the community as reference points on size. Commissioners mentioned having sample motion starters within the staff report would be helpful to reduce the fumbling over motions. Commissioners also asked for future information regarding further questions and materials the Commission may be allowed to ask for that the applications do not require in order to be submitted such as Environmental Assessments, Traffic Impact Studies, or other relevant details to community impacts.

4. Discussion on Engineering Standards in Relation to Planning & Zoning Applications

Nathan Stewart and Morgan Stroud presented a short discussion of the importance of having an Engineering Review and Recommendation prior to approving Land Use Applications, as often times Engineering standards may require some re-designing of the site to occur for stormwater, drainage, and utility management to be effective. The Engineering staff mentioned that this is important in many cases to have reviewed in addition to being a condition of approval because the contents of engineering

reports and plans is not easy for the public or many other industry professionals to address in a Design context, so the need to take the time to get the engineering right is all the more valuable.

5. Adjournment

Commissioner Moss made a motion to adjourn. Commissioner Rock seconded. All commissioners voted aye and the meeting adjourned at 6:25pm.

Signed:

Attest:

Robert Lyons, Chairman
McCall Area Planning and Zoning Commission

Brian Parker
City Planner

McCALL AREA PLANNING AND ZONING COMMISSION

Minutes

March 7, 2023 – 4:30 p.m.

McCall City Hall – Lower Level & MStTeams Teleconference
216 E Park St, McCall, ID 83638

MEETING – Began at 4:30 p.m.

CALL TO ORDER AND ROLL CALL – Commissioners Robert Lyons (Chair), Christina Nemec, Ryan Kinzer, and Liz Rock were present; Commissioner Tom Mihlfeith arrived at 4:50pm; Commissioner Tony Moss was absent. Brian Parker (City Planner), Bill Nichols (City Attorney), Meredith Todd (Assistant Planner), Michelle Groenevelt (CED Director), and Morgan Stroud (Staff Engineer) were also present.

1. REVIEW & APPROVAL OF MINUTES

- February 7, 2023 Minutes

Commissioner Nemec moved to approve the February 7 2023 PZ Minutes, Commissioner Rock seconded. All commissioners voted aye and the motion carried.

2. PRELIMINARY DEVELOPMENT PLAN REVIEW MEETINGS

Pre-App: Conditional Use Permit –STR Occupancy > 10

1190 Majestic View Dr – Peter Mikkola

An Application for a Conditional Use Permit to utilize an existing Single-Family Home as a Short-Term Rental with an occupancy exceeding 11 people. The Property is Zoned R4 – Low Density Residential and is more particularly described as:

Lot 7 of Block 12 of Spring Mountain Ranch Subdivision No. 3, situate in the N ½ of Section 10, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

Not A Public Hearing

Peter Mikkola of 2929 S Grebe Pl in Boise and owner of 1190 Majestic View Dr presented his pre-application for an STR with an occupancy of more than 10. The STR would be managed by Mr. Mikkola and a local property management company (Tyler Busby w/ North Fork Property Management) in McCall. The property is located in Spring Mountain Ranch Subdivision and been used as an STR in history and has not recorded any major issues or incidents with renters or the surrounding neighborhood.

3. CONSENT AGENDA

All matters which are listed within the consent section of the agenda have been distributed to each member of the McCall Area Planning and Zoning Commission for reading and study. Items listed are considered routine by the Commission and will be enacted with one motion unless a commissioner specifically requests it to be removed from the Consent Agenda to be considered separately. Staff recommends approval of the following ACTION ITEMS:

Findings of Fact & Conclusions of Law from February 7, 2023, P&Z Commission Agenda & Review

CUP-21-03, DR-21-33 (ACTION ITEM)

111 N Samson Trail – Design West Architects & Paragon Consulting for MDSD

An application for a Conditional Use Permit and Design Review to expand the existing use permitted to the school district by constructing an addition of approximately 12,000 sq. feet of classroom

space on the Payette Lakes Middle School, as well as level out the school campus playing field and update the traffic circulation between the Middle School and Barbara Morgan Elementary School. The property is zoned CV – Civic and is more particularly described as:

A parcel of land situated in the S ½ of the NW ¼ of Section 15, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

SUB-22-06, CUP-22-06, DR-22-23, SR-22-15 (ACTION ITEM)

209-217 Simmons Street – Steve Callan of Synergy Structures

An Application for A Subdivision Preliminary Plat, Conditional Use Permit, Design Review, and Scenic Route Review to construct a 5-unit, mixed-use townhouse project including commercial workshop space on the ground floor and residential space on the upper floor. The Property is zoned I – Industrial, is within the Mission Street Scenic Route Overlay, and is more particularly described as:

Lots 5-9 of Block 2 of the Riverside Subdivision, situate in the W ½ of the NW ¼ of the SW ¼ of Section 16, T18N, R3E, B.M., City of McCall, Idaho.

DR-22-26 & SR-22-16 (ACTION ITEM)

300 N Mission St – Charlie Morgan for Idaho Regular Baptist Bible Camp dba Camp Pinewood

An Application for Design Review and Scenic Route Review to construct two (2) additions on an existing bunkhouse structure. The Existing structure totals ~ 2,500 square feet. The West Addition proposes an additional 864 square feet, and East Addition proposes 930 square feet. The proposed new total bunkhouse square footage would be ~4,300 square feet. The Property is zoned R8 – Medium Density Residential and is more particularly described as:

Tax #379 situate in the SE ¼ of the SE ¼ of Section 8; part of the NE Section of Section 17 within the Mission Subdivision, T18E, R3E, B.M., City of McCall, Valley County, Idaho.

DR-22-28 (ACTION ITEM)

2225 Payette Dr – Claire Remsberg for William and Julie Loomer

An application for Design Review to construct a new single family residence totaling 4512 square feet, including an attached garage and covered patio areas. The existing ‘Shabbin’ totaling 256 square feet will be partially removed, but remain as accessory to the new single family residence. The property is zoned R4 – Low Density Residential and is more particularly described as:

Lot 2 of Block 8 of the Amended Cedar Knoll Acres State Subdivision, situate in portions of Sections 32 and 33, T19N, R3E, B.M., Valley County, Idaho.

Commissioner Rock moved to approve the consent agenda, Commissioner Nemec seconded. All commissioners voted aye and the motion carried.

4. OLD BUSINESS

No Old Business was discussed

5. NEW BUSINESS

DR-22-27 & SH-22-05 (ACTION ITEM)

1410 Mill Rd – David Carey & Wayne Ruemmele – ‘The Glass House’

An application for Design Review and Shoreline Review to entitle the renovation of an existing building, and landscaping improvements to support a variety of commercial uses. The property is

zoned CBD – Central Business District; is located within the Shoreline Zone of Payette Lake; is within the Railroad Avenue Urban Renewal District (Sunset in 2022) and is more particularly described as:
Lots 7-10 of Block 5 of McCall’s First Addition, situate in Section 9, T18N, R3E, B.M., City of McCall , Valley County, Idaho.

PUBLIC HEARING

Wayne Ruemmele of Epikos Design & Planning at 301 Colorado St and David Carey of 1389 Lang Ct in McCall presented their application for Shoreline & Design Review at “The Glass House.” Much of the earlier design/renovation work at the Glass House thus far was completed through the Administrative Approval process, and this final review is to include and put a wrap on the completion of the project’s stormwater/drainage design. Some of the work will be the responsibility of the Glass House and some will be the responsibility of the City. Mr. Carey mentioned that the most renovation work has entailed interior work, and a limited deck/retaining wall through Administrative Approval. The biggest challenge for Mr. Carey was ultimately defining the use to best conform with the Commercial Use Standards.

Brian Parker, City Planner, provided the Staff Report and described the chain of Administratively approved improvements that had occurred up to this point and that the final need is the Design Review approval of the Site/Landscaping/Stormwater Plan with a request for either the construction of sidewalks along the property perimeter. Michelle Groenevelt CED Director and Urban Renewal Liaison provided context on the history of the Lake St Street-Design that was paid for through the Railroad Urban Renewal District before the District closed out. Now that the District is closed out, construction of the sidewalks cannot be funded through Urban Renewal. Bill Nichols, City Attorney, described the legal process for exacting public improvements and that it isn’t an uncommon requirement for development in commercial contexts. [Commissioner Mihlfeith joined the meeting at 4:50pm]

Commissioner Kinzer asked staff to elaborate on the extent of ‘All Public improvements’ included in the Staff Report and Mr. Parker listed all surrounding sidewalks, parking spaces, curb ramps and striping.

Chairman Lyons opened and closed the Public Hearing with no additional comment from the public.

- Kim Johnson’s Email dated 3-7-2023 is included as an attachment to these minutes.

Mr. Carey provided a rebuttal of the Staff and Code requests relating to the requirement for public improvements and commented that with this project and the low level of renovation completed, he felt that requiring all public improvements on the full surrounding site with a large amount of parking without the investment from the Urban Renewal District would be large in comparison to the impact of the Glass House renovation.

Chairman Lyons asked Mr. Carey and Mr. Ruemmele to what extent they had been made aware of the sidewalk designs or the requirement/need for sidewalks as they were doing the Administrative Approval projects, the applicants indicated they had known a sidewalk of some kind was foreseen, but not that a design as elaborate as that paid for by the McCall Redevelopment Agency would be requested. He indicated a cost share with help from the City would be helpful. Ms. Groenevelt mentioned that while the Urban Renewal District had provided a vague master plan for this Waterfront area in 2005, the design was paid for in 2021 by the MRA with the intent of creating a shovel ready project for when private development should occur.

Commissioners discussed wanting to know more about the possible balance between asking the City and Applicant to look deeper into a more reasonable and proportional share of improvements instead of

all the improvements. Mr. Nichols described the best suggestion the Commission might be able to make to guide staff to work with the applicants on a proportional improvement requirement using a cost estimate for public improvements (from the applicant engineer), cost sheet for project expenses incurred to date, and exploring the impact of the change of use/landscaping excluding the construction cost of interior. Ms. Groenevelt provided some context about the public improvements in the area being a balance between the design that was paid for by the now Sunset Railroad Urban Renewal District and the responsibility of development to construct the improvements as specified along the frontage of properties, city wide. While if the Railroad District had been in operation longer, it may have been a possibility for the district to invest further in sidewalks, the new Urban Renewal District (Downtown West) cannot expend its funds outside of its boundary area.

Commissioner Nemec moved to continue DR-22-27 and SH-22-06 and the Public Hearing to April 4th and asked staff/applicant to further clarify proportional share of public improvements surrounding the site. Commissioner Rock seconded.

A roll call vote was held:

Robert Lyons - Yes

Christina Nemec - Yes

Liz Rock - Yes

Ryan Kinzer - Yes

Tom Mihlfeith - Yes

DR-23-02 & SR-23-01 (ACTION ITEM)

2078 Warren Wagon Rd – Courtney Bork for Gregg & Sallee Middlekauf

An application for Design Review to construct new single-family residence totaling 2,781 square feet with an attached garage to replace an old cabin on site. The property is zoned R4 – Low Density Residential; is located along the Warren Wagon Rd Scenic Route and is more particularly described as:

Lot 3 of Block 1 of the Amended Pinecrest State Subdivisions, Situate in Section 32, T19N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Courtney Snyder of McCall Design & Planning presented the application for a new single-family residence along the Scenic Route.

Mr. Parker provided the staff report and mentioned the plans as submitted meet city code and the McCall Design Guidelines. Ms. Stroud indicated the project had already received final engineering approval and met all Engineering standards applicable.

Chairman Lyons opened and closed the public hearing with no comments from the public.

Commissioner Nemec moved to approve DR-23-02 and SR-23-01 with conditions as written, Commissioner Rock seconded, all commissioners voted aye and the motion carried.

(continued on next page)

DR-23-01 & SH-23-01 (ACTION ITEM)

2255 Edgemere Lane – Eric Anderson for Colby Smith

An application for Design Review to construct a new single family home totaling 3,821 square feet along and new landscaping along the lakefront of Payette Lake. The property is zoned R4 – Low Density Residential; is within the Shoreline Environs Zone of Payette Lake and is more particularly described as:

Lot 12 of the Luck’s Point Subdivision less Tax No. 32, situate in Section 26, T19N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Commissioner Rock moved to continue the item to April 4, 2023, Commissioner Nemec seconded. All commissioners voted aye and the item was continued.

6. OTHER

- **ADA Transition Plan Presentation (INFORMATION ONLY)**

 - **Don Kostelec of Vitruvian Planning**

Don Kostelec of Vitruvian Planning presented the adopted Americans with Disabilities Act (ADA) Transition Plan called ‘Access McCall’ identifying the role of the Planning & Zoning Commission in guiding the City/Impact Area development code to promote accessible spaces into the future; he reflected that development improvements like sidewalk are a key tool existing in City Code to create a more inclusive and Accessible built environment for all McCall communities and abilities.

- Signs approved administratively

None

- Review Letters of Interest for Planning & Zoning Commission Members (2 Seats) (City & AOI) (ACTION ITEM)

Impact Area:

Dana Paugh of 335 S Samson Trail introduced herself and her background in Engineering and Environmental Management that carried her to ski towns in Colorado and into Tahoe to work at Heavenly until shortly before COVID. Prior to leaving Tahoe Ms. Paugh served on the Tahoe Sustainability and Women’s Empowerment committees. Dana and her husband moved to the McCall area in 2020 to a property in the Impact Area and now she works in the field of Economic Development for the St. Luke’s Foundation.

Commissioner Nemec recommended Dana Paugh of 335 S Samson Trail to the BOCC to represent the Impact Area on the McCall Planning & Zoning Commission. Commissioner Rock seconded. Chairman Lyons, Commissioner Muhlfeith, and Commissioner Kinzer concurred in the recommendation and look forward to Ms. Paugh serving with the Commission.

City Limits:

Michelle Rentzch of 1025 Kaitlyn Loop spoke about her history as a Planning Director and Master Gardener and excitement to serve the McCall Community further. Unfortunately she won’t meet the residency requirement for the Planning & Zoning Commission until August of 2023 (2 years of residency required).

Toni Curtis of 1661 Ginney Way moved to McCall in 2001 and has worked for McCall Fire/EMS, Construction Management, and Real Estate Pre-Development. She has served on the Housing Advisory

Committee and serves on the LOT Commission to allocate collected local sales taxes to initiatives that support the McCall Community. She is up to date and familiar with the local infrastructure challenges that face the McCall Community and wishes to continue serving the community, especially in implementing local housing projects.

Dave Petty and Mike Spilotros were unable to be at the meeting to speak with commission. Commissioners noted Mr. Petty has had a letter of interest in for a long while and would be worth hearing from.

Chairman Lyons requested that Staff hold an additional meeting with the remaining City Limits applicants and bring back recommendations at the April 4 Meeting.

- **Upcoming Meeting Agenda – April 4, 2023**

7. ADJOURNMENT

American with Disabilities Act Notice: The Planning and Zoning Commission meeting room is accessible to persons with disabilities. If you need assistance, contact City Hall at 634-7142. Please allow 48 hours.

Commissioner Rock made a motion to adjourn, Commissioner Nemeec seconded. All commissioners voted aye and the meeting adjourned at 6:26pm

Signed:

Attest:

Robert Lyons, Chairman
McCall Area Planning and Zoning Commission

Brian Parker
City Planner

From: [Kim Johnson](#)
To: [Brian Parker](#)
Subject: Glass House Renovations
Date: Tuesday, March 7, 2023 11:03:29 AM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

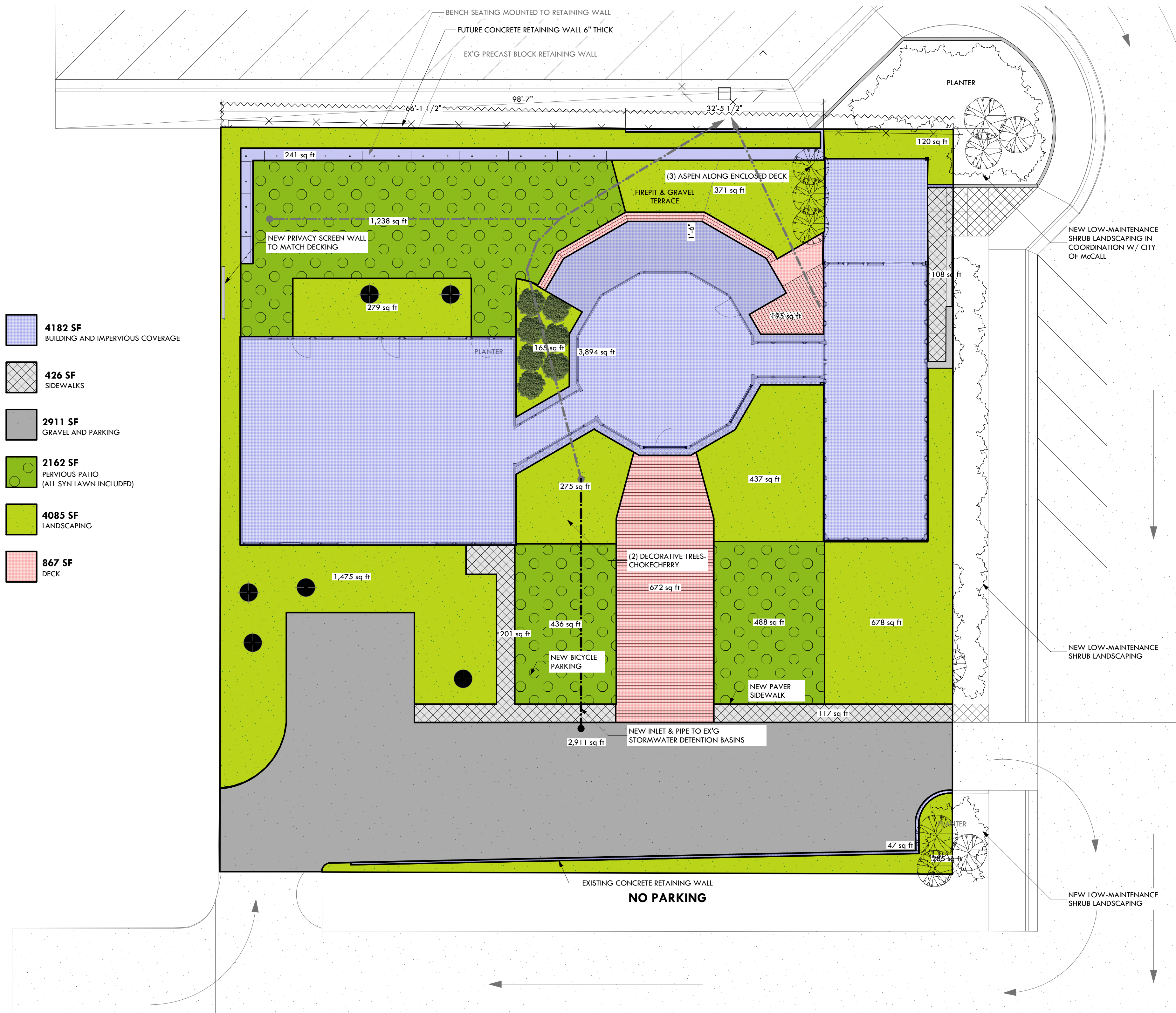
Brian,

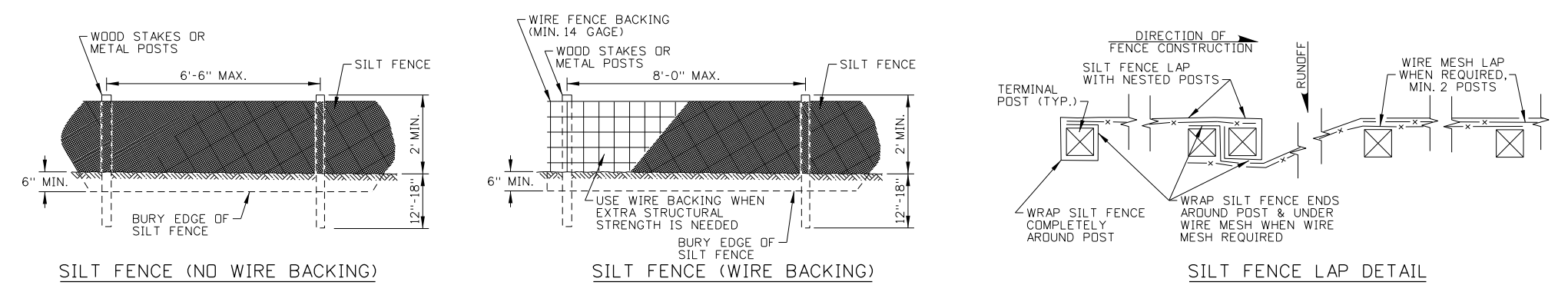
I am an owner at Mill Park Condos (1502 Mill Rd.) and received a Notice of Public Hearing. (March 7, 2023. As neighbors, who could be impacted by renovations and activities at The Glass House, we wish to comment that thus far, The Glass House has been a great neighbor, and these renovations appear to be a good addition. However, we remain concerned should future business or activities create excessive noise or traffic or parking congestion.

THANKS

Kim Johnson
Payette 967 LLC
1502 Mill Rd, Unit #3
McCall, ID

Cell & WhatsApp +1 (858) 229 6827





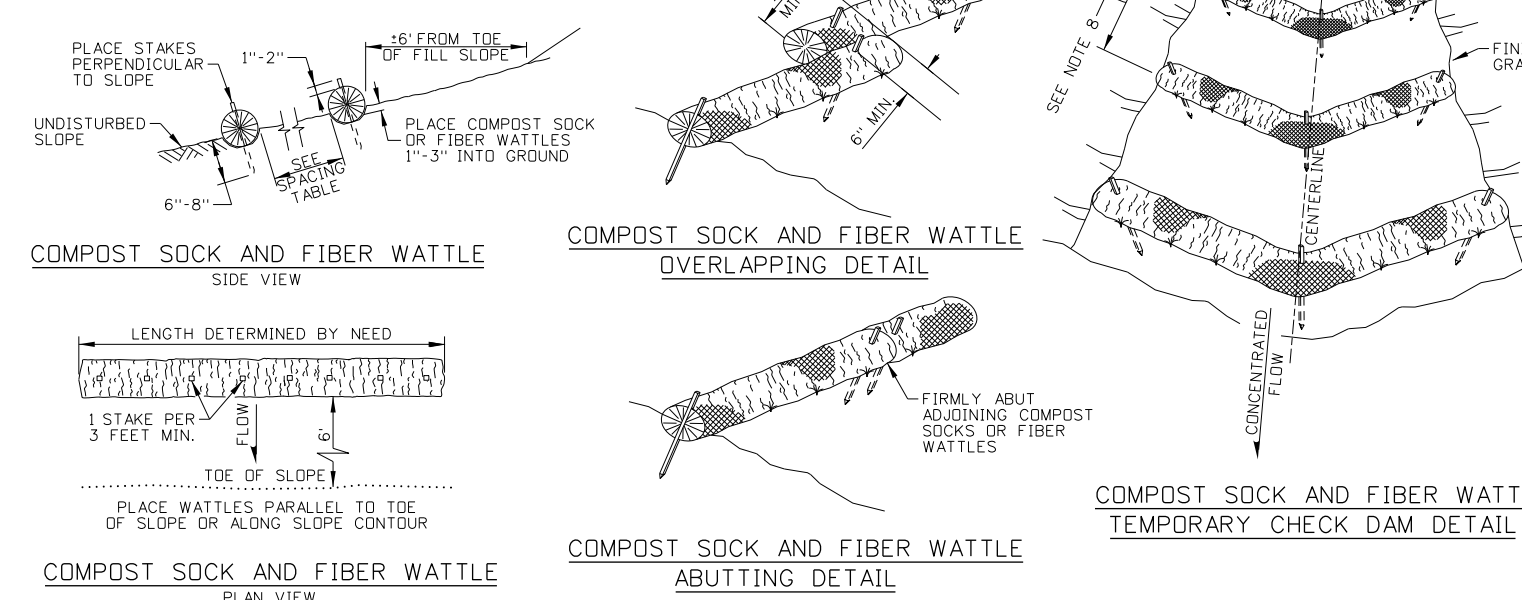
FIBER WATTLE & COMPOST SOCK SPACING TABLE

SLOPE	WATTLE SIZE
1:1	54 FT 10 FT 18 FT 20 FT
2:1	10 FT 20 FT 30 FT 40 FT
3:1	15 FT 30 FT 45 FT 60 FT
4:1 OR FLATTER	20 FT 40 FT 60 FT 80 FT

SILT FENCE SPACING TABLE

SLOPE	SOIL TYPE
1:1	SILT CLAY TO SANDY
2:1	15 FT 100 FT 125 FT
3:1	100 FT 125 FT 150 FT
4:1 OR FLATTER	125 FT 150 FT 200 FT

- NOTES**
- SEE THE GENERAL NOTES FOR EROSION CONTROL STANDARD DRAWINGS ON 212-1.
 - THE NEED FOR TEMPORARY SEDIMENT CONTROL DEVICES ARE DETERMINED BY SITE SPECIFIC SLOPE, SILT FENCES, COMPOST SOCKS, AND FIBER WATTLES IN ACCORDANCE WITH THE SILT FENCE SPACING TABLE AND FIBER WATTLE & COMPOST SOCK SPACING TABLE.
 - INSTALL TEMPORARY SEDIMENT CONTROL BARRIERS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. THE DIMENSIONS SHOWN ARE GENERAL GUIDELINES.
 - PLACE SEDIMENT BARRIERS TO FOLLOW THE SLOPE CONTOUR. USE EITHER METAL POSTS OR WOOD STAKES.
 - ENSURE RUNOFF PASSES THROUGH THE SILT FENCE AND NOT AROUND THE FENCE.
 - GROUND SILT FENCES WITH WIRE MESH IN ACCORDANCE WITH THE GROUNDING DETAIL SHOWN ON STANDARD DRAWING 101-1.
 - EXTEND OR JOIN SILT FENCE USING SILT FENCE LAP WITH NESTED POSTS.
 - SPACE CHECK DAMS ACCORDING TO THE HEIGHT OF THE DAM AND THE SLOPE OF THE CHANNEL SO THE BACKWATER FROM THE DOWNSTREAM DAM REACHES THE TOE OF THE UPSTREAM DAM.
 - ON SLOPES, TURN THE ENDS OF EACH ROW OF COMPOST SOCKS AND FIBER WATTLES UPSLOPE TO PREVENT RUNOFF FROM FLOWING AROUND THE SOCK OR WATTLE.
 - REMOVE SEDIMENT FROM THE UPSLOPE SIDE OF SILT FENCES, COMPOST SOCKS, AND FIBER WATTLES WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE BARRIER.
 - DRAWING NOT TO SCALE.



REVISIONS

NO.	DATE	BY	NO.	DATE	BY
1	09-03-2018	MEH	1	01-17-2019	MEH
2	12-04-2018	MEH	2	03-21-2019	TWF
3	06-06-2019	MEH			
4	08-10-2019	MEH			
5	09-11-2019	MEH			

SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY

CHOO FILE NAME: 212-3-102.dwg

DRAWING DATE: APRIL 2020

IDAHO TRANSPORTATION DEPARTMENT

BOISE, IDAHO

ORIGINAL SIGNED BY KEVIN SABLIN

DESIGN/TRAFFIC SERVICES ENGINEER

STANDARD DRAWING TEMPORARY EROSION AND SEDIMENT CONTROL SILT FENCE, FIBER WATTLE, AND COMPOST SOCK

REQUIRE: STD. DRG. 212-1

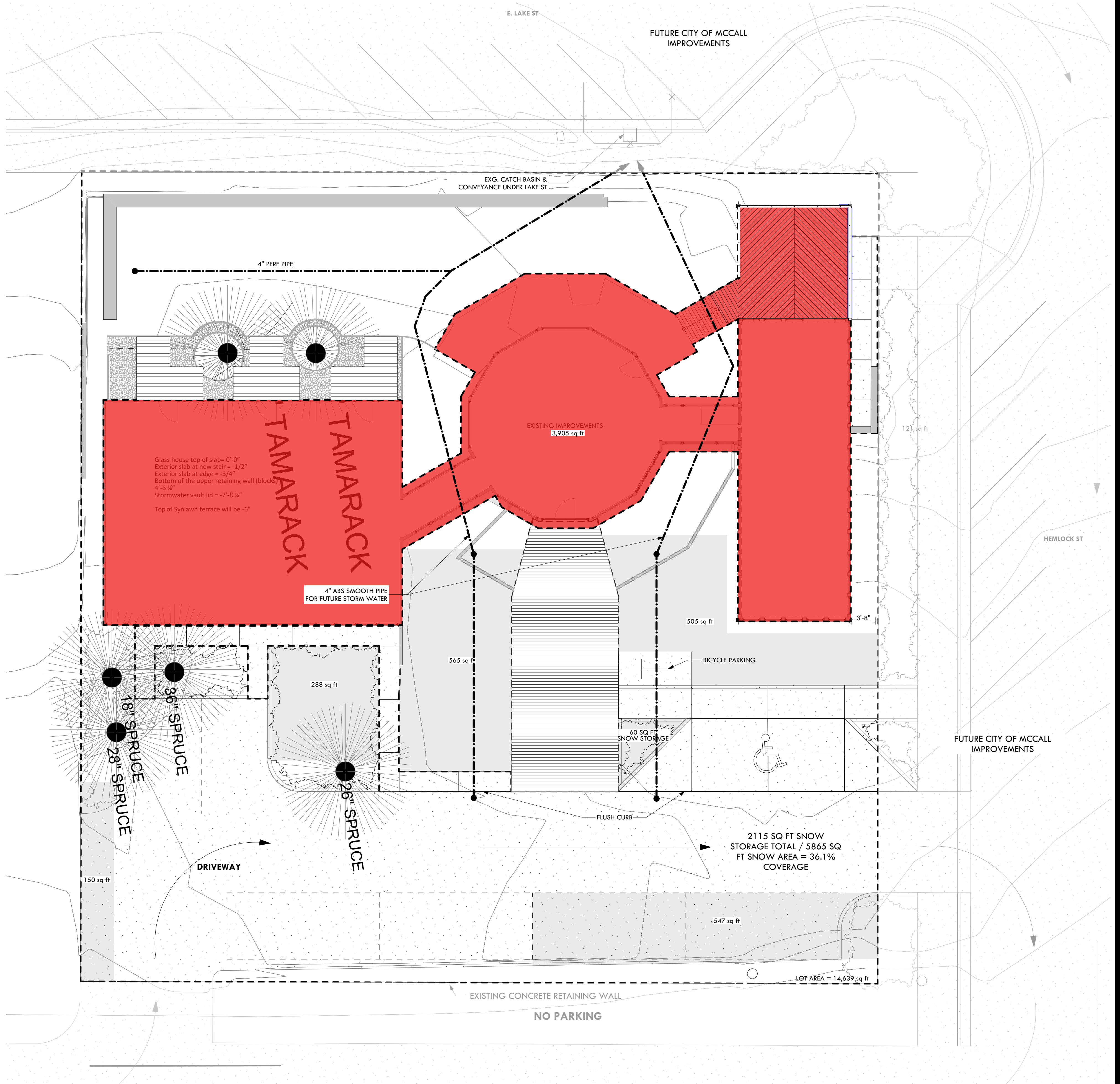
English STANDARD DRAWING NO. 212-3

SHEET 1 OF 1

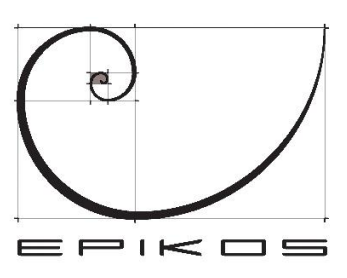
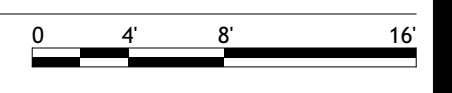
PROFESSIONAL ENGINEER LICENSE NO. 13663

BYZARD L. LANCASTER

2 ITD TEMP. EROSION & SEDIMENT CONTROL NOT TO SCALE



1 PHASE 2A BMPs SCALE: 1/8" = 1'-0"



EPIKOS LAND PLANNING + ARCHITECTURE

McCALL OFFICE
303 Colorado Street
P.O. Box 2490
McCall, Idaho 83638
Tel: 208.634.4540

www.EpikosDesign.com

GLASS HOUSE
AN EVENT SPACE
1410 MILL RD
MCCALL, ID 83638

Stamp:

LICENSED ARCHITECT AR 984451

Wayne S. Ruemmele

Wayne S. Ruemmele
STATE OF IDAHO
ELECTRONIC STAMP

Revisions:

PERMIT SET

Date: 3/7/2023

Project No: 2031

Drawn by: BK

Checked by: WR

Sheet: **A2-7**

© 2020 EPIKOS



NO
PARKING
ANY
TIME

SPEED
LIMIT
20

**WATER SUPPLY FIXTURE UNIT WORKSHEET
(RESIDENTIAL USE)
According to UPC-2017-Table 610.3**



Date: 03/07/2023
 Property Owner: David Carey
 Account Holder: David Carey
 Assessors Parcel Number(APN): _____
 Land Use Application #: DR 22-27

Account Number: Existing
 Service Address: 1410 Mill Road
 Email Address: davidcarey@jugmountainranch.com
 Phone Number (home/cell): 208-630-4818
 (work): NA

Information about this worksheet:

- The following worksheet must be completed and contains information needed to estimate customer demand to establish the required meter size, and ERU's required.
- Capitalization fees are based on the current water rate fee structure dated 10/1/2022, and approved by City Council via latest Resolution 22-27. Please visit mccall.id.us/water for more information.
- This has been simplified, from UPC-2017-Table 610.3, to meet the requirements of a typical residential customer to facilitate ease of use.
- However, special cases may need to be analyzed in further detail by a Professional Engineer [e.g. larger lot, fire flow, multi-story, secondary units/structures].

How to use this sheet:

1. Fill out this sheet (section 2 below) while looking at your floorplans and irrigation plan (if you are planning on irrigation).
2. Review the information at the bottom of the sheet. This will identify the required meter size, service size, Equivalent Residential Units, and capitalization fees.
3. Submit this completed worksheet to Water Staff (water@mccall.id.us) for review and approval.

Appliances, Appurtenances or Fixtures	2 Number of Fixtures		3 Fixture Value			4 Total Fixture Unit Value
	Main Floor	Other Floors			=	
Appliances:						
Clothes Washer	(_____)	(_____)	x	2	=	_____
Dishwasher	(<u>1</u>)	(_____)	x	1.5	=	<u>1.5</u>
Drinking Fountain	(_____)	(_____)	x	0.5	=	_____
Sinks:						
Bar	(_____)	(_____)	x	1	=	_____
Kitchen	(<u>1</u>)	(_____)	x	1.5	=	<u>1.5</u>
Laundry	(_____)	(_____)	x	1.5	=	_____
Bathroom	(<u>2</u>)	(_____)	x	1	=	<u>2</u>
Mop/Service	(_____)	(_____)	x	1.5	=	_____
Tubs/showers:						
Bathtub or Tub/Shower	(_____)	(_____)	x	2	=	_____
3/4" Bathtub Fill Valve-Soaker***	(_____)	(_____)	x	10	=	_____
Shower, per head, no tub	(<u>2</u>)	(_____)	x	2	=	<u>4</u>
**Toilets:						
*1.6 GPF Gravity Tank	(<u>2</u>)	(_____)	x	2.5	=	<u>5</u>
>1.6 GPF Gravity Tank	(_____)	(_____)	x	3	=	_____
1.6 GPF Flushometer Valve	(_____)	(_____)	x	5	=	_____
>1.6 GPF Flushometer Valve	(_____)	(_____)	x	7	=	_____
Other **Toilets:						
Urinal 1.0 GPF	(_____)	(_____)	x	2	=	_____
Urinal, flush tank	(_____)	(_____)	x	1	=	_____
Bidet	(_____)	(_____)	x	1	=	_____
Landscape:						
Hose Bib, first	(<u>1</u>)	(_____)	x	2.5	=	<u>2.5</u>
Hose Bib, each additional	(<u>1</u>)	(_____)	x	1	=	<u>1</u>
Irrig., # Heads in Largest Zone	(_____)	(_____)	x	1	=	_____
* Commonly used						Total Fixture Units = <u>17.5</u>
**Toilets are known as "Water Closets" in UPC-2017						Required Meter Size = <u>3/4"</u>
*** Whirlpool, Hot tub, Swim Spa						Required ERU's = <u>1</u>
						Required Capitalization Fees = _____

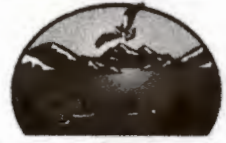
Fixture Unit Count (column 4 total)	Required Meter Size	Required ERU's	Capitalization Fees (Fee Schedule - 10/22)
0 - 20	5/8 meter	1 ERU	\$ 7,132.00
20.5 - 39.5	3/4" meter	1 ERU	\$ 7,132.00
40 - 85	1" meter	2 ERU	\$ 14,264.00
85.5 - 370	1.5" meter	4 ERU	\$ 28,528.00
370.5 - 654	2" meter	6 ERU	\$ 42,792.00

For City Staff Use Only:

Approved by: _____
 Date: _____

City of McCall

216 East Park Street
McCall, ID 83638
Phone (208) 634-7142
Fax (208) 634-3038



City of McCall
COMMUNITY
DEVELOPMENT

PRE-APPLICATION MEETING FORM

The Applicant will present to the Administrator and Commission, in a scheduled meeting, but a non-public hearing, a *preliminary development plan* for review and discussion. All materials to be reviewed and discussed shall be provided, or be available, to Commission members at a regular scheduled meeting of the Commission. The pre-application meeting (no fee involved) is required for all land use applications except Record of Survey, Design Review and Scenic Route applications. Please contact the Community Development Department at (208) 634-7052 to schedule a pre-application meeting.

Please check all that apply:

- Annexation or Rezone (ZON)
- Conditional Use Permit (CUP)
- Planned Unit Development (PUD) General Plan
- Planned Unit Development (PUD) Final Plan (no fee)
- Subdivision (SUB) Preliminary Plat
- Subdivision (SUB) Final Plat (no fee)
- Street Vacation (VAC)
- Variance (VAR)

RECEIVED

By Meredith Todd at 1:58 pm, Mar 09, 2023

Applicant Information

Applicant: Martin Potucek Phone/Email: 5097470460 bohemianandco@gmail.com

Applicant's Mailing Address: 2121 E. Overbluff Rd. Spokane WA 99203

Agent/Respresentative: _____ Phone/Fax/Email: _____

Agent/Representative's Mailing Address: _____

Address of Subject Property: Payette Lake Club, Lot 13, Group D, Oakwood Rd., McCall

Legal Description of Property: Parcel RP0019000D0130

Zoning District of Property: R4

Explain the general nature of what is proposed:

Build and seasonally operate shed structure adjacent our seasonal home in Payette Lake Club.

Shed would serve for propagation and storage of landscape plants and materials.

These plants and materials are for other lots we are developing in Payette Lake Club.

No retail or public use intended. No utilities or public services are required.

*Please submit four (4) hard copies of the preliminary development plan with this form, not greater than 11" by 17" in size. Please also include a digital copy of the preliminary development plan.

**McCall Area Planning & Zoning Due Diligence Report:
To be completed by City Staff**



City of McCall
COMMUNITY
DEVELOPMENT

Staff Member: Brian Parker

Staff Signature: [Signature] Date: 2/21/23

Agent Present: Martin Potucek Phone/Fax/Email: _____

Address/Parcel # of Subject Property: TBD Oakwood

Legal Description of Property: L13 Block D, Payette Lakes Club

Zoning District of Property: R4

Proposed Use: Landscaping Greenhouse # Permitted Res Units N/A

Property Size: 4,410 Allowable Lot Coverage % 50%

All Planning & Zoning Applications Required: CUP

General Comments/Attachments:
Reviewed Submittal requirements

**City of McCall Public Works Due Diligence Report:
To be completed by City Staff**



City of McCall
PUBLIC WORKS

Staff Member: Morgan Stroud

Staff Signature: [Signature] Date: 2/21/23

Agent Present: Martin Potucek Phone/Fax/Email: _____

Address of Subject Property: west of 1561 Oakwood Rd

Water Meter Sizing (ERUs): N/A Fire Flow Analysis Required: (yes / no)

Property Size: .1 Acres Max Grade: 3% Avg Grade: 2.7% Impervious Area: 864 sqft

Public Infrastructure Improvements Expected: Oakwood is Private

Traffic Study: (yes / no) If yes, general scope: _____

General Comments:
A, B + F of stormwater report, stormwater application

**Payette Lakes Recreational Water & Sewer District Due Diligence Report:
To be completed by Sewer District Staff**



Staff Member: Lorraine Brush

Staff Signature: Lorraine Brush Date: 2/22/23

Agent Present: Martin Potucek Phone/Fax/Email: _____

Address of Subject Property: Lot 13 Block D Payette Lakes Club

Eligible EDUs: _____ N/A

Consistent w/ Sewer Density Map?: (yes / no) Sewage Model Required: (yes / no)

Property Size: _____ Max Grade: _____ Avg Grade: _____

Sewage Improvements Expected: _____

General Comments:
NO sewer planned

Conditional Use Permit Information, Payette Lake Club Shed on Oakwood Road

Use in the R4 Zone: Agricultural, seasonal use for small lots in McCall impact area.

Relationship of the proposed use to the Comprehensive Plan: This small, unobtrusive building will not obstruct pedestrian or other traffic through this dead-end, private road. It is also designed to complement our seasonal contemporary home directly across Oakwood Rd.

General and specific objectives of Title 3: Allows for future non-impactful use of vacant land in this neighborhood, landscape maintenance being one of its major purposes.

Harmony with the character and appearance of the existing neighborhood: Conforms to existing modern residential design in the immediate neighborhood, exceeding setbacks and open space requirements

General welfare, health, and safety of the neighborhood: Building sits well back from roadway and is single level. Earth tone colors will blend with forest. Ensures and protects access to ski and snowshoe trails.

Harm to the land or water of the subject property and adjacent properties? Small footprint on a minimal slope with good drainage has never shown erosion or movement.

Public services and facilities for proposed use, including incremental costs? Law enforcement only. Private land and roads all around. No sewer, water, or power required. Private road maintenance, waste management, and trails all privately managed and paid for.

Traffic and pedestrian uses have been developed, maintained and protected by immediate owners. Payette Lake Club has its own system of private roads, trails and commons maintained by its members. The charter for PLC goes back to 1901, predating anything like it in Idaho. A strong trans-generational ethic has kept that bond strong and current. Scenic and appearance standards are furthered by its single level height and with exterior complementary earth tone colors, with maintained native shrubs and grasses.

One major historic structure is 600' away, separated by mature forest. That is the century-plus PLC Hotel which has new owners committed to rehabbing the structure for private, family-oriented uses.

Proposed use in relation to snow storage, open space requirements, parking areas, landscaping: It's less than half of allowed total coverage, ample snow storage, with permeable parking and driveway.

PLC is a private neighborhood, maintained by its owners and members. This shed is being built to further maintenance and security. Our close group on Oakwood has initiated Firewise projects, road and trail improvements in the immediate area. This shed is but one component in that continuing effort.

project description

Proposed use.

Landscape plant propagation, material and tool storage. Most of the tools, materials and plants cultured here will be used directly within and for the enhancement of the neighborhood. Native shrubs and grasses will be used to revegetate the impact area. No exterior lighting required. Almost all work will be done in spring and summer daylight.

CIP info sheet

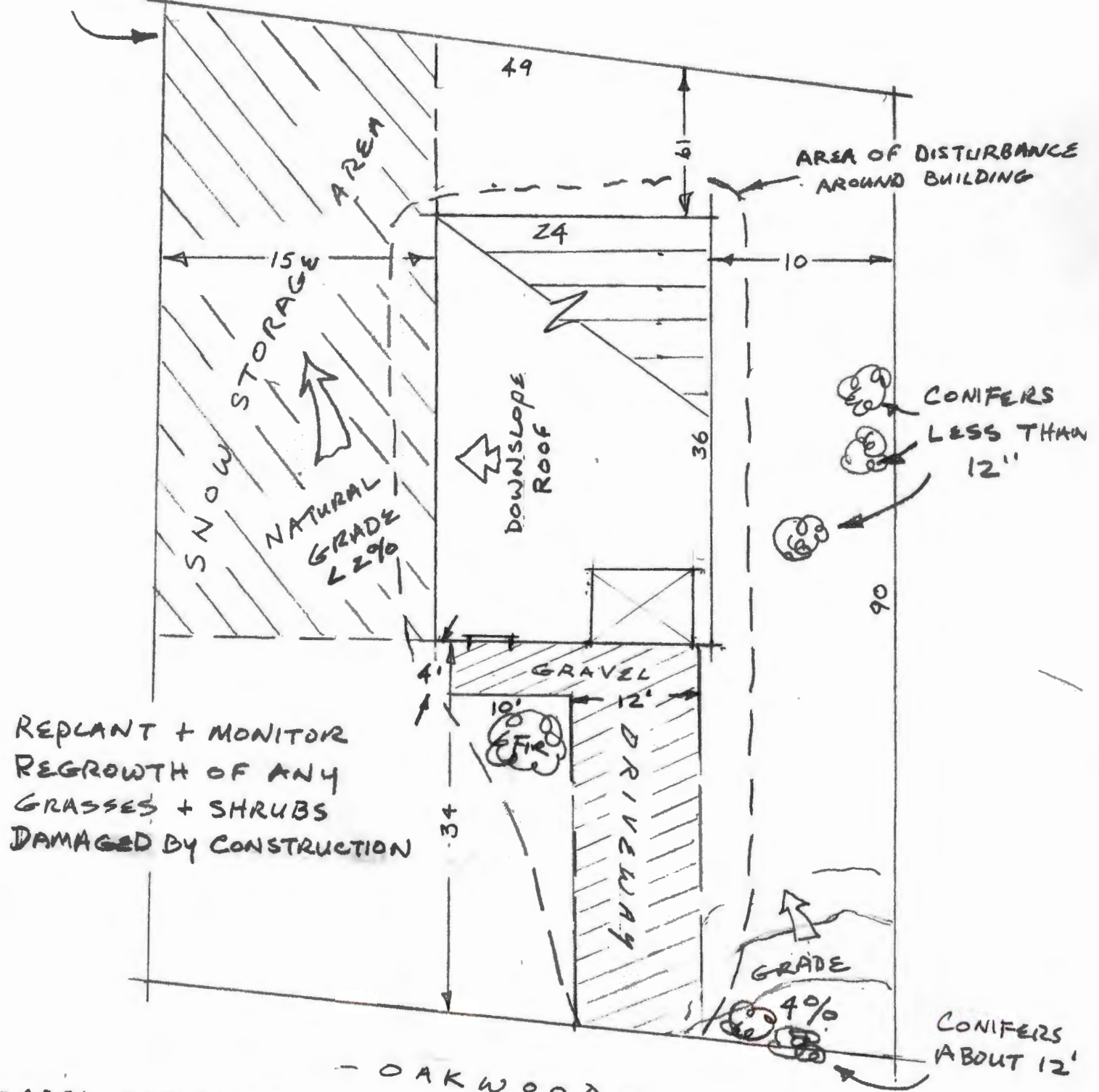
Google
McCall Shed

AG SHED - PAYETTE LAKE CLUB - LOT D-13

STORMWATER PLAN



LOW CORNER



REPLANT + MONITOR
REGROWTH OF ANY
GRASSES + SHRUBS
DAMAGED BY CONSTRUCTION

- AREA ESTIMATES -
- LOT 4410 #
- BLDG 864
- SNOWSTORE 900
- PERM. DRIVE 448
- + WALK

(Revised 3-2-23)

STORMWATER APPLICATION
City of McCall

Fill in all information. Submit one copy of signed application and three copies of Stormwater Management Plan/Report to the City Engineer.

1. Project Name: PAYETTE LAKE CLUB SHED
Location: PAYETTE LAKE CLUB LOT 13 GROUP D
2. Owner's Name: MARTIN POTUCEK
Street: 2121 E. OVERBLUFF RD. City: SPokane
State: WA Zip Code: 99203 Phone: 509-747-0460
3. Project Description: BUILD 24 X 36' SHED STRUCTURE FOR SEASONAL AGRICULTURAL + LANDSCAPING PURPOSES: PLANT PROPAGATION, LANDSCAPE MATERIALS AND TOOL STORAGE.
- a. Total property area, in acres. .103 ONE-TENTH +
b. Proposed impervious surface (asphalt, rooftop, concrete, sidewalk, etc.) in square feet. 1120 ROOF
- c. Describe existing vegetation present on site. One white fir, two Douglas fir greater than 12" Diameter. Three cedars of smaller diameter. A mix of grasses + huckleberries in open area.
d. Start date of construction. 6-15-23 hopefully
e. Estimated length of time to complete improvements. 6-8 weeks

4. Stormwater Management Plan/Report attached? Yes No

5. Circle the section of the Stormwater Management Plan/Report Checklist which are applicable to project.

A B C D E F

6. Party responsible for operation and maintenance of project, including maintenance of temporary and permanent Best Management Practices:

<u>Martin Potucek</u>	<u>Owner</u>	<u>[Signature]</u>	<u>2-23-23</u>
Name	Title	Signature	Date
<u>2121 E. Overbluff Rd.</u>	<u>Spokane WA 99203</u>	<u>509-747-0460</u>	<u>Same</u>
Address		Daytime Phone	After Hours Phone

Do not write below this line.

This Stormwater Management Plan/Report is:

Approved: _____

Not Approved: _____

Approved, with conditions: _____

By The City of McCall

Representative Title Signature Date

≤ Pre-Application

Property Information

Search properties:

Brian - I'm sending this packet via snail-mail - I can't get docs to scan properly and I don't want to miss the 3-14 pre-app submittal date. please email me what I'm missing. I'll try to get you the digital files in the meantime, thx Martin

RECEIVED

MAR 06 2023

* Indicates Required Field

PRE APPLICATION - UTILITY DUE DILIGENCE

Applicant Info

* Applicant Name: Martin Potucek

Applicant Mailing Address: 2121 E. Overbluff rd.

Applicant Mailing City, State, Zip: Spokane, WA 99203

Applicant Phone: 509-747-0460

* Applicant Email: bohemianandco@gmail.com

Agent / Representative Info

* Agent/Representative Name:

Agent/Representative Mailing Address:

Project / Property Info

* Address of Subject Property: Payette Lake Club Lot 13 Group D

* Legal Description of Property: RP0019000D0130

* Zoning District of Property: R4

* Explain the general nature of what is proposed: Build and operate private agriculture/landscape shed

Please check all that apply

- Annexation (ZON):
- Rezone (ZON):
- Conditional Use Permit (CUP):



Distribution Memorandum

Date: March 23, 2023

To: City of McCall

Airport

Community and Economic Development

Finance

Information Systems

Parks and Recreation

Police

Public Works

Valley County

Assessor's Office

County Surveyor

Parks and Recreation

Planning and Zoning

Road & Bridge

State

Central District Health Department

Idaho Department of Environmental Quality

Idaho Department of Lands

Idaho Fish and Game

Idaho Transportation Department

Idaho Transportation Department, Division of
Aeronautics

Other

Big Payette Lake Water Quality Council

Idaho Power Company

McCall Fire Protection District

Payette Lakes Recreational Water and Sewer
District

A complete list of individual recipients is available upon request.

From: Brian Parker, City Planner

SR-23-02: 1013 Kaitlyn Loop – SCENIC ROUTE ONLY – John Gonda for Fund & Vickie Louie

An application for Scenic Route Review of a new single family dwelling along the Lick Creek Road Scenic Route, with Design Approval granted by the Architectural review committee of Lick Creek Meadows Subdivision. The structure is located within the R4 – Low Density Residential Zone, is located within Lick Creek Road Scenic Route and is more particularly described as:

Lot 28 of Block 2 of Phase 2 of the Lick Creek Meadows Subdivision, situate in the SE ¼ of Section 3, T18N, R3E, B.M., City of McCall, Valley County, Idaho

Planning and Zoning Meeting Date: April 4, 2023

Comments Deadline: **March 31, 2023 (ASAP)**

Your comments are appreciated and the applicant will be required to satisfy all comments prior to approval. If you would like your comments incorporated to any Planning and Zoning documents please send me your comments by the date indicated above. If you have questions or concerns regarding the application, please contact the City Planner at 208-634-4256.



City of McCall

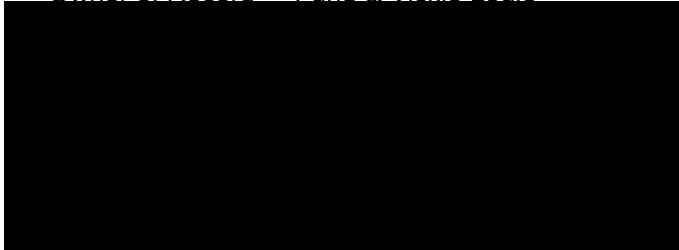
Scenic Route Review Application

Date: 01/31/2023

Applicant / Additional Billing Contact / Owner

Applicant Name: Fund & Vickie Louie
Address:
City, State, Zip:
Phone:
Email:

Owner of Record Fund & Vickie Louie



Addl Billing Contact:
Address:
City, State, Zip: ,
Phone:
Email:

Owner of Record 2:
Address:
City:
State:
Zip:
Phone:
Email:
Invoice Email:

Property

Site Address: 1013 Kaitlyn Loop
Legal Desc.: LICK CREEK MEADOWS
SUBD., PHASE 1 LOT 28
BLOCK 2
Zoning District: R4

Area: City Limits
Sewer: Payette Lakes Recreational
Water and Sewer
Square Footage: 18731

Contractor

Contact Name: John Gonda
Business Name:
McCall License #:
Mailing Address:

Email: gondafamilyhomes@gmail.com
Phone: 208-900-8523
Idaho #:

Annexation Information

Annex Request: No
Adjoining Land Use: No
Parcel Split: No
Parcel Adjoin: No

Valley County: No
Conditional Use: No
Project Type: Residential
Water: City Water
Neighbor Meeting:

Description: New Single Family Residence

Companion Applications

Record of Survey:	<input type="checkbox"/>	Subdivision (Final Plat):	<input type="checkbox"/>
Design Review:	<input type="checkbox"/>	Subdivision Minor Plat Amendment:	<input type="checkbox"/>
Scenic Route View:	<input type="checkbox"/>	Variance:	<input type="checkbox"/>
Shoreline and River Environs Review:	<input type="checkbox"/>	Rezone/Future Land/Comprehensive:	<input type="checkbox"/>
Conditional Use:	<input type="checkbox"/>	Zoning Code Amendment:	<input type="checkbox"/>
Development Agreement:	<input type="checkbox"/>	Annexation:	<input type="checkbox"/>
Planned Unit Develop (Prelim Plat):	<input type="checkbox"/>	Vacation:	<input type="checkbox"/>
Planned Unit Develop (Final Plat):	<input type="checkbox"/>	Land Use:	<input type="checkbox"/>
Subdivision (Prelim Plat):	<input type="checkbox"/>		

Details

Existing Cover:		Res Parcels:	
Proposed Cover:	0	Comm Parcels:	
Open Space Sq.Ft.:	0	Engineer Name:	
# of Parking:	0	Engineer Email:	
Max Grade %:	0	Engineer Phone:	
Average Grade %:	0	Pre-App Date:	
Total Acreage:	0	Condominiums:	No
Zoned Density:	0	Townhomes:	No
Proposed Density:	0	PUD Name:	
Total Exist Lot:	0	Architect Name:	
Total Proposed Lot:	0	Architect Email:	
Min Lot Frontage:	0	Architect Phone:	
Min Lot Size:	0	Proposed Uses:	
Surveyor Name:		Scenic Frontage:	
Surveyor Email:		# of New Trees:	
Surveyor Phone:		# of New Shrubs:	
Subdivision Name:		Floodplain:	
Existing Parcels:	0	Shoreline Frontage:	
Proposed Parcels:	0	High Water Mark:	
New Construction	1388		
Sq Ft:			

Sign

Proposed color palette:
 Total signage area existing:
 Total signage area proposed:
 Length of street facing wall in linear feet:
 Length of property frontage in linear feet:
 If multiple frontages, please add lengths from street 2:
 Sign Company:
 Proposed Lighting:

I do hereby certify that the information contained herein is true and correct.

[Redacted Name]

01/31/2023

Name

Date

January 31, 2023

Dear John Gonda,

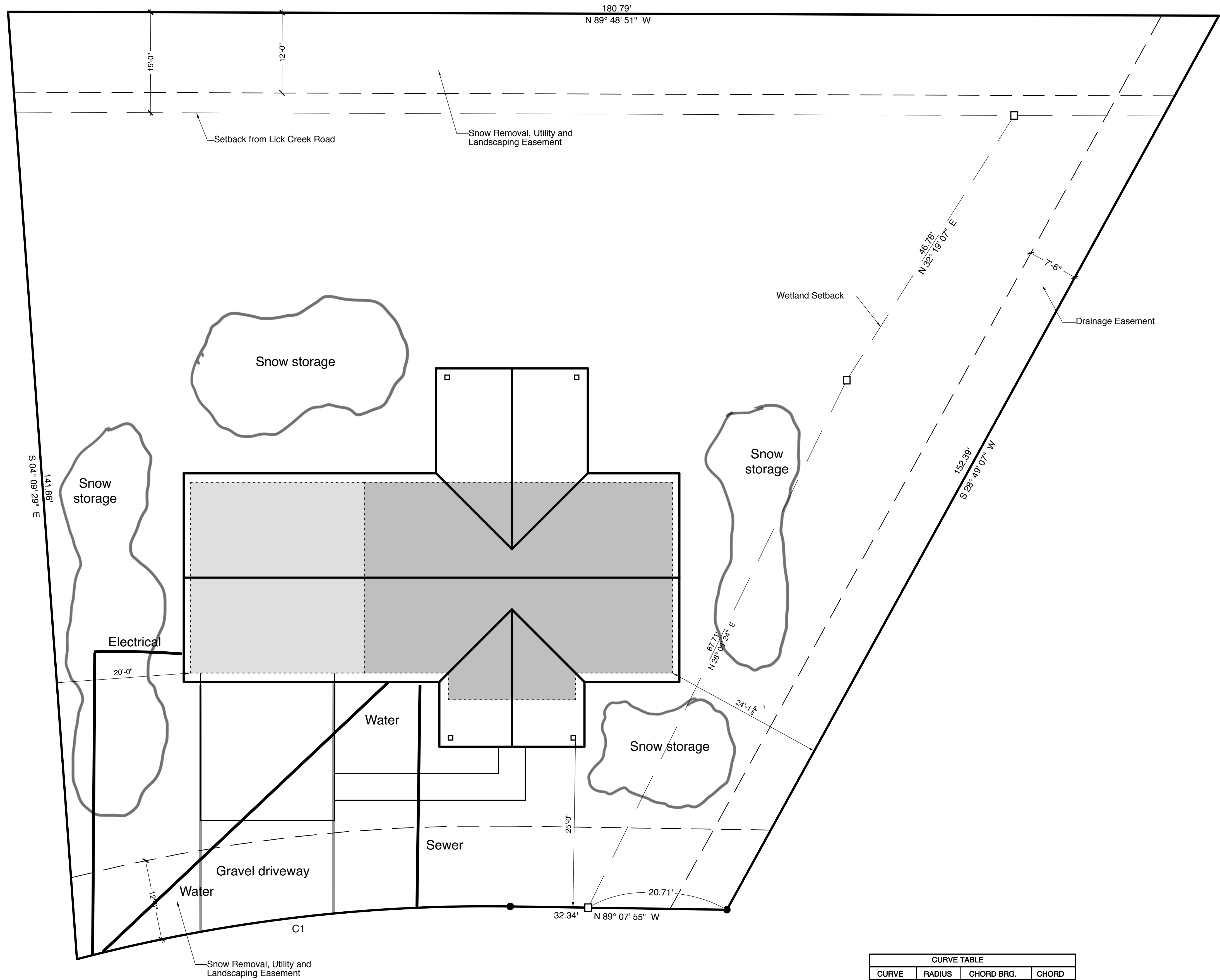
We are pleased to approve the building and landscape plans you submitted to the Architectural Control Committee of Lick Creek Meadows for Lot #28 Block 2.

This approval is for this lot only and only approved with the design, landscape, and colors that have been provided. Any changes must be resubmitted prior to constructing.

Thank you for your time and welcome to the neighborhood.

Cheers,

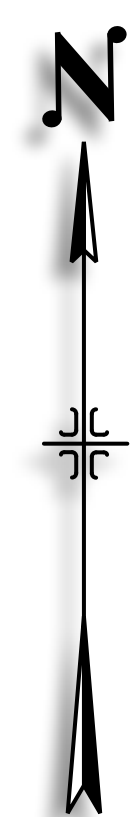
Amber Murrer
David Webster
Matt Anthony



DRAWING SHEET INDEX	
A1	SITE PLAN
A2	FOUNDATION / FLOOR FRAMING
A3	FLOOR PLAN
A4	EXTERIOR ELEVATIONS
A5	SECTIONS / DETAILS
A6	ROOF FRAMING PLAN
A7	BRACED WALL PLAN
E1	ELECTRICAL PLAN

Square Footages:	
Living Area -	1388 Sq. Ft.
Covered Porch -	144 Sq. Ft.
Covered Patio -	320 Sq. Ft.
2 Car Garage -	740 Sq. Ft.

LEGAL DESCRIPTION
 LOT 28, BLOCK 2
 LICK CREEK MEADOWS SUBDIVISION
 PHASE 1
 CITY OF McCALL, VALLEY COUNTY, IDAHO



CITY OF McCALL DESIGN CRITERIA	
Codes: IRC 2020, IECC 2018, IMC 2018, ISPC 2017, NEC 2017	
FROST DEPTH : 24"	
SEISMIC ZONE : D	
CLIMATE ZONE : 5	
BASIC WIND SPEED : 115 MPH	
ROOF LOADS:	DEAD LOAD 17 PSF
	SNOW LOAD 120 PSF
	TOTAL LOAD 137 PSF
FLOOR LOADS:	DEAD LOAD 12 PSF
	LIVE LOAD 40 PSF
	TOTAL LOAD 52 PSF

CURVE TABLE			
CURVE	RADIUS	CHORD BRG.	CHORD
C1	240.00'	S 83° 03' 43" W	65.19'

PRESCRIPTIVE ENERGY COMPLIANCE
 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CODE

IECC TABLE 402.1.1									
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT									
CLIMATE ZONE	WINDOW U-FACTOR	SKYLITE U-FACTOR	CEILING R-VALUE	WOOD WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE	CRAWL SPACE WALL R-VALUE
5	32	55	38	20 or 13/5	13/17	30	15/19	10, 2 ft.	15/19

1013 KAITYLN LOOP

Robb Vavold
 PO Box 9712
 Caldwell, Idaho 83606
 (208) 250-3511
 RVavold@gmail.com



SITE PLAN

Cache Gluch
 STL Services Idaho, LLC
 208-206-8081

REVISIONS	DESCRIPTION	DATE	BY
No.			

DRAWN BY: ROBB VAVOLD

DATE: Jan. 4, 2023

SCALE: 1/8" = 1'-0"

SHEET:

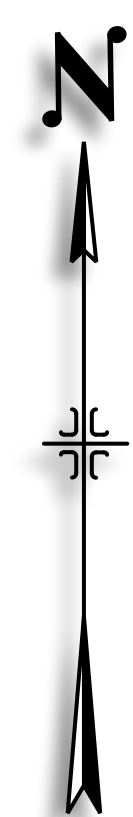
A1

DRAWING SHEET INDEX	
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Landscape Plan

LEGAL DESCRIPTION
 LOT 28, BLOCK 2
 LICK CREEK MEADOWS SUBDIVISION
 PHASE 1
 CITY OF McCALL, VALLEY COUNTY, IDAHO

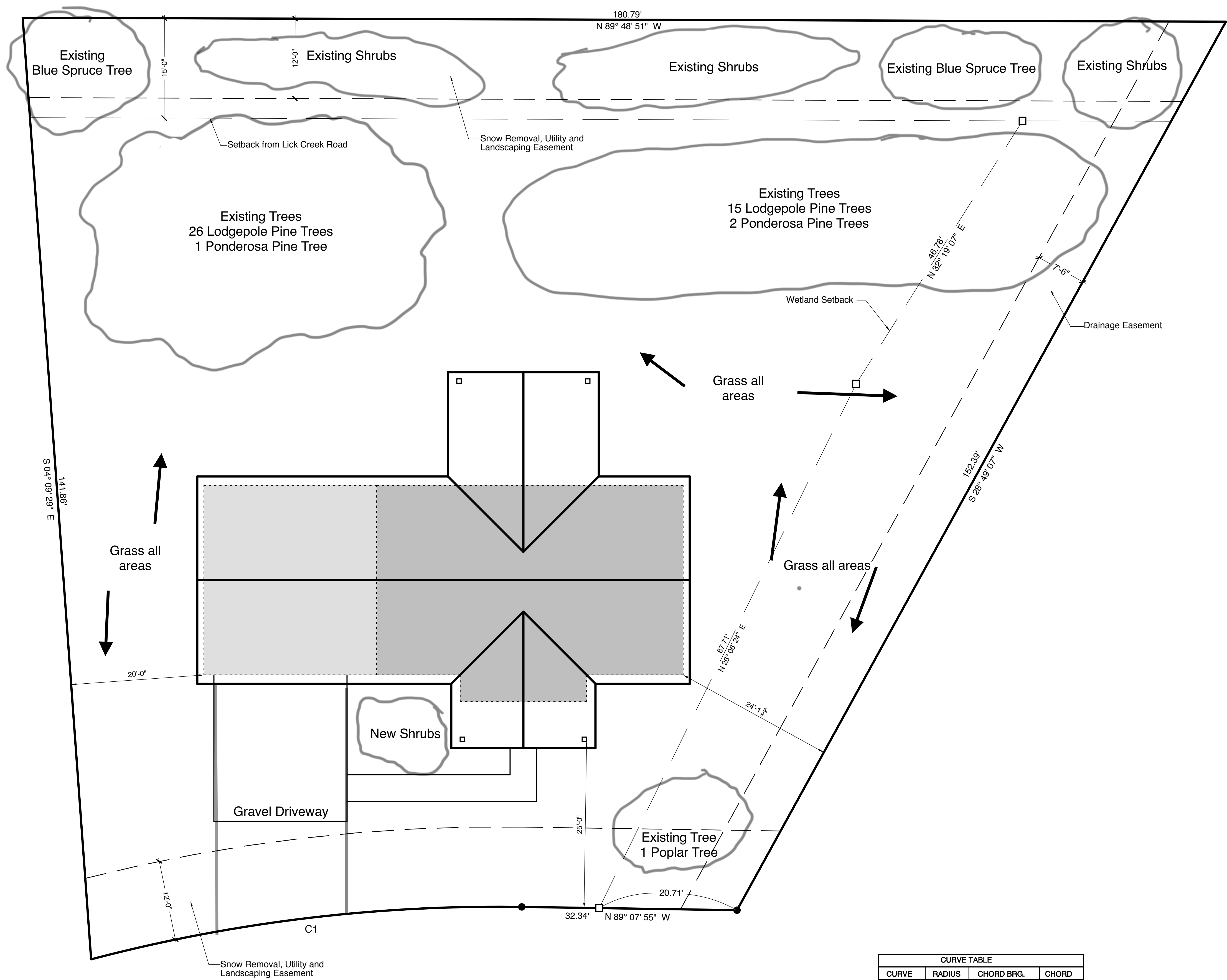


CITY OF McCALL DESIGN CRITERIA	
Codes: IRC 2020, IECC 2018, IMC 2018, ISPC 2017, NEC 2017	
FROST DEPTH : 24"	
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CLIMATE ZONE : 5	
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ROOF LOADS:	DEAD LOAD 17 PSF
	SNOW LOAD 120 PSF
	TOTAL LOAD 137 PSF
FLOOR LOADS:	DEAD LOAD 12 PSF
	LIVE LOAD 40 PSF
	TOTAL LOAD 52 PSF

PRESCRIPTIVE ENERGY COMPLIANCE
 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CODE

IECC TABLE 402.1.1									
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT									
CLIMATE ZONE	WINDOW U-FACTOR	SKYLITE U-FACTOR	CEILING R-VALUE	WOOD WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE	CRAWL SPACE WALL R-VALUE
5	0.32	0.55	38	20 or 13/45	13/17	30	15/19	10, 2 ft.	15/19

CURVE TABLE			
CURVE	RADIUS	CHORD BRG.	CHORD
C1	240.00'	S 83° 03' 43" W	65.19'



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 Caldwell, Idaho 83606
 (208) 250-3511
 RVAVOLD@gmail.com



SITE PLAN

PROJECT:
Cache Gluch
STL Services Idaho, LLC
208-206-8081

REVISIONS	DESCRIPTION	DATE	BY
No.			

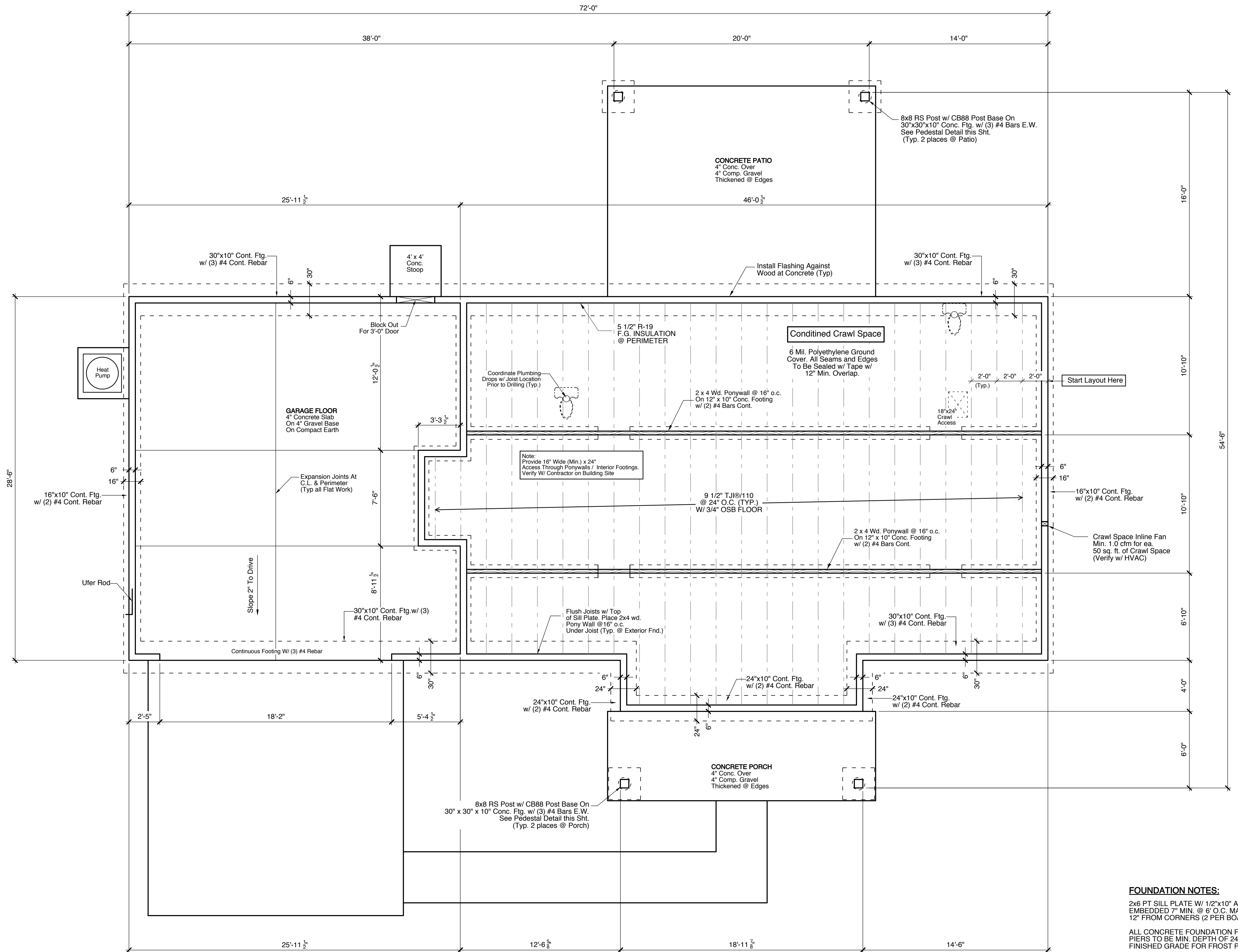
DRAWN BY: ROBB VAVOLD

DATE: Jan. 4, 2023

SCALE: 1/8" = 1'-0"

SHEET:

A1



FOUNDATION NOTES:

2x6 PT SILL PLATE W/ 1/2"x10" ANCHOR BOLTS EMBEDDED 7" MIN. @ 6" O.C. MAX. AND WITHIN 12" FROM CORNERS (2 PER BOARD MIN.)

ALL CONCRETE FOUNDATION FOOTINGS AND PIERS TO BE MIN. DEPTH OF 24" BELOW FINISHED GRADE FOR FROST PROTECTION

4" CONCRETE SLAB ON MIN. 4" COMPACTED STRUCTURAL FILL

ALL EXPOSED SLAB EDGES TO BE THICKENED 6"

PROVIDE 1 SQ. FT. OF VENTILATION FOR EA. 150 SQ. FT. OF UNDER-FLOOR SPACE OR 1 SQ. FT. OF VENTILATION FOR EA. 1500 SQ. FT. OF UNDER-FLOOR SPACE W/ CLASS 1 VAPOR RETARDER

PROVIDE ONE (1) VENTILATION OPENING WITHIN 3 FT OF EA. CORNER OF THE BLDG.

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FOUNDATION PLAN

Cache Gluch
 STL Services Idaho, LLC
 208-206-8081

PROJECT: _____

REVISIONS	DATE	BY

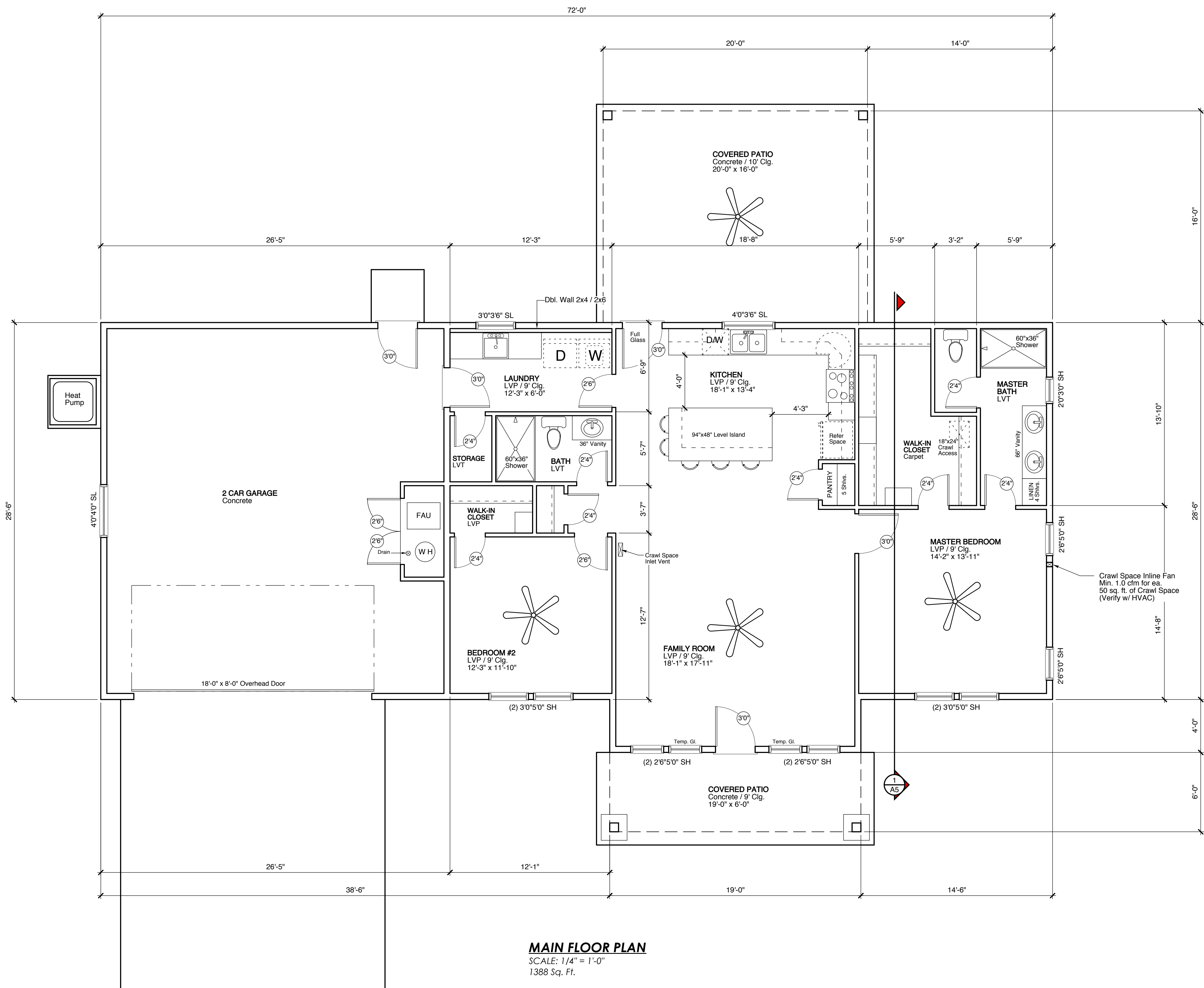
DRAWN BY: ROBB VAVOLD

DATE: Jan. 4, 2023

SCALE: 1/4" = 1'-0"

SHEET:

A2



Square Footages:	
Living Area -	1388 Sq. Ft.
Covered Porch -	144 Sq. Ft.
Covered Patio -	320 Sq. Ft.
2 Car Garage -	740 Sq. Ft.

- FLOOR PLAN NOTES:**
1. PROVIDE ATTIC ACCESS TO AREAS THAT EXCEED 30 SQ. FT. ACCESS NOT LESS THAN 22" x 30" AND SHALL BE IN A HALLWAY OR EASILY ACCESSIBLE LOCATION. 30" MIN. UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE.
 2. PROVIDE ALL BATHROOMS, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS EXHAUST FANS. RUN EXHAUST DUCT DIRECTLY TO THE OUTSIDE. OR 3 SQ. FT. OF AGGREGATE GLAZING 1/2 OF WHICH MUST BE OPENABLE.
 3. PROVIDE 30" MIN. WIDTH FOR THE WATER CLOSET AND 21" CLEAR IN FRONT.
 4. VENT DRYER TO OUTSIDE WITH 4" METAL DUCTING. TERMINATION CAP. MAXIMUM LENGTH SHALL NOT EXCEED 25 FT. FROM DRYER TO WALL OR ROOF TERMINATION. LENGTH SHALL BE REDUCED 2.5 FT. FOR EACH 45° BEND AND 5 FT. FOR EACH 90° BEND.
 5. PROVIDE CRAWL SPACE ACCESS 18" x 24" TO ALL UNDER-FLOOR SPACES.
 6. APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18" ABOVE THE FLOOR IN GARAGES.

- GENERAL NOTES:**
- 2x6 EXTERIOR FRAMING W/ DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE
 - 2x4 INTERIOR FRAMING (UNLESS NOTED OTHERWISE)
 - 4x10 DF HEADERS @ ALL OPENINGS IN BEARING WALLS UNLESS NOTED OTHERWISE
 - ALL STRUCTURAL LUMBER SIZED FOR #2 OR BETTER DOUGLAS FIR LARCH
 - 7/16" OSB CONTINUOUS SHEATHING
 - ALL PARTITION DIMENSIONS ARE TO FACE OF STUD
 - ALL ANGLES ARE 45°, UNLESS NOTED OTHERWISE
 - R-22 BLOWN-IN INSULATION @ ALL EXTERIOR WALLS
 - VINYL DOUBLE GLAZE LOW-E WINDOWS (.32 U-VALUE OR BETTER)
 - ROOF TO BE PRE-ENGINEERED MFGD WOOD TRUSSES
 - ROOF TRUSSES SHALL BE SUPPORTED LATERALLY @ POINTS OF BEARING TO PREVENT ROTATION AND LATERAL DISPLACEMENT
 - DOORS BETWEEN GARAGE AND DWELLING TO BE SELF CLOSING WITH A MIN. FIRE RATING OF 20 MINUTES
 - 5/8" TYPE "X" GYPSUM WALL BOARD IS REQUIRED AT ALL GARAGE/DWELLING WALLS AND CEILINGS APPLIED TO GARAGE AND WALL BEAMS AND POSTS SUPPORTING FIRE PROTECTION HORIZONTAL STRUCTURAL MEMBERS.

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FLOOR PLAN

Cache Gluch
STL Services Idaho, LLC
208-206-8081

PROJECT:

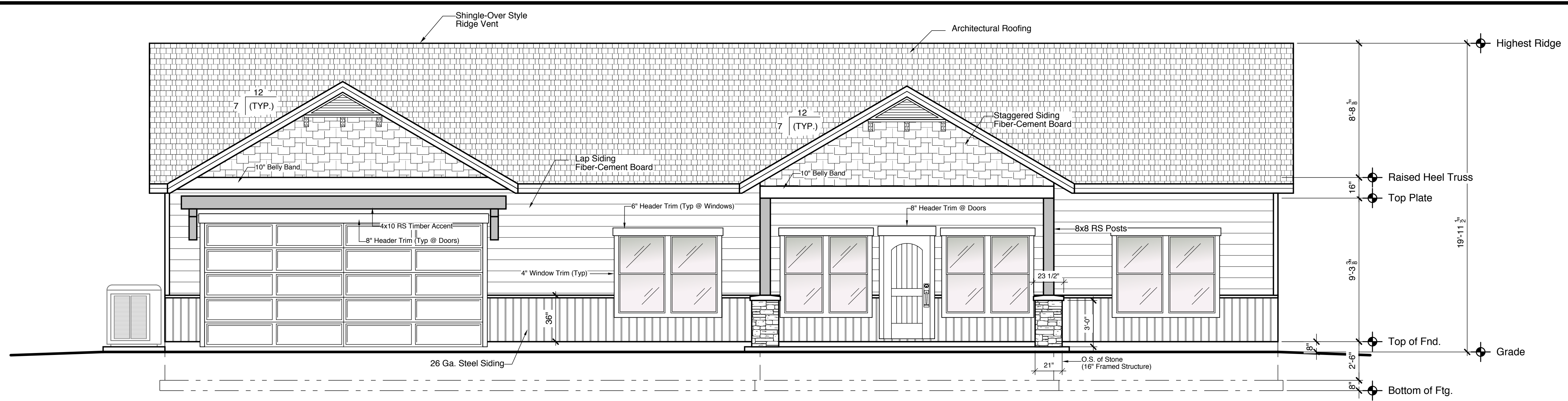
REVISIONS	DATE	BY

DRAWN BY: ROBB VAVOLD

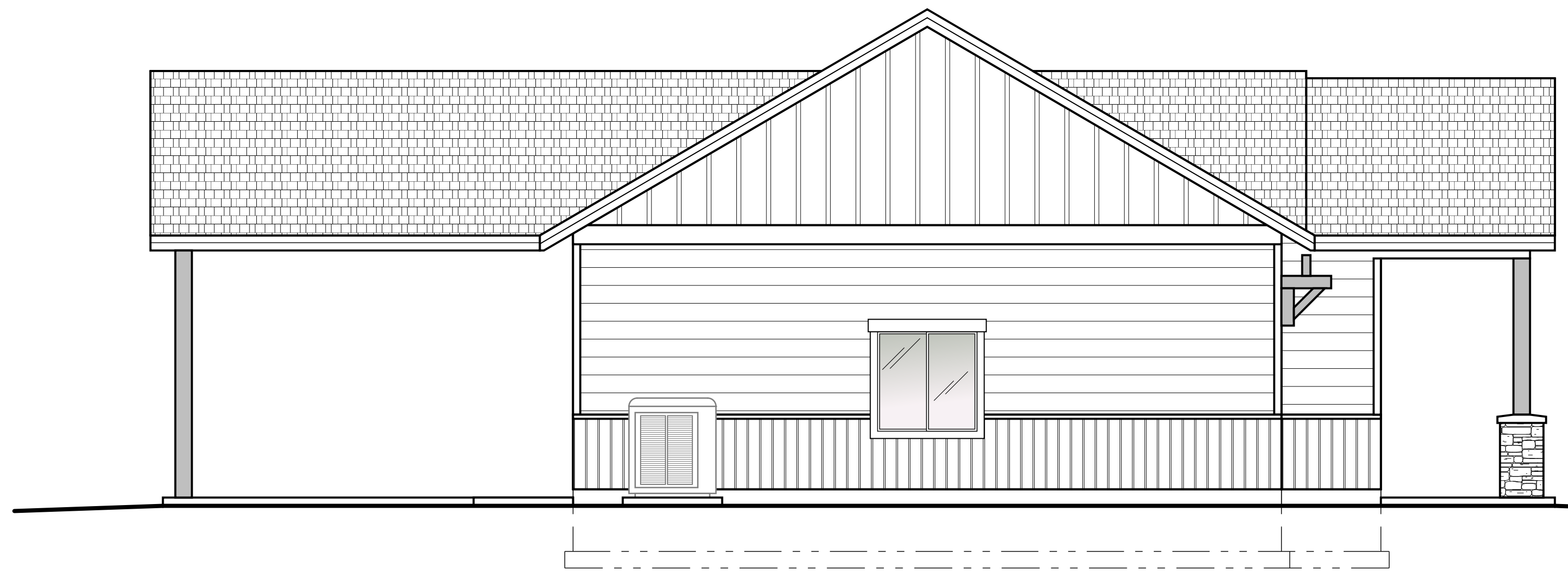
DATE: Jan. 4, 2023

SCALE: 1/4" = 1'-0"

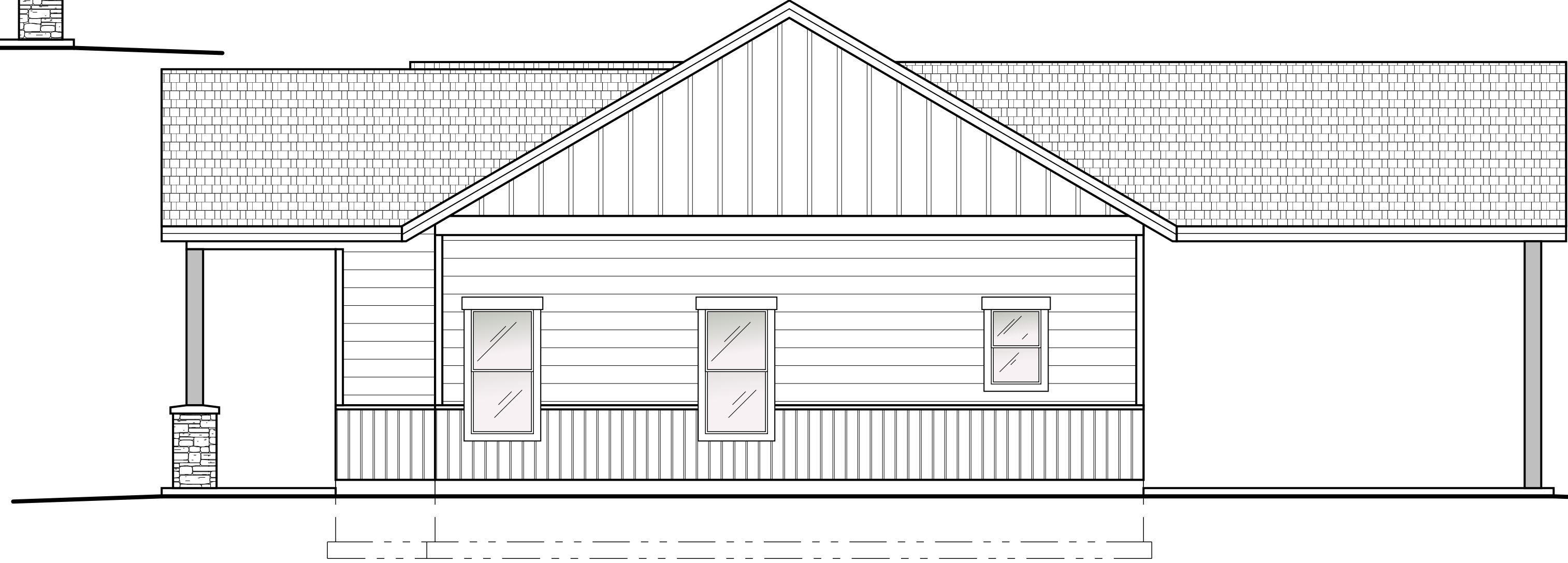
SHEET:



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



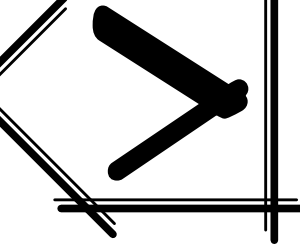
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

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VAVOLD DESIGN
RESIDENTIAL HOME DESIGN & DRAFTING



BUILDING ELEVATIONS

PROJECT: **Cache Gluch**
STL Services Idaho, LLC
208-206-8081

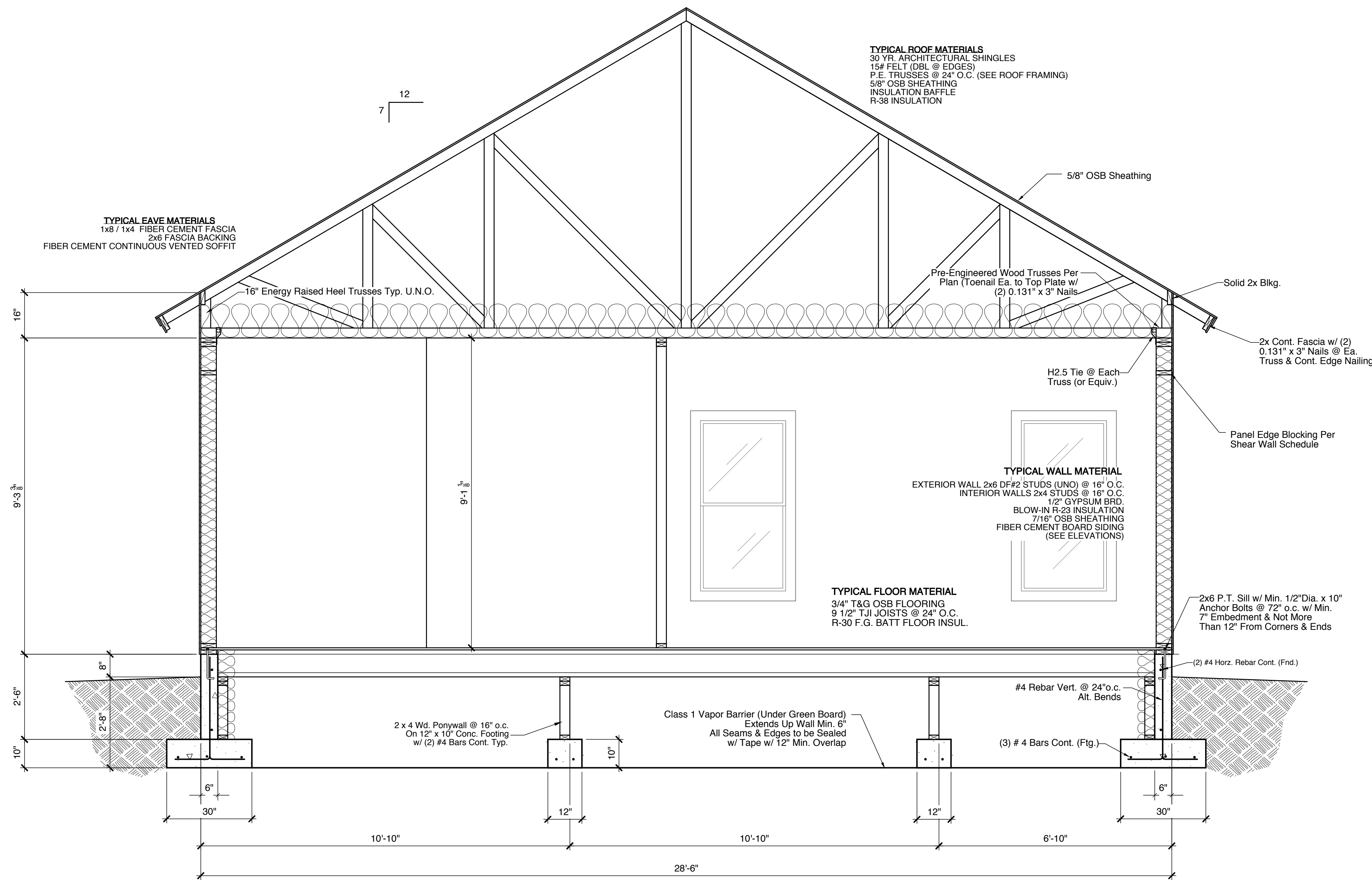
REVISIONS	DESCRIPTION	DATE	BY
No.			

DRAWN BY: ROBB VAVOLD

DATE: Jan. 4, 2023

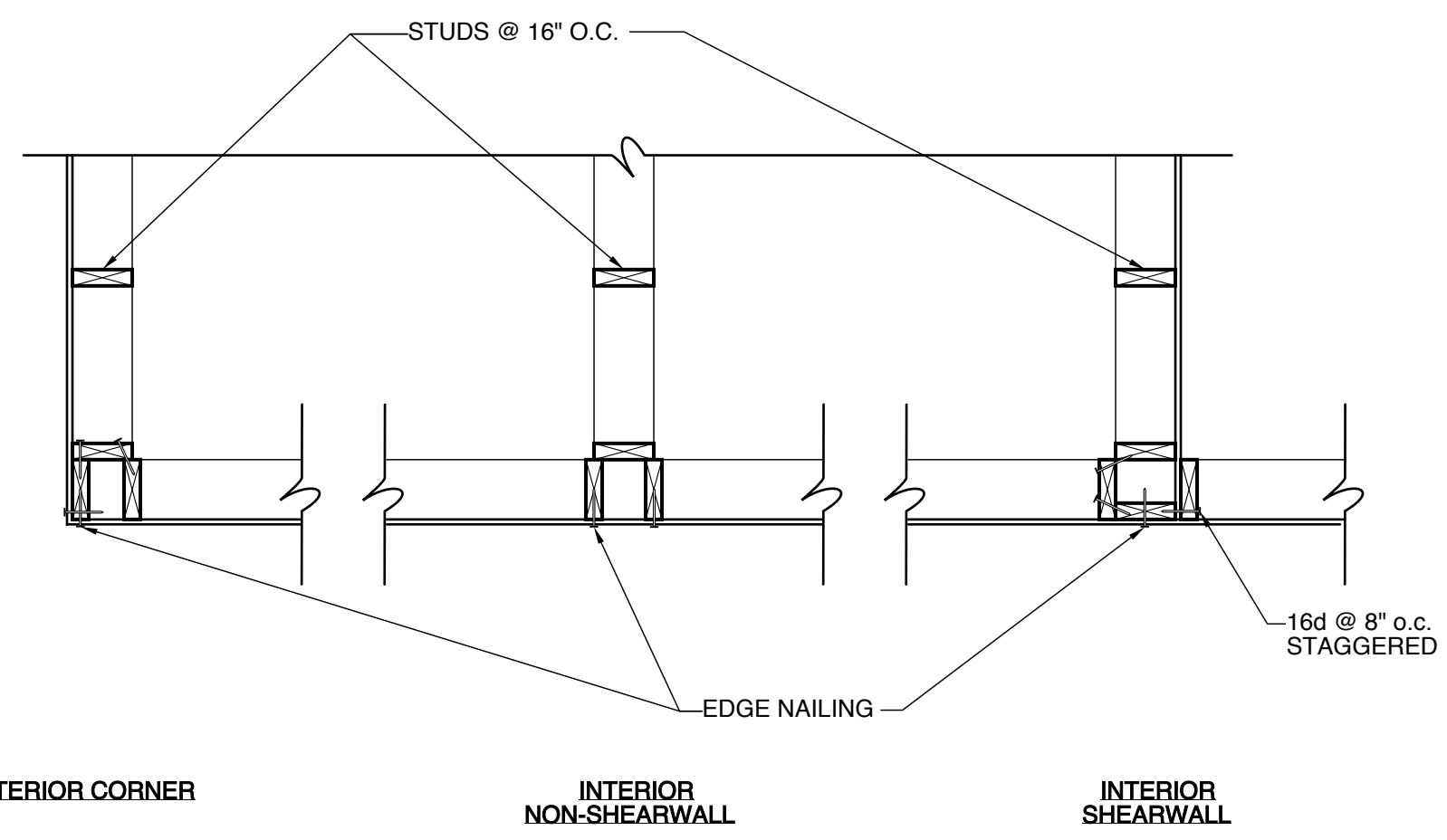
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SHEET: A4

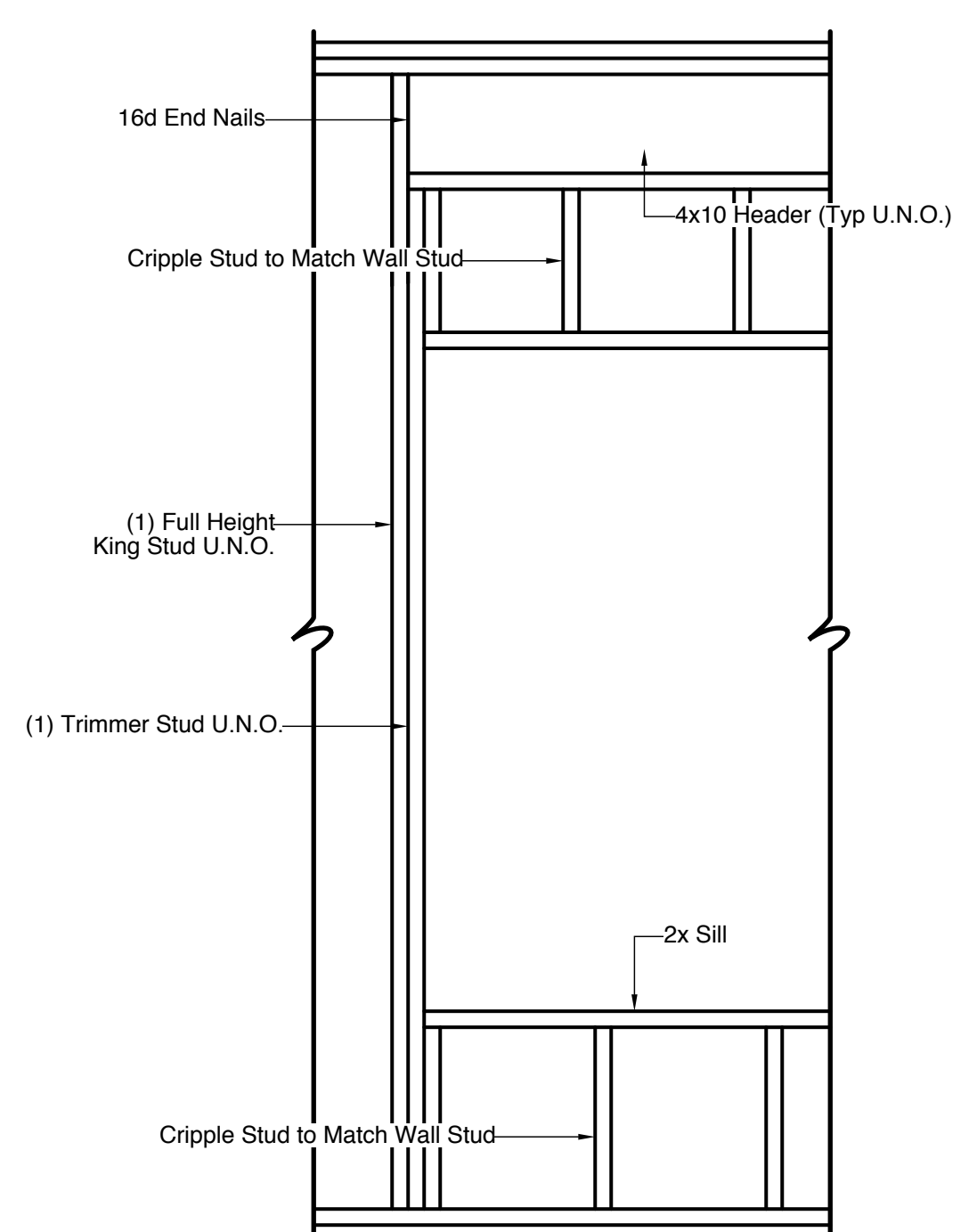
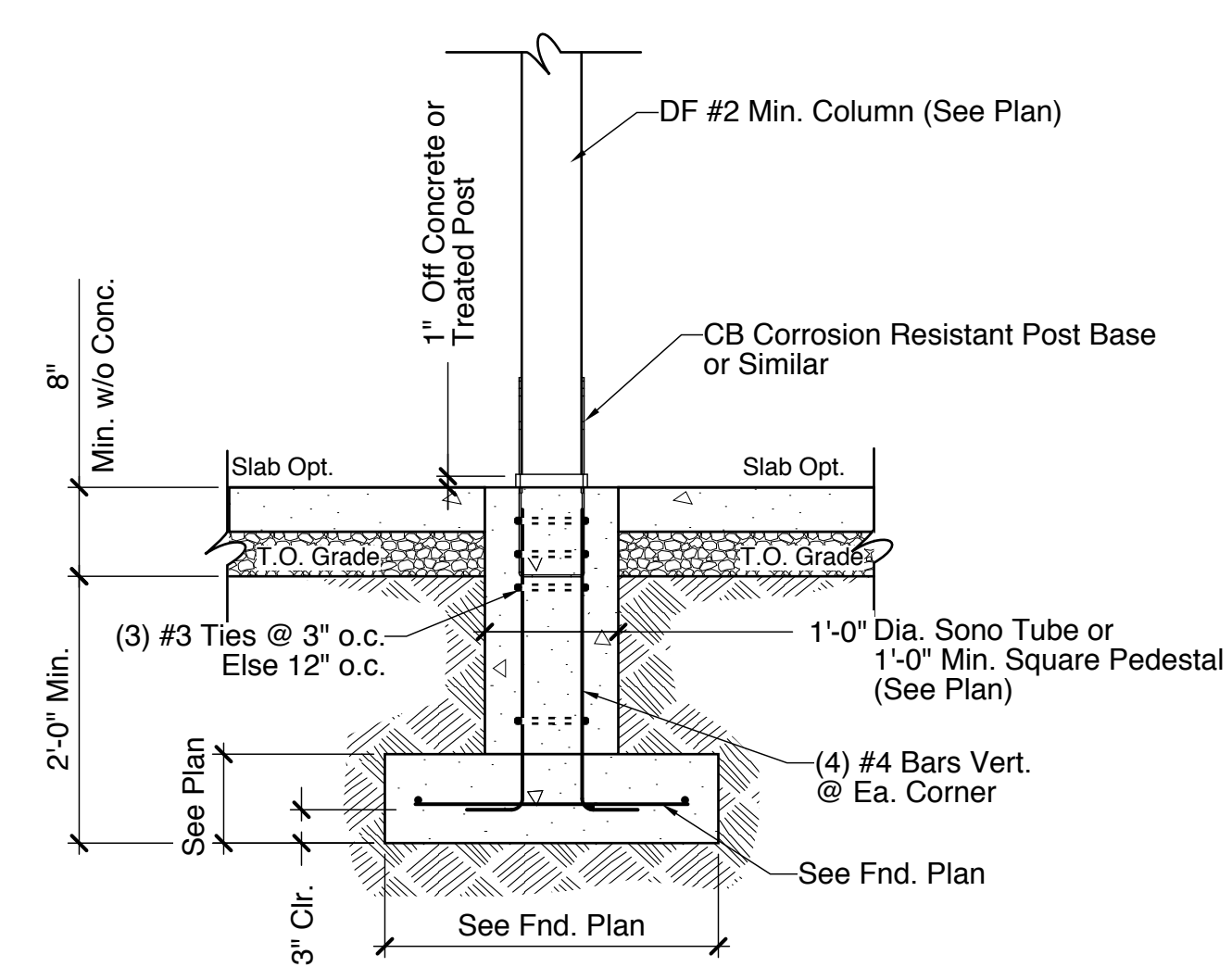
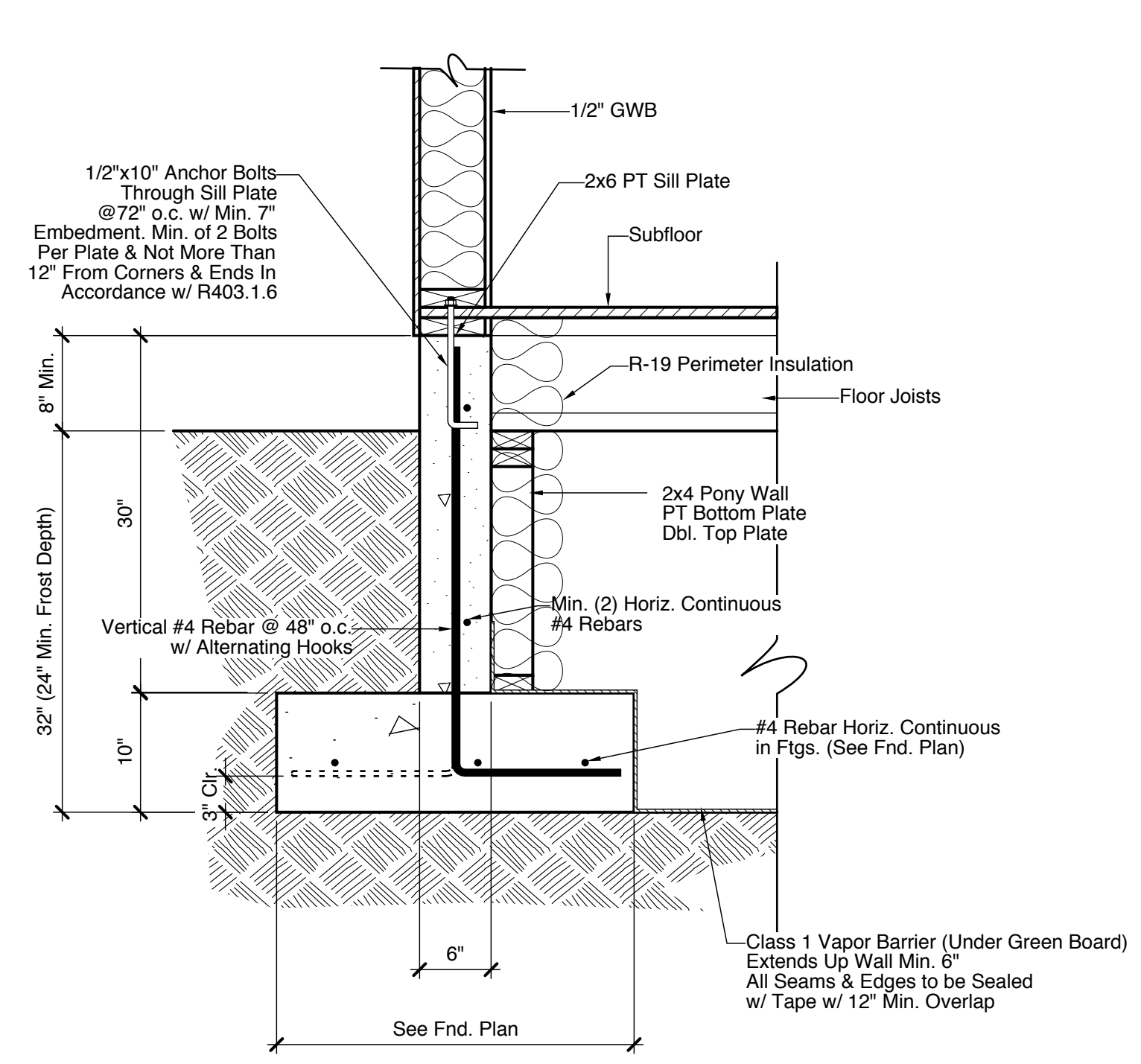
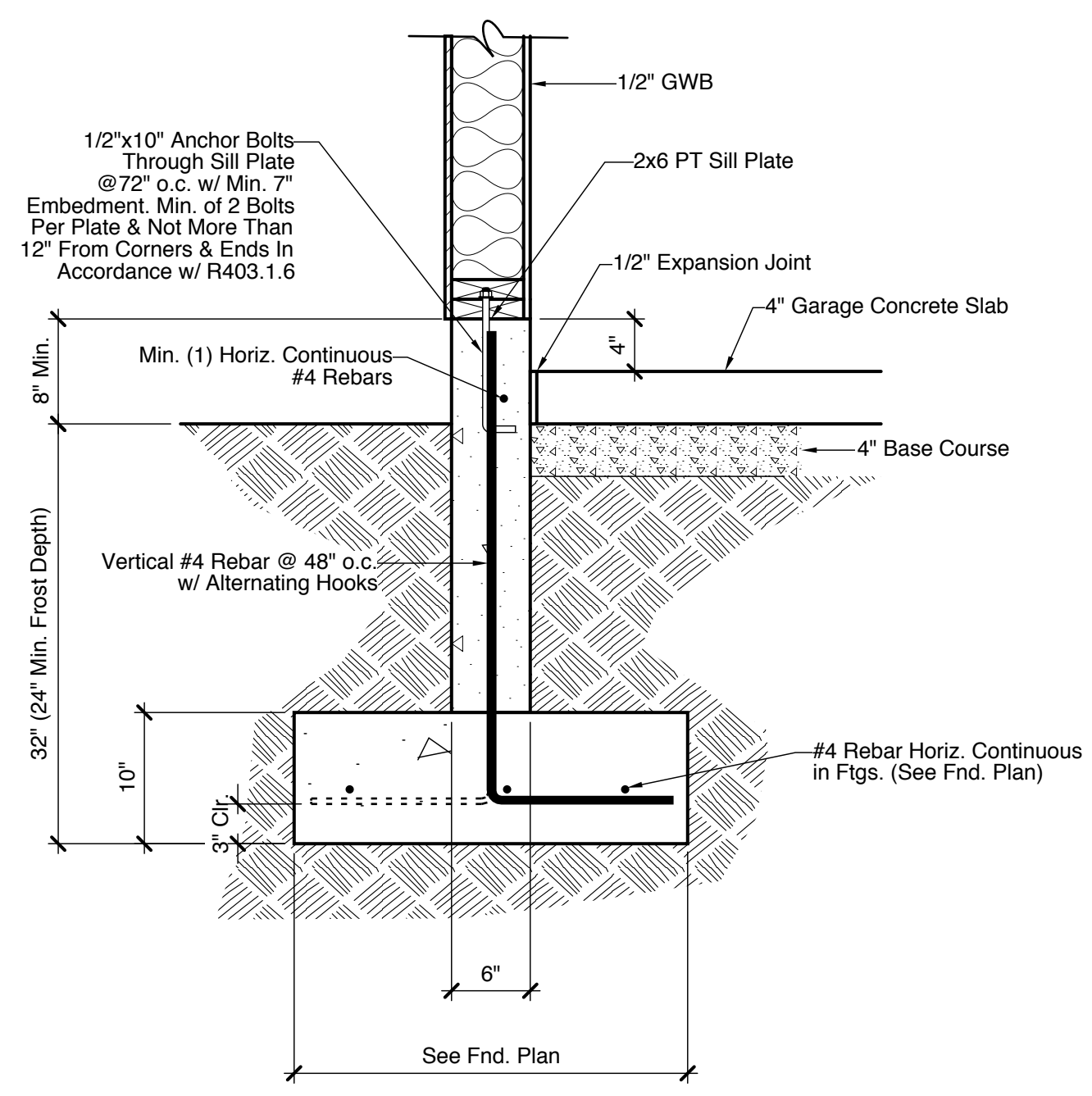


PRESCRIPTIVE ENERGY COMPLIANCE
 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CODE

IECC TABLE 402.1.1									
INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT									
CLIMATE ZONE	WINDOW U-FACTOR	SKYLITE U-FACTOR	CEILING R-VALUE	WOOD WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE	CRAWL SPACE WALL R-VALUE
5	.32	.55	38	20 or 13x5	13/17	30	15/19	10, 2 ft.	15/19



BUILDING SECTION
 Scale: 1/2" = 1'-0"



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VAVOLD DESIGN
 RESIDENTIAL HOME DESIGN & DRAFTING

SECTIONS / DETAILS

Cache Gluch
 STL Services Idaho, LLC
 208-206-8081

PROJECT:

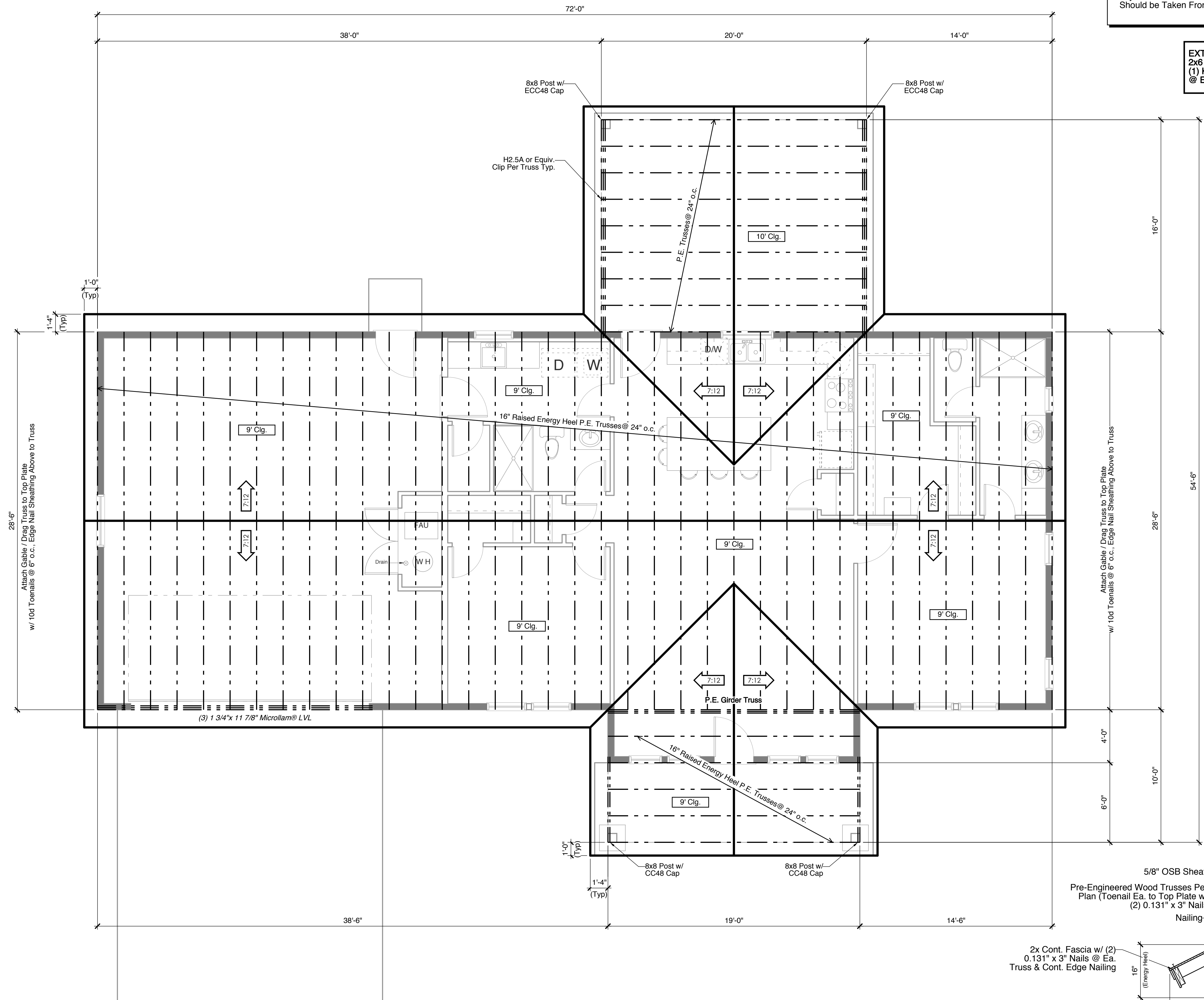
REVISIONS	DATE	BY
No.	DESCRIPTION	

DRAWN BY: ROBB VAVOLD

DATE: Jan. 4, 2023

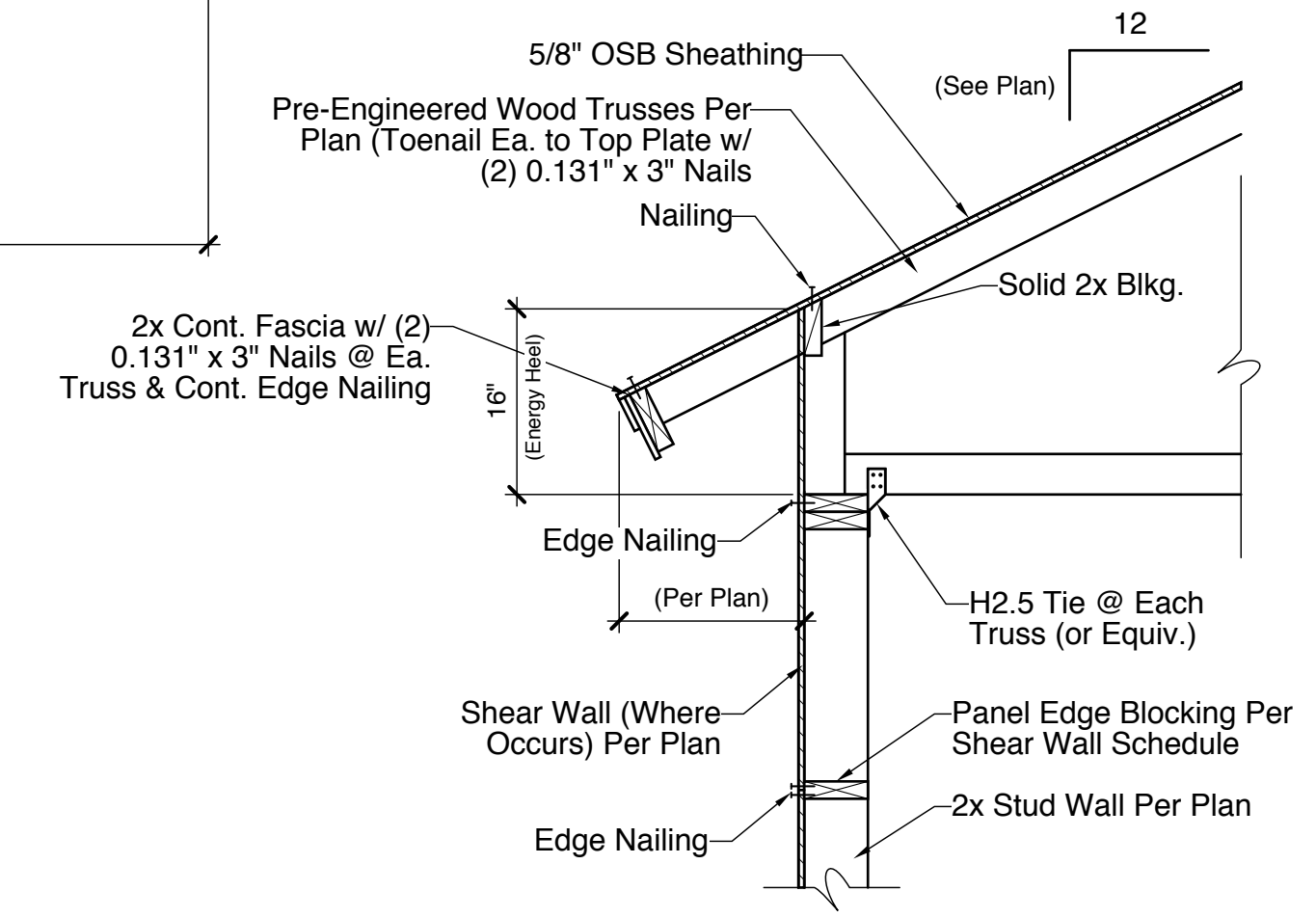
SCALE: Noted

SHEET: **A5**



Layout is for Reference Only. Final Truss Layout Should be Taken From Truss MFG Stamped Drawings

EXTERIOR WALLS:
2x6 DF #2 STUDS @ 16" O.C.
(1) KING STUD AND (2) TRIMMER
@ EA. END OF OPENINGS U.N.O.



1
A6 TYPICAL TRUSS BEARING DETAIL
Scale: 3/4" = 1'-0"

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ROOF FRAMING

PROJECT:
Cache Gluch
STLServices Idaho, LLC
208-206-8081

REVISIONS	DESCRIPTION	DATE	BY
No.			

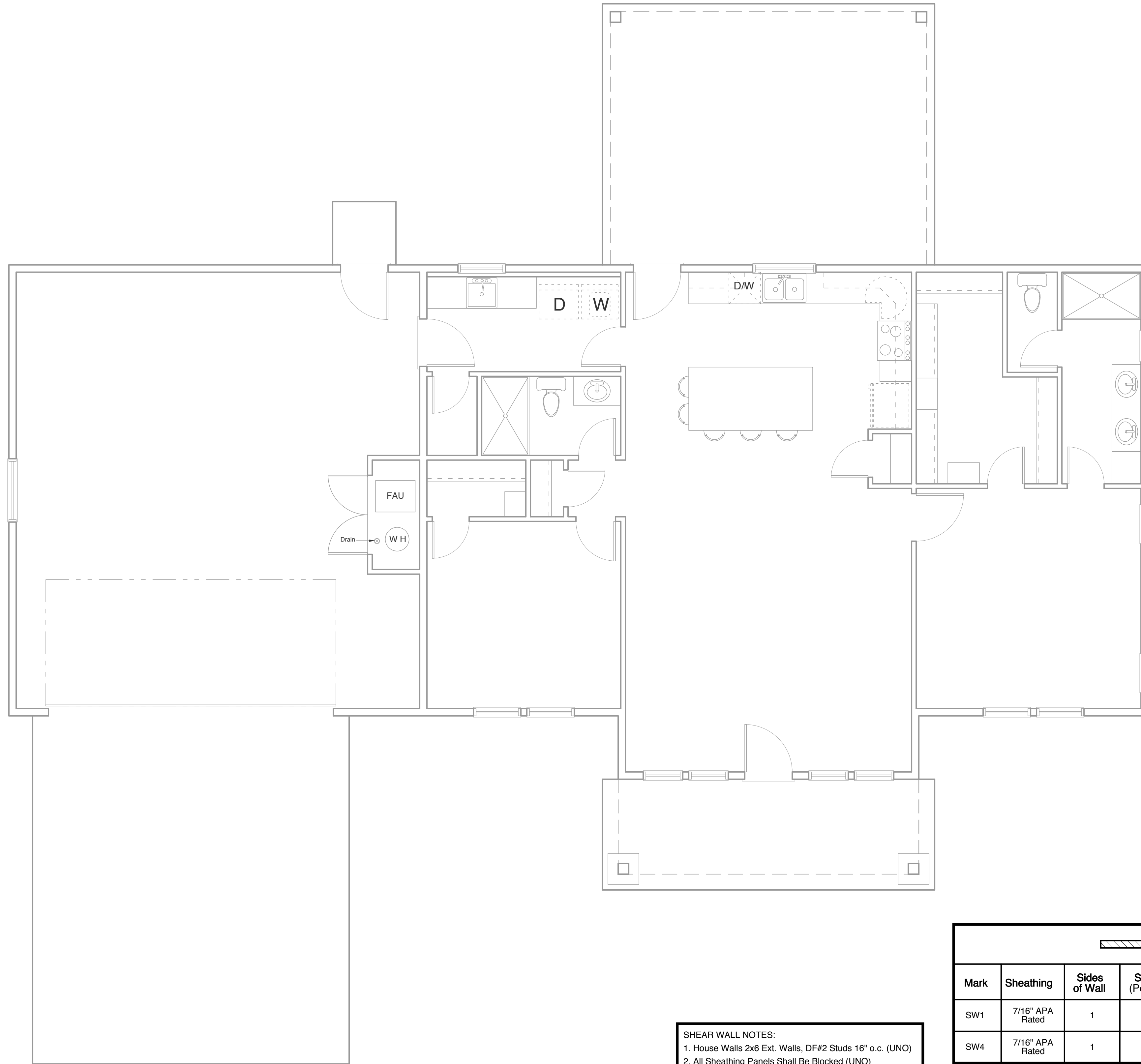
DRAWN BY: ROBB VAVOLD

DATE: Jan. 4, 2023

SCALE: 1/4" = 1'-0"

SHEET:

A6

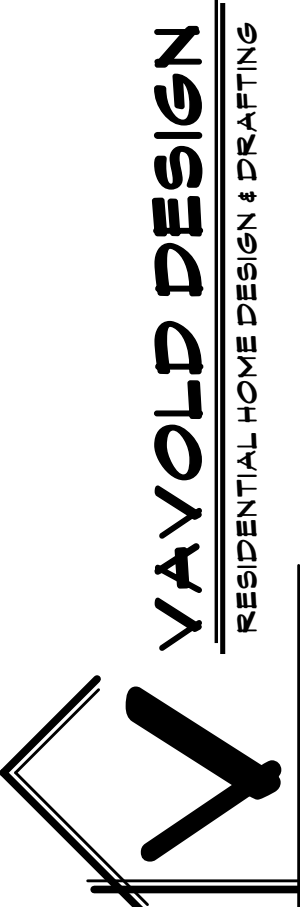


SHEAR WALL NOTES:

1. House Walls 2x6 Ext. Walls, DF#2 Studs 16" o.c. (UNO)
2. All Sheathing Panels Shall Be Blocked (UNO)
3. Provide Same Nailing Pattern Above And Below Openings As Adjacent Shear Panels.
4. All Exterior Walls Shall Be Shearwall "SW1" Without Blocking (UNO)
5. Fasten Gables to Shear Walls Below w/ 10d Toenails @ 12" o.c. Unless Noted Otherwise
6. Fasten Truss Heels to Shear Walls w/ H2.5A and (2) 10d Toenails @ Each
7. Wall Sheathing Can Be Applied To Either Side of The Wall (UNO)

Braced Wall Schedule						
Mark	Sheathing	Sides of Wall	Sheet Nailing (Perimeter / Field)	Sheet Stapling (Perimeter / Field)	Blocking	Nailing (UNO) Bottom Plate Into Rim
SW1	7/16" APA Rated	1	8d @ 6" / 12"	(OR) 16ga. x 1 1/2" 3" / 12"	Yes	(2) 16d Per 16" Bay
SW4	7/16" APA Rated	1	8d @ 2" / 12"	(4x Studs @ Sheathing Perimeter)	Yes	(4) SDS Screws Per 16" Bay

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 RVavold@gmail.com



BRACED WALL PLAN

Cache Gluch
 STL Services Idaho, LLC
 208-206-8081

PROJECT:

REVISIONS	DESCRIPTION	DATE	BY
No.			

DRAWN BY: ROBB VAVOLD

DATE: Jan. 4, 2023

SCALE: 1/4" = 1'-0"

SHEET:

A7



PAYETTE LAKES RECREATIONAL WATER AND SEWER DISTRICT

201 Jacob Street • McCall, Idaho 83638 • office 208-634-4111 • fax 208-634-7613

March 27, 2023

Brian Parker
City of McCall
216 East Park Street
McCall, Idaho 83638

RE: SR-23-02/1013 Kaitlyn Loop

Brian:

Payette Lakes Recreational Water and Sewer District (District) has reviewed the proposed project at the above referenced address, and has the following comments.

1. There is a sewer service connection for the existing structure or lot and manhole(s) in the area of construction, the sewer service connection and manhole(s) shall be protected from damage during demolition of the existing structures and construction of the proposed structure to prevent excessive water, or debris from entering the sewer system. Failure to do so will result in the owner/contractor being responsible for any cost incurred by the District for cleaning or removing debris that enters the sewer system.
2. Purchase of a sewer connection permit will be required before a building permit is issued and construction begins.
3. Inflows of surface water and excessive infiltration are prohibited. Such prohibited sources of inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day, storm water connections, sub-water drains, floor drains located within garages, foundation drains, roof drains, swimming pools, street drains, basement drains, sump pumps and abandoned sewer lines.
4. The owner/contractor shall notify the District two (2) business days before connection to the sewer stub.

Please contact me should you have any questions.

Best Regards,

A handwritten signature in blue ink that reads "Jeff Bateman".

Jeff Bateman
Manager, Payette Lakes Recreational Water and Sewer District
Email: jbateman@plrwsd.org

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
MIDDLEKAUFF RESIDENCE)

Design Review)
)
Application Number:)
DR-23-02, SR-23-01)

**FINDINGS OF FACT, CONCLUSIONS OF LAW,
AND DECISION**

FINDINGS OF FACTS

Applicant: Gregg & Sallee Middlekauff

Representative: Courtney Snyder, McCall Design & Planning

Application: An application for Design Review to construct new single-family residence totaling 2,781 square feet with an attached garage to replace an old cabin on site.

Address: 2078 Warren Wagon Road

Location: Lot 3 of Block 1 of the Amended Pinecrest State Subdivisions, Situate in Section 32, T19N, R3E, B.M., Valley County, Idaho.

Public Notice: Newspaper: The Notice of Hearing was published in the *Star News* on February 16, 2023.

Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on February 17, 2023.

Posting: The Notice of Hearing was posted by the applicant on the subject property on February 17, 2023.

Zoning: R4 – Low Density Residential

Property Size: 12,615 square feet

Dimensional Standards:

	Proposed	Required
Front Setback	25-feet, 0-inches	Greater than 20-feet
Rear Setback	10-feet, 0-inches	Greater than 5-feet
Side Yard Setback 1	56-feet, 0-inches	Greater than 15-feet, 0-inches
Side Yard Setback 2	20-feet, 0-inches	Greater than 20-feet, 0-inches
Eave Height 1	20-feet, 2-inches	Less than 35-feet, 0-inches
Eave Height 2	15-feet, 9-inches	Less than 35-feet, 0-inches
Both Side Setbacks must add up to:	76-feet, 0-inches	Greater than 45-feet, 0-inches
Lot Coverage (square-feet)	3,441 square-feet	Less than 3,587 square-feet
Lot Coverage (percent)	27.3%	Less than 28.4%
Snow Storage	Not Identified	Greater than 931 square-feet
Building Height	25-feet, 8-inches	Less than 35-feet
Structure Size	2,936 square-feet	Less than 10,000 square-feet

APPROVAL STANDARDS

MCC 3.7.032 Scenic Route Requirements for Development

Scenic Route Zone

The Commission shall determine whether the proposed development, improvement, or use:

- 1. The project preserves and enhances the scenic quality of the street or highway.**

The proposal will maintain the scenic quality of Warren Wagon Road by minimizing the impacts of existing vegetation, filling in between existing vegetation with native trees, and quality architectural design of the proposed residence.

2. **Is compatible (in terms of setback, bulk, height, design, finish materials, and signing) with its immediate surroundings and the desired visual quality of the scenic route.**

The proposed residence is near the maximum allowable lot coverage, but is consistent with other residences in the area. Compatibility with the desired visual quality of the scenic route is provided by the proposed landscaping that will buffer views of the new structures, and the compatible exterior building design, materials, and colors.

3. **Building Clustering** N/A
4. **Landscaping:** The applicant is providing landscaping adjacent to Warren Wagon Road in conformance with McCall City Code Section 3.7.032(I).

MCC 3.16: Design Review

The commission has determined that:

1. The project is in general conformance with the comprehensive plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the city of McCall.
4. The project will have no substantial impact on adjacent properties or the community at large.

Please see review of the Design Guidelines below.

MCC 3.3.09: DESIGN Requirements

General Objectives for Residential Design

1. **Support a residential character and is compatible with its surrounding neighborhood:** The structure is residential in character and is compatible with the surrounding neighborhood.
2. **Preserves natural features:** The proposed residence is required to be a minimum of fifteen feet (15') from any wetland areas.

3. **Promotes active and safe streetscapes:** The proposed residence does little to promote an active or safe streetscape.

Residential Review Standards

1. **Building Scale:** The proposed residence is similar in design and scale to other homes in the area.
2. **Building Design**
 - a. **Materials:** The proposed residence is to use wood, stone, and other materials with a generally natural appearance.
 - b. **Roof:** The proposed residence will utilize asphalt shingles.
 - c. **Exterior Color:** Exterior colors are of natural hues.
 - d. **Blank Walls:** Blank walls are avoided by including glass on all facades and undulating the street facade.
 - e. **Snow Loads:** Snow loads will be verified as part of the building permit process.

MCC 3.8 General Development Standards

1. **Tree Removal:** The proposed residence is sited to minimize the number of trees required to be removed.
2. **Fire Hazard Mitigation:** The proposed landscaping is consistent with the fire hazard mitigation standards of McCall City Code Section 3.8.04.
3. **Off Street Parking:** Adequate parking has been provided for the residential use.
4. **Bicycle Parking:** N/A
5. **Driveways:** The property will be accessed from Rocky Shore Drive.
6. **Fencing And Walls:** N/A
7. **Accessory Use, Buildings And Structures:** N/A
8. **Accessory Dwelling Units:** N/A
9. **Corner Vision:** N/A

10. **Landscaping And Buffering:** The proposed landscaping is required to meet the standards of McCall City Code.
11. **Snow Storage And Drainage:** Adequate snow storage is required to be identified on site. Final engineering approval of the grading and drainage plan will be required prior to issuance of a building permit.
12. **Main Entrances In R4 Through R16 Zones:** The plans are consistent with McCall City Code Section 3.8.19.
13. **Special Standards For Garages:** Due to the size of the lot, the residence is exempt from garage design standards.
14. **Local Housing Density Bonus Program:** N/A
15. **Seasonal Dwelling Units:** N/A
16. **Site Design**
 - a. Preserve natural resources – The plans submitted preserve natural resources.
 - b. Reduce land and water modifications – a grading and drainage plan will be required to receive final approval by the City Engineer prior to issuance of a building permit. The plan shall demonstrate that the project can meet the City’s drainage management guidelines.
 - c. Location to preserve prominent skylines - the location will not impact any significant views of skylines
 - d. Underground utilities – all utilities will be installed underground

Architecture

1. **Enhance McCall Classic Styles:** The proposed residence is compatible with classic McCall styles.
2. **Minimize Scale:** The building design uses architectural details to minimize its apparent scale.
3. **Building Additions:** N/A
4. **Roof Lines:** The roof line is varied to minimize the scale.
5. **Mechanical Equipment:** No exterior mechanical equipment is proposed.
6. **Multi-Unit Structures:** N/A
7. **Balconies and Porches:** The proposed residence includes porches.

8. **Exterior Doorways:** The proposed residence has an exterior doorway on the longest street facing façade.
9. **Wall Materials:** Exterior wall materials include wood, metal, and stone.
10. **Shop Front Design:** N/A
11. **Wall Colors:** Proposed wall colors are of natural hues.

Landscaping and Site Design

1. **Light Fixtures:** Light fixtures are in compliance with McCall’s Outdoor Lighting Ordinance.
2. **Fences and Walls:** N/A
3. **Retaining Walls:** N/A
4. **Paving and Streetscapes:** The proposed driveway is in conformance with McCall City Code
5. **Landscaping Plan:** The proposed landscaping is required to be in conformance with McCall City Code.
6. **Site Conditions for Landscaping:** N/A
7. **Lawn Area:** All areas disturbed with construction shall be re-seeded with native shrubs or grasses.
8. **Plants as Screening:** The site has several existing trees and additional plantings are required to screen the site when viewed from Warren Wagon Road.
9. **Utility Installations:** All new utilities are required to be undergrounded.
10. **Snow Storage:** Adequate snow storage is required to be identified.
11. **Screen Parking Lots:** N/A
12. **Irrigation System Required:** N/A
13. **Retain Existing Vegetation:** Existing vegetation will be retained as much as possible, all disturbed areas will be reseeded with native seed prior to issuance of a certificate of occupancy.
14. **Preserve Existing Trees:** No trees are proposed to be removed.

15. **Grading and Drainage:** Final approval of a grading and drainage plan will be required prior to issuance of a building permit.
16. **Maintenance:** Landscaping maintenance is the responsibility of the property owner.
17. **Sidewalks:** N/A
18. **Bike Paths:** N/A

Residential Districts

1. **Preserve historic residences:** The existing structure is required to be documented for historic preservation purposes prior to demolition.
2. **Preserve human scale in residential character:** The proposed utilizes architectural detail to minimize building massing and is adequately landscaped.
3. **Preserve compatibility with surrounding neighborhoods:** The structure is compatible with the surrounding neighborhood.
4. **Preserve natural features of the immediate landscape and environment:** The proposed residence utilizes natural colors and materials, and is required to be adequately landscaped.
5. **Provide for community, or affordable, housing as needed:** The project does not provide for community or affordable housing; however, it is not required by code.
6. **Provide open spaces to enhance and maintain the rural character:** The proposed residence nearly maximizes the allowable lot coverage.
7. **Provide living and moving space for native animals:** The proposed residence meets setback requirements, and therefore provides more living and moving space for animals than is required.
8. **Promote active and safe streetscapes in residential neighborhoods that are conducive to walking and biking:** The proposed residence does not promote an active or safe streetscape.

DEPARTMENT/AGENCY COMMENTS

Agency Comments:

- City of McCall Public Works

In an email dated March 1, 2023, the City of McCall Staff Engineer provided the following comments:

The Public Works Department has reviewed the submitted materials for **DR23-02** and have the following condition of approval and comments:

1. Thank you for providing a stormwater drainage report for your project. The report submitted shows compliance with the City's Drainage Management Guidelines for projects with less than 5,000 square feet of impervious area.
 - a. The signed stormwater application identifies **Gregg and Sallee Middlekauf (208-280-3505)** as the responsible party for the inspection and monitoring responsibilities of the best management practices (BMP's) once the project is implemented.
2. On your site plan, you are identifying tying into the sewer main in Warren Wagon Road. The County Road department may ask for more information regarding the potential impacts to that roadway and may have additional comments. The City does not own or maintain the sewer system, please work with Payette Lakes Recreational Water and Sewer district for any proposed changes to sewer service.
3. Warren Wagon Rd and Rocky Shore Dr are shown to be maintained by the County. Any changes to the access or any construction within the right-of-way will need to be approved by the County prior to construction commencing.

This email will act as the City's Final Engineering Approval. Please let me know if there are any questions or concerns.

Public Comments:

No public comments received to date.

PUBLIC HEARING OF THE COMMISSION:

A public hearing on the application was held before the McCall Area Planning and Zoning Commission on March 7, 2023, at which time testimony was taken and the public hearing was closed. The Commission made their decision at that time.

COMMISSION DELIBERATION:

Upon closing the public hearing, the Commission discussed during deliberation that:

- The proposed structure is consistent with the McCall Design Guidelines.
- The landscaping along Warren Wagon Road should include existing shrubs/

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.
2. Adequate notice of the March 7, 2023 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review application, provided that the following conditions are met:

1. Prior to the issuance of a building permit, the applicant shall receive final engineering approval.
2. Prior to the issuance of a building permit, the applicant shall provide a revised site plan showing one (1) square foot of snow storage area per every three (3) square feet of driveway, walkway, or uncovered parking area.
3. Prior to the issuance of a building permit, the applicant shall provide a revised landscaping plan showing a minimum of 53 native shrubs along the Warren Wagon street frontage.

4. Prior to the issuance of a demolition permit for the existing structure, the applicant shall provide documentation of the existing structure in accordance with the Secretary of the Interior’s Guidelines for Architectural and Engineering Documentation.
5. Prior to the issuance of a certificate of occupancy, the applicant shall reseed all disturbed areas with native grasses or wildflowers.

Findings of Fact **adopted** this 4th day of APRIL, 2023.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall



City of McCall

COMMUNITY DEVELOPMENT

www.mccall.id.us

216 East Park Street
McCall, Idaho 83638

Phone 208-634-7052

Main 208-634-7142

Fax 208-634-3038

Subject: DR-22-27 – Request to Continue
From: Brian Parker, City Planner
Date: April 4, 2023

The intention of this Memorandum is to request that the subject application be continued

Please continue the subject application to the May 2, 2023, McCall Area Planning & Zoning Commission Meeting to allow the applicant and staff additional time to revise and review the application documentation.



City of McCall

COMMUNITY DEVELOPMENT

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216 East Park Street
McCall, Idaho 83638

Phone 208-634-7052

Main 208-634-7142

Fax 208-634-3038

Subject: DR-23-01 – Request to Continue
From: Brian Parker, City Planner
Date: April 4, 2023

The intention of this Memorandum is to request that the subject application be continued

Please continue the subject application to the May 2, 2023, McCall Area Planning & Zoning Commission Meeting to allow the applicant and staff additional time to revise and review the application documentation.

McCall Area Planning & Zoning Commission

Staff Report

DR-23-04 & SR-23-08

MDSO Employee Housing

TBD Stibnite Street

April 4, 2023

Applicant: McCall Donnelly School District
Representative: Kerstin Dettrich, The Land Group, Inc.
Applications: Design Review, Scenic Route Review
Zoning District: R8 – Medium Density Residential
Jurisdictional Area: City Limits

Description

An application for Design Review to develop the school district staff housing site and review necessary site planning and entitle the construction of one (1) cottage and one (1) multifamily building with eight (8) units.

Project Description

Project Information

Zoning District: R8 – Medium Density Residential
Comprehensive Plan Designation: High Density Residential
Project Acreage: 4.4 acres
Proposed Use: Multifamily Residential

Dimensional Standards

	Proposed	Required
Front Setback	83-feet, 10-inches	Greater than 20-feet
Rear Setback	170-feet, 0-inches	Greater than 20-feet
Side Yard Setback 1	76-feet, 0-inches	Greater than 15-feet, 0-inches
Side Yard Setback 2	133-feet, 0-inches	Greater than 15-feet, 0-inches
Eave Height 1	28-feet, 9-inches	Less than 35-feet, 0-inches
Eave Height 2	28-feet, 9-inches	Less than 35-feet, 0-inches
Both Side Setbacks must add up to:	209-feet, 0-inches	Greater than 165-feet, 7-inches
Lot Coverage (square-feet)	23,808 square-feet	Less than 45,503 square-feet
Lot Coverage (percent)	12.4%	Less than 23.7%
Snow Storage	7,673 square-feet	Greater than 5,958 square-feet
Building Height	28-feet, 9-inches	Less than 35-feet

Code Sections of Interest

- McCall Code Section 3.3.09: Residential Zone Design Review Standards:
 - (A) Purpose: To ensure that the McCall area's built environment complements McCall's natural environment, scenic mountain setting, and historic, small town character.
 1. To support development that is residential in character and compatible with its surrounding neighborhood.
 2. To preserve natural features, including waterways, open space, trees, native vegetation, and wildlife habitat and corridors.
 3. To promote active and safe streetscapes in residential neighborhoods that are conducive to walking and biking.
 - (B) Applicability: The design standards apply to accessory dwelling units, multifamily residential developments of three (3) or more units and single-family residential dwelling units greater than three thousand five hundred (3,500) square feet.
 - (C) Residential Design Standards:
 1. Building Scale: The building shall be in scale with the site conditions and surrounding structures. Appropriate scale can be accomplished through the following:
 - a. The principal structure on the site is the dominant element.
 - b. Building massing and scale is responsive to the site conditions, including views through and of the site, and existing vegetation. Development that is designed to complement rather than dominate the natural landscape.
 - c. Variations in wall planes and roof lines are incorporated to minimize the apparent scale of the building.
 - d. Porches, balconies, decks and terraces that strengthen the residential scale and character of the building.
 2. Building Design: Building designs shall enhance and/or continue the styles found in the McCall area with allowance for new interpretations of historic details. Local natural building materials, roof overhangs, covered porches and entrances, simplicity of design, and segmented windows are elements of the McCall style. Building designs that are in keeping with the McCall style include the following:
 - a. Materials:
 - i. Natural looking exterior materials looking siding and decking materials that resist heat and flames, including: composite decking, cement, plaster, stucco, masonry (such as stone brick or blocks) and fiber-cement siding, soffit, and trim products.

- ii. Use of stones that convey the appearance of a structural element rather than a veneer facing.
 - iii. Metal when used in combination with natural materials.
 - b. Roofs:
 - i. Roofs that compliment and respond to the mountain setting and heavy snow environment.
 - ii. Hipped, pitched, shed and gabled roofs.
 - iii. Roofs designed to prevent snow or ice from shedding directly onto a pedestrian walkway, access or adjacent property.
 - iv. Class A fire rated roof assemblies.
 - c. Exterior Color:
 - i. Exterior wall colors that tend toward earthy warm hues, with accent colors kept to a minimum of two (2) and used to highlight entrances.
 - ii. No harshly contrasted color combinations, brilliant, luminescent or day-glow colors on exterior finishes.
 - d. No blank walls shall face street frontages, including blank or unarticulated garage doors.
 - e. Decks and balconies shall be designed to handle snow and drift loads including snow shedding from roof overhangs above.
- McCall Code Section 3.8.15: Snow Storage And Drainage:
 - (A) Where snow removal and storage may pose a problem to traffic circulation or reduce the amount of adequate parking for winter business, the developer of the property shall designate a snow storage area and remove snow as necessary.
 - (B) Required Area: Snow storage areas not less than thirty-three percent (33%) of the parking, sidewalk and driveway areas shall be incorporated into the site design.
 - (C) Location:
 - 1. Snow storage may only use landscape areas that are planted with salt tolerant and resilient plant materials that can tolerate the weight of stacked snow.
 - 2. Snow storage may use up to thirty-three percent (33%) of the required parking areas.
 - 3. Snow storage areas shall be located to avoid piling of snow against existing significant trees.
 - (D) See also the requirements of sections 3.3.041 and 9.3.08 of this code. (Ord. 821, 2-23-2006, eff. 3-16-2006; amd. Ord. 998, 1-14-2021)
- McCall Code Section 3.8.23: Site Design:
 - (A) Purpose:
 - 1. To ensure that site development maintains natural features of the site and is compatible with the surrounding built and natural environment.
 - 2. To guarantee that site planning is undertaken as an integrated process inclusive of all factors influencing the development of the site and showing compliance with requirements of this title including the following:
 - a. Chapters 3-7 "Development Standards" for all Zones including: setbacks, lot coverage, and distance between buildings.
 - b. 3.7.021 "Shoreline And River Environs Zone."
 - c. 3.7.031 "Scenic Route Zone."
 - d. 3.8.04 "Fire Mitigation Standards."
 - e. 3.8.061 "Parking, Loading And Internal Circulation Area Development Standards."
 - f. 3.8.063 "Bicycle Parking."
 - g. 3.8.064 "Driveways."
 - h. 3.8.066 "Loading Areas."
 - i. 3.8.10 "Fencing And Walls."

- j. 3.8.12 "Corner Vision."
 - k. 3.8.13 "Landscaping And Buffering."
 - l. 3.8.15 "Snow Storage And Drainage."
 - m. 3.8.19 "Main Entrances In R4 Through R16 Zones."
 - n. 3.8.20 "Special Standards For Garages."
 - o. 3.8.24 "Design, Location, And Screening Of Service Areas."
 - p. Chapter 14 "Outdoor Lighting."
 - q. 9.7.033 "Special Subdivision And Development Standards" for cuts, fills and grading.
- (B) Structures shall be located in a manner that preserves significant vegetation as set forth in section 3.8.13, as well as water courses, wildlife corridors, wetlands, and significant natural features. Projects should be designed so they complement rather than dominate the natural landscape. To meet this performance standard all structures should be located:
1. In one of three (3) locations: (a) within tree masses; (b) at the edge of tree or land masses overlooking open space; or (c) in such a way as to preserve the predominate natural features of the site; and
 2. At least fifteen feet (15') from any wetland, stream or watercourse.
- (C) Site design shall minimize the modification of natural drainage patterns.
1. When modifications are necessary, surface drainage systems such as swales and retention basins are preferable to underground systems.
 2. Drainage designs shall avoid the concentration, runoff, and acceleration of the runoff.
 3. Site design shall be executed in a way which will avoid drainage impacts such as erosion and road damage both on-site as well as downstream.
 4. Drainage designs shall avoid damage to the root systems of existing trees from either trenching, grading changes or over saturation of soils around trees.
- (D) Site grading shall follow the natural terrain of the land and be the minimum necessary for development of the site as determined by the Administrator and Public Works Director.
1. Slopes shall be no steeper than 3-to-1 unless qualified soils engineering information is provided as part of the application.
 2. Cuts and fills shall have surface drainage that prevents off-site impacts, provides erosion control, and avoids impacts to existing and offsite trees.
 3. Cut and fill slopes shall be re-vegetated and terraced or controlled by retaining walls to protect against erosion, sedimentation, and the spread or cultivation of noxious and invasive weeds.
- (E) Structures shall be sited so that their form does not break prominent skyline and preserves significant views. Development located on ridgetops is prohibited.
- (F) The alignment of streets and driveways shall follow the contours of the site to minimize cuts and fills, preserve natural drainage patterns, and produce roads that are easily negotiated.
- (G) All utilities shall be installed underground.
1. New underground utilities shall be located outside of the dripline of existing trees if trenched or be tunneled a minimum of three (3) feet below existing grade within the tree's dripline. The guiding principle is that no tree root two inches (2") or larger shall be cut.
 2. In all commercial zones, all utilities within the public right of way adjacent to the front property line shall be undergrounded or conduit installed for future undergrounding.
- McCall Code Section 3.16.07: Design Review Criteria:
The commission or administrator shall determine the following before approval is given:
 - (A) The project is in general conformance with the comprehensive plan.
 - (B) The project does not jeopardize the health, safety or welfare of the public.

- (C) The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance as enumerated in section 3.16.01 of this chapter.
- (D) The project will have no substantial impact on adjacent properties or on the community at large.
- (E) If applicable, a subdivision design review document has been reviewed and approved by the commission in lieu of the design guidelines.
- (F) For projects in the shoreline and river environs zone, the project will not have an unreasonable and adverse impact on the visual quality of its setting or the water quality.
- (G) For projects in the scenic route zone, the project will preserve and enhance the scenic quality of the street or highway. (Ord. 821, 2-23-2006, eff. 3-16-2006; amd. Ord. 998, 1-14-2021)

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:
McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.
- Deep Dive – Future Land Use Designations – Low Density Residential:
This land use designation is intended to provide for the development of low density single-family residential neighborhoods. These neighborhoods consist of larger home sites. Implementing *Zoning Districts: R-4*

Staff Discussion

- The applicant is proposing to construct one (1) single family residence and one (1) eight (8) unit multifamily residential building. The proposal is the first phase of construction in a multi-phase project and as such only the portions of the roadway infrastructure associated with this phase are proposed to be constructed at this time. This is consistent with the phasing requirements of the development agreement associated with the subject property.
- The utility plan shows the existing overhead power line along the Mission Street frontage to remain. McCall Code Section 3.8.23(G) requires all utilities to be installed underground. Prior to the issuance of a building permit, the applicant should be required to either provide a revised utility plan showing the power line installed underground or provide funds equivalent to the cost of undergrounding of the power line to the City of McCall or shall provide the funds in escrow and enter into an escrow agreement with the City of McCall. The funds shall be utilized by the City of McCall for undergrounding of overhead power lines in the vicinity of the project.

Comments

Agency Comments:

- City of McCall Public Works
See attached letter dated March 29, 2023.
- City of McCall Airport
In an email dated March 15, 2023, the McCall Airport Manager provided the following comments:
IN APPROACH AND TRANSITIONAL SURFACES. FAA FORM 7460-1 REQUIRED. NOTIFICATION TO RESIDENTS OF AIRPORT PROXIMITY AND ASSOCIATED RISK, NOISE, AND FUMES IN CCRS.
- Payette Lakes Recreational Water and Sewer District
See attached letter dated March 14, 2023.

Public Comments:

No public comments received to date.

Staff Recommendation

Potential Motions Regarding DR-23-04:

1. "I move to approve DR-23-04 with the staff recommended conditions of approval."
2. "I move to approve DR-23-04 with the staff recommended conditions of approval with the following modifications: _____."
3. "I move to continue DR-23-04 to the _____ meeting to allow time for staff and the applicant to provide more information on the following: _____."
4. "I move to remand DR-23-04 back to staff and more information on _____ prior to reschedule the application for a new public hearing."
5. "I move to continue DR-23-04 to the May 2, 2023 meeting and direct staff to prepare findings of fact and conclusions of law documents denying the subject application for the reasons identified in the Commission's deliberations."

Conditions of Approval

1. Prior to the issuance of a building permit, the applicant shall receive final engineering approval.
2. Prior to the issuance of a building permit, the applicant shall be required to either provide a revised utility plan showing the power line installed underground or provide funds equivalent to the cost of undergrounding of the power line to the City of McCall or shall provide the funds in escrow and enter into an escrow agreement with the City of McCall. The funds shall be utilized by the City of McCall for undergrounding of overhead power lines in the vicinity of the project.
3. Proof of adequate sewer permits shall be required prior to the issuance of a building permit.
4. No building permits shall be issued for individual structures until addresses have been assigned.
5. Prior to the issuance of a building permit, the applicant shall provide the City with a copy of a submitted FAA Form 7460-1.
6. All lease agreements shall include language notifying tenants that the airport is nearby and the site is subject to the terms of the aviation easement recorded as Instrument #455076.
7. The City of McCall and/or any future housing authority reserves the right to periodically conduct compliance audits to ensure that dwelling units are rented as employee housing in a manner consistent with the terms described in the application materials of ZON-22-02.
8. Prior to the issuance of a certificate of occupancy, the applicant shall reseed all disturbed areas with native grasses or wildflowers.
9. Pursuant to McCall Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Prepared By:



Brian Parker
City Planner



Distribution Memorandum

Date: March 10, 2023

To: City of McCall

Airport

Community and Economic Development

Finance

Information Systems

Parks and Recreation

Police

Public Works

Valley County

Assessor's Office

County Surveyor

Parks and Recreation

Planning and Zoning

Road & Bridge

State

Central District Health Department

Idaho Department of Environmental Quality

Idaho Department of Lands

Idaho Fish and Game

Idaho Transportation Department

Idaho Transportation Department, Division of
Aeronautics

Other

Big Payette Lake Water Quality Council

Idaho Power Company

McCall Fire Protection District

Payette Lakes Recreational Water and Sewer
District

A complete list of individual recipients is available upon request.

From: Brian Parker, City Planner

DR-23-04 – TBD Stibnite St – The Land Group for McCall-Donnelly Joint School District

An application for Design Review to develop the school district staff housing site and review necessary site planning and entitle the construction of one (1) cottage and one (1) multifamily building with eight (8) units. The property is zoned R8 – Medium Density Residential; and is more particularly described as:

Part of Tax Parcel No. 80 in the NW ¼ of the N/W ¼ of Section 16, T18N, R3E, B.M., City of McCall, Idaho

Planning and Zoning Meeting Date: April 4, 2023

Comments Deadline: **March 24, 2023**

Your comments are appreciated and the applicant will be required to satisfy all comments prior to approval. If you would like your comments incorporated to any Planning and Zoning documents please send me your comments by the date indicated above. If you have questions or concerns regarding the application, please contact the City Planner at 208-634-4256.



City of McCall

Design Review Application

Date: 02/22/2023

Applicant / Additional Billing Contact / Owner

Applicant Name: McCall-Donnelly Joint School District

Address:
City, State, Zip:
Phone:

Email: jclay@mdsd.org

Addl Billing Contact: Jason Clay

Address: 299 S 3rd Street
City, State, Zip: McCall, Idaho 83638
Phone: 2086342161
Email: jclay@mdsd.org

Owner of Record Name: McCall-Donnelly Joint School District #421

Address: 299 S 3rd Street
City: McCall
State: Idaho
Zip: 83638
Phone: 2086342161
Email: jclay@mdsd.org
Invoice Email:

Owner of Record 2:

Address:
City:
State:
Zip:
Phone:
Email:
Invoice Email:

Property

Site Address: Address Needs Assignment
Legal Desc.: Situate in the NW 1/4 of the NW 1/4 of Section 16, Township 18 North, Range 3 East, Boise Meridian City of McCall, Valley County, Idaho 2023

Zoning District: R8

Area: City Limits
Sewer: Payette Lakes Recreational Water and Sewer
Square Footage: 191664

Contractor

Contact Name: Kerstin Dettrich
Business Name: The Land Group
McCall License #:
Mailing Address:

Email: kerstin@thelandgroupinc.com
Phone: 208-985-4358
Idaho #:

Annexation Information

Annex Request:
Adjoining Land Use:
Parcel Split:
Parcel Adjoin:

Valley County:
Conditional Use: Residential Residential Multi-family (Local Housing)
Project Type: City Water
Water:
Neighbor Meeting:

Description: Refer to project description letter and enclosures

Companion Applications

- | | | | |
|--------------------------------------|-------------------------------------|-----------------------------------|--------------------------|
| Record of Survey: | <input type="checkbox"/> | Subdivision (Final Plat): | <input type="checkbox"/> |
| Design Review: | <input type="checkbox"/> | Subdivision Minor Plat Amendment: | <input type="checkbox"/> |
| Scenic Route View: | <input checked="" type="checkbox"/> | Variance: | <input type="checkbox"/> |
| Shoreline and River Environs Review: | <input type="checkbox"/> | Rezone/Future Land/Comprehensive: | <input type="checkbox"/> |
| Conditional Use: | <input type="checkbox"/> | Zoning Code Amendment: | <input type="checkbox"/> |
| Development Agreement: | <input type="checkbox"/> | Annexation: | <input type="checkbox"/> |
| Planned Unit Develop (Prelim Plat): | <input type="checkbox"/> | Vacation: | <input type="checkbox"/> |
| Planned Unit Develop (Final Plat): | <input type="checkbox"/> | Land Use: | <input type="checkbox"/> |
| Subdivision (Prelim Plat): | <input type="checkbox"/> | | |

Details

- | | | | |
|---------------------|--------|---------------------|--|
| Existing Cover: | 4 | Res Parcels: | |
| Proposed Cover: | 28 | Comm Parcels: | |
| Open Space Sq.Ft.: | 115869 | Engineer Name: | |
| # of Parking: | 19 | Engineer Email: | |
| Max Grade %: | 35 | Engineer Phone: | |
| Average Grade %: | 3 | Pre-App Date: | |
| Total Acreage: | 4 | Condominiums: | |
| Zoned Density: | 0 | Townhomes: | |
| Proposed Density: | 0 | PUD Name: | |
| Total Exist Lot: | 0 | Architect Name: | |
| Total Proposed Lot: | 0 | Architect Email: | |
| Min Lot Frontage: | 0 | Architect Phone: | |
| Min Lot Size: | 0 | Proposed Uses: | |
| Surveyor Name: | | Scenic Frontage: | |
| Surveyor Email: | | # of New Trees: | |
| Surveyor Phone: | | # of New Shrubs: | |
| Subdivision Name: | | Floodplain: | |
| Existing Parcels: | 0 | Shoreline Frontage: | |
| Proposed Parcels: | 0 | High Water Mark: | |
| New Construction | 9076 | | |
| Sq Ft: | | | |

Sign

- Proposed color palette:
 Total signage area existing:
 Total signage area proposed:
 Length of street facing wall in linear feet:
 Length of property frontage in linear feet:
 If multiple frontages, please add lengths from street 2:
 Sign Company:
 Proposed Lighting:

I do hereby certify that the information contained herein is true and correct.

Kerstin Dettrich

02/22/2023

Name

Date



February 21, 2023

Brian Parker
Planning and Zoning Department
City of McCall
216 East Park Street
McCall, ID 83638, ID 83638

bparker@mccall.id.us

**RE: McCall-Donnelly School District | Multi-family Staff Housing Project
Design Review Application | PN 122079**

Dear Mr. Parker & City Staff,

To meet the growing needs of the McCall-Donnelly School District, (hereinafter referred to as ‘the school district’), and after thoroughly reviewing city code, zoning and land-use requirements as well as working closely with city staff and Payette Lakes Recreational Sewer and Water District, we are pleased to present the following Design Review application for McCall-Donnelly School District Staff Housing Project.

Pending new parcel numbers and addressing, TLG will refer to the subject parcel as Parcel A, per ROS 22-09, see ROS excerpt below. Parcel A is the northern parcel that the school district intends to develop. Parcel B (not shown) is not included in this application and is intended to be sold at public auction.

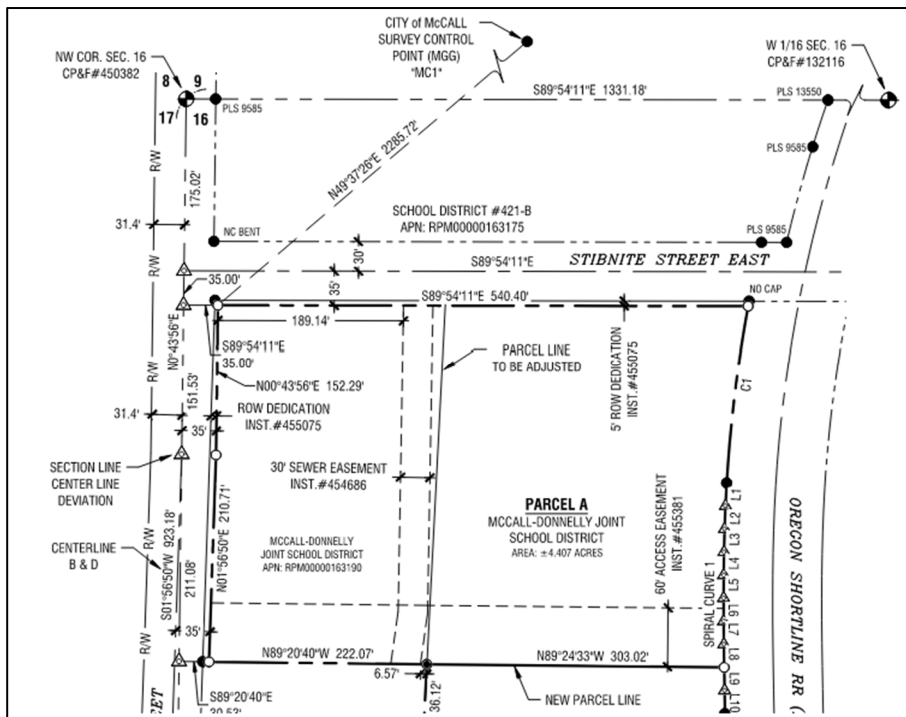


Exhibit 1: ROS 22-09 Parcel A - Refer to ROS 22-09 for full document

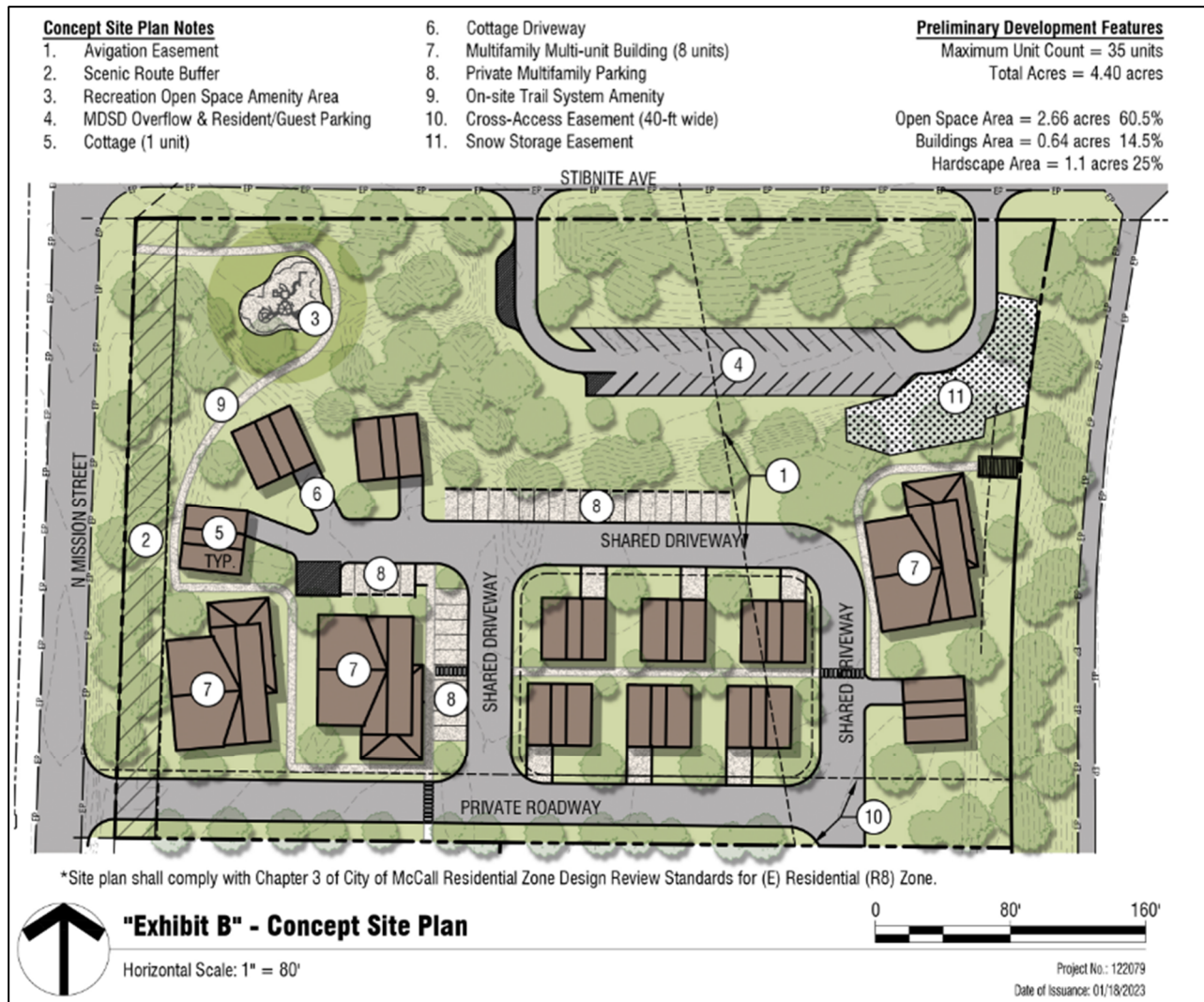


Exhibit 2: Development Agreement Concept Site Plan – Refer to ZON-22-02 for full document

Site Summary

The existing Parcel A is currently undeveloped land used for overflow storage and parking by the school district and the general public. There is a small unimproved parking area ‘loop’ at the northeast corner of Parcel A, which also serves as the primary parking area for public to access the frisbee course located on the city owned parcel to the east (parcel RPM00000163090). The northern portion of the site is also raised because of remnant spoils piles from construction of the high school, which was previously graded separate from this project. The owner completed geotechnical evaluation of soils which will be provided with the site building permit application. The only other feature of mention, is a remnant asphalt tennis court located in the southeast corner of the parcel slated to be demolished, refer to the drawings for additional detail.

In accordance with city code and in coordination with previous applications ROS-22-09, ZON-22-02 and the associative development agreement, enclosed you will find drawings and checklists to satisfy

application requirements for McCall-Donnelly School District Staff Housing Project with the goal of creating a 'Best In Class' local housing solution.

The school district and design team intend to apply for site building permit for Phase One-Site in spring 2023, with Phase One-Building (architectural, mechanical, electrical, and plumbing) permit application being submitted thereafter in spring 2023.

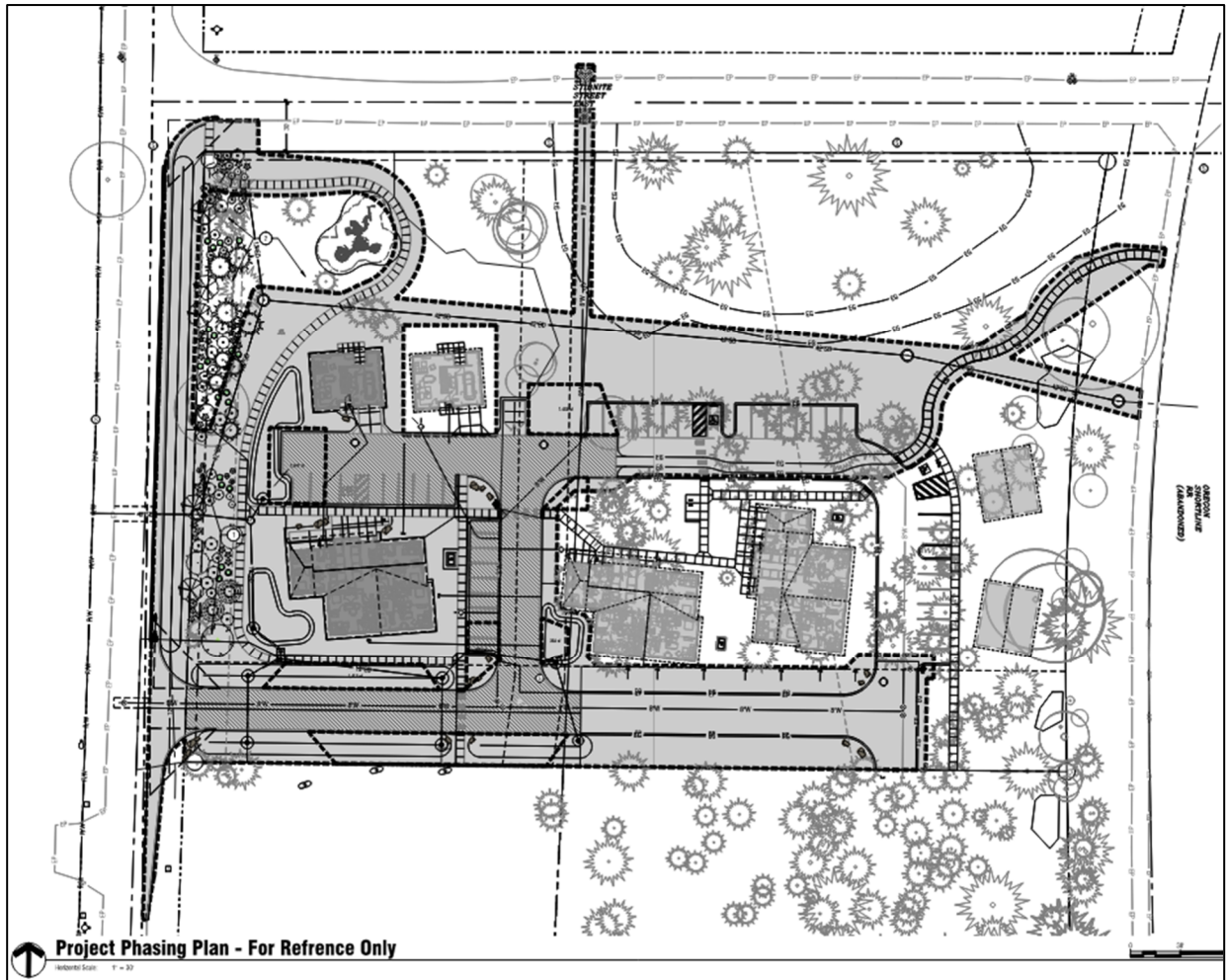


Exhibit 3: Phase One Site Plan – Refer to full drawing set additional detail

Phase One includes one (1) multifamily building and one (1) cottage. The development includes utility mainline extensions to service the two structures and provide stubs for future connections. Limits of asphalt paving provide access to phase one of the development, leaving future paving of the eastern loop road, to be completed with future phase of development. Construction of the pedestrian pathway connecting the development to the corner of Stibnite Street and Mission Street will be completed in phase one as well as a portion of scenic route buffer plantings.

Taking inspiration from the local community's love for, and connection to, the outdoors, the project aims to create a communal cottage community atmosphere adjoined with internal walking paths

connecting residents with the surrounding wooded area and existing recreational opportunities. Plant material selections are native plant species not requiring irrigation. The overall landscape architectural goal is to re-naturalize the site with hearty native grasses, woody plantings and native trees to re-establish a natural mountain woodland environment in a park like setting.

Please refer to the City of McCall Allowable Lot Coverage Form included below for required lot coverage calculations and percentages.

Maximum grades on-site are located at well ponds which are 2:1 or approximately 35%. However, average grade on site in developed/paved area is approximately 2.5%, with the flattest areas graded at approximately 1.4%. Refer to grading drainage plans for additional detail.

The floodplain development permit requirement in checklist is not applicable to this site.

Property Frontage = 912 lineal feet

Typical Setbacks = 15 lineal feet

Parking Spaces = 19 each

Cottage Driveway = 1 each (2 compact surface spaces, 1 garage space)

Site Calculations Summary Table

<u>Development Calculations</u>	Development Agreement Totals			Phase 1 Development Totals		
	<u>Total Acreage</u>	<u>Square Footage</u>	<u>Total %</u>	<u>Phase 1 Acreage</u>	<u>Square Footage</u>	<u>Phase 1 %</u>
Total (Lot size)	4.4	191,664	100%	2.81	122,404	64%
Units	35			9		
Open Space Area	2.66	115,870	60.5%	1.56	67,954	35%
Buildings Area	0.64	27,878	14.5%	0.11	4,792	3%
Hardscape Area	1.1	47,916	25%	0.64	27,878	15%
Existing Undisturbed Area				1.59		36%
Existing Disturbed (Asphalt Pad)		10,684				
Existing Disturbed (Driveways)		14,589				
Existing Disturbed Total		25,273				

Architectural Summary

Tucked away in the trees, this project architecturally aims to provide housing for future teachers, educators, faculty, and general staff of the McCall Donnelly School District. The proposed multifamily and single-family residences provide a variety of living options for all types of employees, whether they are a family of one or more than one. The multifamily building provides eight (8) units including one (1) and two (2) bedroom unit types. The single-family style cottage unit is a two-story structure with three (3) bedrooms and three (3) bathrooms.

Please refer to the architectural drawings for all required application information including building elevations, floor plans and material descriptions, colors, and additional detail.

A photometrics plan and lighting cuts sheets are also included with this application.

Maximum building height shall not exceed thirty-five (35) feet.

Building Calculations Summary Table

Building A (Cottage) – including the stair one time	Square Feet
First Floor	736
Second Floor	774
Total Living	1,510
Garage/Mechanical/Storage	466
Covered Building Space	80
Total Building	2,056
Building B (Multifamily) – including the stair one time	
First Floor	3,364
Second Floor	3,080
Total Living	6,444
Garage/Mechanical/Storage	402
Covered Building Space	174
Total Building	7,020
Overall Total Building (Approximate)	27,878

Our team looks forward to hearing from City staff and ultimately working with City staff to plan a quality project that we can all be proud of.

Sincerely,



Kerstin Dettrich

senior project manager

P. 208.985.4358

Enclosures:

1. Design Review Drawings, dated 2/21/2023
 - THE LAND GROUP INC.: Civil Engineering & Landscape Architecture; Site Plans with Setbacks & Site Photos, Landscaping, Grading, & Utilities, Drainage & Stormwater**
 - C0.00: COVER SHEET
 - C0.10: PROJECT PHASING PLAN
 - C1.00: DEMOLITION PLAN OVERALL
 - C2.00: SITE PLAN OVERALL
 - C2.01: SITE PLAN AREA A
 - C2.02: SITE PLAN AREA B
 - C2.50: SITE DETAILS
 - C2.51: SITE DETAILS
 - L1.00: LANDSCAPE OVERALL
 - L1.01: LANDSCAPE AREA A
 - L1.02: LANDSCAPE AREA B
 - L1.50: LANDSCAPE DETAILS
 - PIVOT NORTH ARCHITECTURE: Elevations & Floorplans, Material Descriptions & Colors, 3D Rendering of Proposed Project**
 - A00 COVER SHEET
 - A01 FLOOR PLANS - BUILDING A
 - A02 FLOOR PLANS - BUILDING B
 - A03 ELEVATIONS - BUILDING A
 - A04 ELEVATIONS - BUILDING B
 - A05 PROJECT RENDERINGS
 - A06 PROJECT RENDERINGS
 - MUSGROVE ENGINEERING: Photometrics Plan & Exterior Lighting Cutsheets**
 - SHEET 1 OF 1: SITE PHOTOMETRICS
 - LIGHTING CUTSHEETS
2. Design Review Information Checklist, dated 2/21/2023
3. Scenic Route Information Checklist, dated 2/21/2023
4. City of McCall Allowable Lot Coverage Form, dated 2/21/2023



City of McCall

216 East Park Street
McCall, Idaho 83638
P: (208) 634-7142
F: (208) 634-3038

DESIGN REVIEW INFORMATION



City of McCall
COMMUNITY
DEVELOPMENT

APPLICATION SUBMISSION

The applicant is required to provide the following number of application Packets

1 – CD or Flash Drive (All application materials in PDF format)

APPLICATION CHECKLIST

Each application packet must contain the following, unless shown and explained otherwise:

MDSD \$300 Fee + \$25/1000 sq. ft. of new construction (rounded to the nearest 1,000 sq. ft.) *Will be invoiced per Brian Parker*

Application Form signed by the property owner and, if applicable, the project agent/representative

Refer to letter Project Description: Staff and Planning and Zoning Commissioners review many applications; to fully understand the proposed project a comprehensive written explanation of all aspects of the project is necessary. A thorough description provides sufficient detail so that potential questions are answered in advance; a Project Description lacking depth will invite more comments and concerns due to uncertainty. The Project Description provides the necessary background from which the specifics of the proposed project can be considered. A Project Description should include:

- General project description
- Overview of any important numbers/calculations
- Overview of any perceived or actual outstanding issues

Plans, Elevations, and Maps – Plans must be stamped by an Architect licensed in Idaho or a state that has an agreement with Idaho. (MCC 3.16.06D)

C2.00 Site Plan, a one-page overview of the project showing existing/proposed building location, existing trees, setbacks, driveways, parking, loading areas, etc.). The Site Plan must be to scale. The Site Plan should also include relevant numbers and calculations including:

C2.00 & Letter Lot Size (square footage and dimensions)

C2.00 & Letter Setbacks (existing and proposed)

C2.00 & Letter Property Frontage

C2.00 & Letter Lot Coverage Calculations

A00-A06 & Letter Project Square Footage

A00-A06, C2.00 & Letter Maximum Building Height(s)

C1.00, L1.00-L1.50 Landscaping (existing and proposed)

C2.00 & Letter Snow Storage

General Plans, providing the following details:

A00-A06 Elevations & Floor Plans

DR Ext. Lighting Cutsheets & Photometrics Exterior Lighting

C4.00 Utilities

C3.00 Grading (existing and proposed)

A00-A06 Material Descriptions and Colors

C0.00 Vicinity Map: a map, showing the project's general location within McCall

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission.

L1.50 Site Photos: 4 photos (one looking at each side of the project: north, south, east, west). The photos should provide ample evidence of the proposed project location.

C3.00, C4.00 Drainage/Stormwater Plans (Contact the City Engineer for details)

A05, A06 3D Rendering of Proposed Project (Required for Shoreline Zone Applications, Recommended for Others)

N/A Floodplain Development Permit for site work or construction activities occurring within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency (FEMA)

The applicant or designated representative is expected to attend the McCall Area Planning and Zoning meeting and present the application to the Commission.

WHAT IS DESIGN REVIEW?

Design Review is the process through which the City of McCall promotes design standards and design quality for development in the McCall area. The Design Review process consists of an application and review by City staff and approval by the McCall Area Planning and Zoning Commission.

WHAT REQUIRES DESIGN REVIEW?

The following types of development require a Design Review application (dictated primarily in MCC 3.16.02, and elsewhere):

- Any **commercial** development
- Any **industrial** development
- Any **public or semi-public development** (includes private clubhouses or recreational facilities)
- Any development in the **Civic, Agricultural, and Airport Zones** (refer to current zoning map)
- Any **accessory dwelling** unit
- Any **multi-family** residential project (3 or more units)
- Any **single-family** dwelling unit with a structure size greater than 3500 square feet
- Any development in the **Shoreline and River Environs Zone** (see MCC 3.7.02)
- Any development in the **Scenic Route** (see MCC 3.7.03)
- Any **principle dwelling** unit on a **non-conforming lot** of record (see MCC 3.11.01.D)
- Any **camp building** (see MCC 3.13.032.B.2.a.2 for details)
- Any **shared access driveway** (see MCC 9.6.03.A.2)

WHAT DOES NOT REQUIRE DESIGN REVIEW?

The following building or site modifications **do not** require a Design Review application (check with City staff for final determination):

- **Interior remodeling**, which does not impact the exterior appearance, parking, landscaping or other exterior use
- **Repairs** to existing building, which do not significantly change exterior appearance
- **Improvements or maintenance** to an existing building or site, which do not significantly change exterior appearance

WHAT ARE THE CRITERIA FOR DESIGN REVIEW APPROVAL?

To approve a Design Review application, the McCall Area Planning and Zoning Commission must determine that the application meets the following criteria (see [McCall City Code](#) Title 3, Chapter 16):

- The project is in general conformance with the [McCall Area Comprehensive Plan](#).
- The project does not jeopardize the health, safety or welfare of the public.
- The project conforms to the applicable specifications outlined in the [City Of McCall Design Guidelines](#), and other applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the City of McCall.
- A subdivision with its own design review document and process, approved by the Commission, will not be subject to the City's Design Review process.
- **All design review plans and drawings for public projects, industrial, commercial projects, and residential projects containing three (3) or more dwelling units, or residential dwelling greater than three thousand five hundred**

(3,500) square feet, shall be prepared by an Idaho licensed architect, or a licensed architect of another state which has an agreement with Idaho.

HOW LONG IS DESIGN REVIEW APPROVAL VALID?

A design review approval shall lapse and become void whenever the building permit either lapses or is revoked, or whenever the applicant has not applied for a building permit within **one year** from the date of initial design review approval.

WHAT IS THE DESIGN REVIEW PROCESS?

The Design Review process consists of the following six (6) steps (see descriptions below):

Step 1 - Meet with staff (or Commission at a pre-application meeting) to answer any questions and to identify problems

Step 2 - Submit a complete application

Step 3 - Staff review of application and distribution to commenting agencies

Step 4 - Public notice (if necessary)

Step 5 - Planning & Zoning Meeting (public hearing if not on the consent agenda)

Step 6 - Building Permit Issuance (after Commission approval and satisfaction of outstanding conditions of approval)

Step 1 - Meet with staff (or Commission at a pre-application meeting) to answer any questions and to identify problems

This step is not required, but highly recommended. An in-person meeting is not always necessary, but some plans or ideas, for staff to respond to, are necessary. This step exists exclusively to aid the applicant in the Design Review process; it allows for problems to be identified and resolved prior to submission.

Step 2 - Submit a complete application

This step requires a meeting with Staff to ensure that the final application is a complete product. If an application is deemed complete, the application is accepted, given an application number, and scheduled for the next applicable Planning & Zoning Commission meeting. If an application is deemed incomplete, the potential applicant is instructed to make the necessary changes and return when the application is complete. Incomplete applications will not be accepted (however, not all potential issues can be identified at the time of submission; staff may find additional issues at the time of formal review).

Step 3 - Staff review of application and distribution to commenting agencies

This step entails the formal review of the application by staff. First, Staff distributes the provided information to interested and concerned agencies requesting comments. Next, Staff compares the provided application, and accompanying documentation, to the McCall City Code and all other relevant planning documents, such as the Comprehensive Plan, the Design Guidelines, etc. Based upon agency comments and relevant City Code staff generates a staff report.

Step 4 -Public notice (if necessary)

If required, the city will provide two (2) forms of public notification for the applicant's use: 1) The applicant must post notice of the public hearing on the subject property; 2) The applicant must mail notice of the public hearing to all property owners within 300' of the subject property. The applicant must provide notarized affidavits of both the posting and the mailing. The posting and mailing must occur at least fifteen (15) days prior to the public hearing. If a public hearing is required and the public notification requirements are not met, the scheduled public hearing will be postponed until the next meeting date.

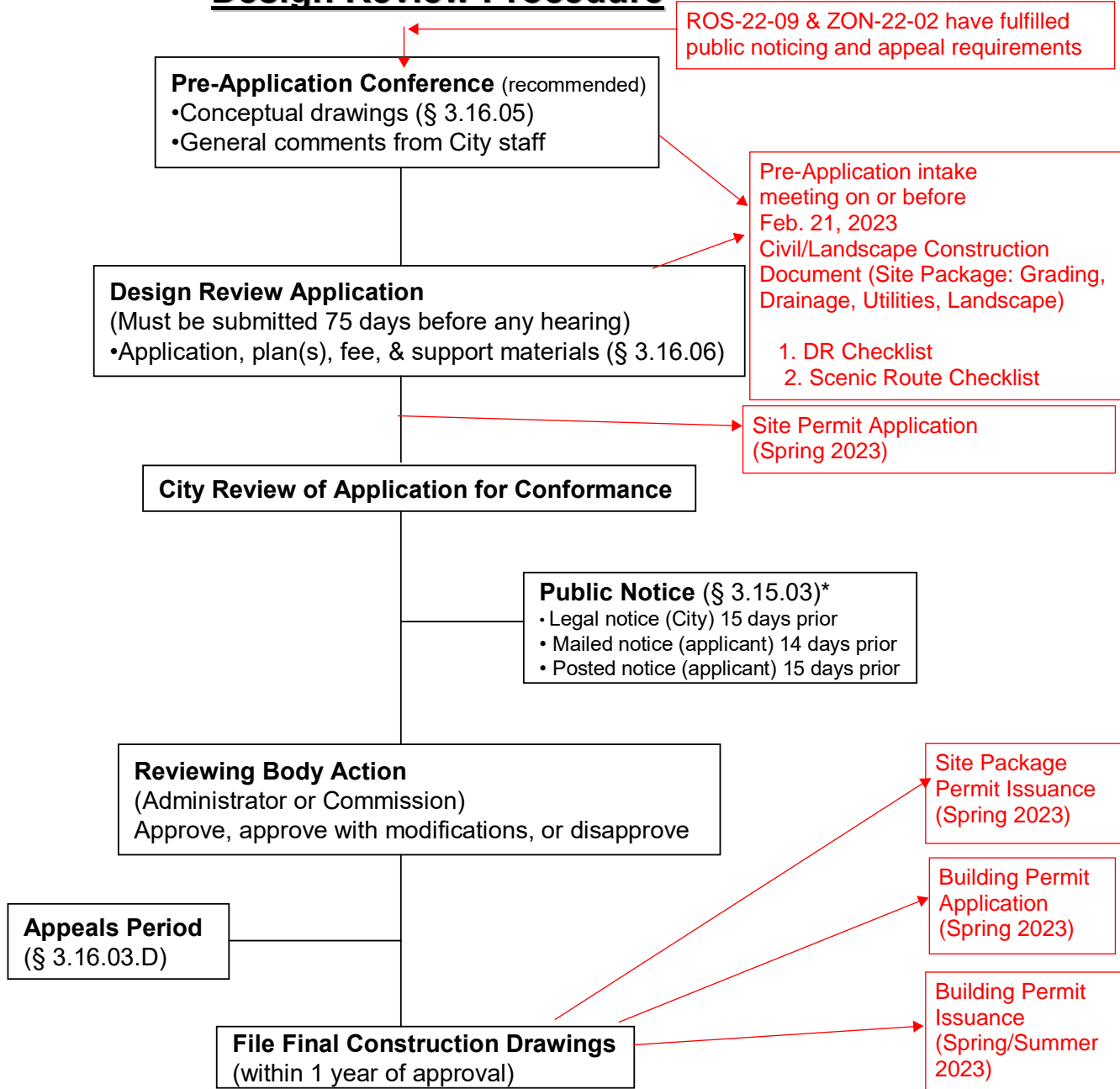
Step 5 - Planning & Zoning Meeting

This step entails the review of the application by the McCall Area Planning & Zoning Commission. The Commission considers staff reports/comments, applicant comments, public comments (if the application is subject to a public hearing). Based on this information the Commission will approve, approve with conditions, continue, or deny the application based upon the Design Review Criteria (see above).

Step 6 - Building Permit Issuance

This step requires that the applicant have an approved application, with all outstanding conditions of approval satisfied, and approved construction plans. A Design Review approval is valid for one (1) year, after one (1) year a one-time, six-month Design Review approval extension may be requested. A building permit may not be issued without a valid Design Review approval (if required).

Design Review Procedure



*Only in cases where a public hearing by the Commission is necessary (§ 3.16.05).

•Scenic Route Note - Prior to the issuance of a building permit, and prior to any clearing, grubbing, excavation, or other construction (including removal of any existing structures or improvements), the owner shall apply to the Commission for approval of a site plan in accordance with § 3.7.032.H (see “Scenic Route Review Procedure” Flow Chart). Structures shall require design approval in accordance with Title 3, Chapter 16, *Design Review* (see above).

•A Community Impact Review (§ 3.13.08) may be required.

City of McCall

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SCENIC ROUTE INFORMATION



Any structure or a portion thereof which may be visible when traveling along the roadways listed below, and any part of which is located on a lot, any portion of which is within 150 feet of the nearest right-of-way line of a road named in this Section, **shall be subject to both Scenic Route and Design Review. Please refer to the Design Review checklist for materials that must be submitted with that application.**

The following materials must be submitted with your Land Use Application:

- Fee: \$1500 (for applications non-concurrent with Design Review); checks payable to the City of McCall
- Please indicate the improvements anticipated in the change, whether or not to be owned by the public, on your Land Use Application:
 - land clearing (tree cutting)
 - grubbing (topsoil removal)
 - signs
 - excavation (digging and/or filling)
 - building construction
 - parking improvements

n/a, tbd

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission.

The Scenic Route Zone includes:

One hundred fifty (150) foot wide strips of land bounded by the right-of-way lines of the following named streets, and by lines parallel to and 150 feet away from such right-of-way lines, together with any right-of-way not part of the roadway:

1. State Highway 55, from the southern boundary to the northern boundary of the Impact Area (Third Street and Lake Street).
2. East Side Road and East Side Drive from Lick Creek Road to Warren Wagon Road.
3. Warren Wagon Road to the northern boundary of the Area of City Impact.
4. Lick Creek Road from the intersection of Spring Mountain Boulevard east to the eastern boundary of the Impact Area.
5. Spring Mountain Boulevard from Deinhard Lane to Lick Creek Road.
6. Mission Street and Norwood Road to boundary of the Area of City Impact.
7. West Valley Road, Wisdom Road, and West Mountain Road extended to the western or southern boundary of the Area of City Impact.

Exceptions: Scenic Route Approval will not be required for the following building or site modifications (although a building permit may be required)

- a. interior remodeling of a structure which does not impact the exterior appearance of the structure or significantly impact the parking, landscaping or other exterior uses of the property.
- b. repairs to an existing building if the outward appearance is not significantly changed.
- c. improvements to or maintenance to an existing building or site where these do not significantly impact the outward appearance of the building or site.

Criteria:

The Commission shall ascertain whether the proposed development, improvement, or use will:

1. Block or disrupt the visibility of significant views or features.
2. Be compatible (in terms of setback, bulk, height, design, finish materials, signing and landscaping) with its immediate surroundings and the desired visual quality of the scenic route.

Requirements for Development

Prior to the issuance of a building permit, and prior to any clearing, grubbing, excavation, or other construction (including removal of any existing structures or improvements), the owner shall apply to the Commission for approval of a site plan. A building permit shall neither be issued, nor any such work or construction undertaken, until approval of the site plan and design approval of proposed structures in accordance with Chapter 16.

The maximum height for any structure is 35 feet in the Scenic Route zone. All structures in subdivisions platted after (date of adoption) are to be setback from the property line not less than 75 feet, except that where the lot is within any residential zone or commercial zone, the setbacks provided for such Zone shall govern instead. The setback requirements for parcels along South Third Street (Highway 55) from Deinhard Lane to the south boundary of the Impact Area are as follows:

1. Adjacent to, or within, 300 feet of a street intersection, the setback will be ten (10) feet.
2. Otherwise, the setback will be 35 feet.

Timber harvesting. The existing forest in the McCall Area is considered a public resource, important to the character of the Planning Jurisdiction and its tourist economy. Prior to the issuance of a relevant building permit, the harvesting of timber shall be limited to dead, dying or damaged timber. Slash shall not be accumulated or piled within view of the roadway. Following issuance of a relevant building permit, tree removal is additionally permitted within the area of the building footprint, other structures, driveways, and other improvements, and in accord with § 3.8.04 *Fire Hazard Mitigation Standards*. Development of the lot should endeavor to preserve standing, healthy trees outside the area occupied by improvements, lawn not being considered an improvement for these purposes. Landscaping shall replace trees harvested or removed.

Access roads. Access roads in subdivisions and re-subdivisions platted after (date of adoption) will be kept to a minimum. Every subdivision platted after (date of adoption) shall provide an interior roadway providing access to each lot, which interior roadway shall connect to the Scenic Route at a single point of access, as is the case with Lucks Point Subdivision, for example, except as the Fire Chief may require an additional access. The intersections of any two access roads with the Scenic Route in the Impact Area and any portion of the Planning Jurisdiction that was in the Impact Area on (date of adoption), shall be no closer than one thousand feet to each other. Where the entire frontage of a parcel on the Scenic Route on (date of adoption), is less than one thousand feet from the intersection of its side boundaries with the right of way, and if an agreement with adjacent property owners for a common property line point of access is not reached after bona fide effort, that shorter distance between intersections is permitted which is consistent with a minimization of points of access. Direct driveway access shall be discouraged to the Scenic Route in the Impact Area.

Inside the City Limits within existing subdivisions where individual lots with Scenic Route right-of-way as a lot boundary cannot obtain access to the public road from a road interior to the subdivision, direct access onto the Scenic Route may be allowed, provided that the driveway distances in the applicable zone shall apply. In such cases, common driveways on common lot lines, thus two driveway accesses per four (4) lots, may be required.

Bike paths. Some or all of the routes listed in § 3.7.031 are designated by the Parks and Recreation Master Plan (see the *McCall Pathways Master Plan, 2012*) to have a bike path, walkway or other recreational routing along side, or as a part of the scenic route. Where such designation exists, the Commission shall assist in the effectuation of the *Master Plan* by the exaction of recreational easements or dedication of additional right-of-way or other techniques to ensure a continuous route for such uses. In all cases the City must show that such exaction is roughly proportional to the impacts of the development and that the conditions for implementing portions of the bike paths are to be based upon an individualized determination for each development that the conditions are related to both the nature and extent of such impacts.

ALLOWABLE LOT COVERAGE CALCULATOR



Lot Area in square feet:	<input type="text" value="191664"/>	<----Input lot area here
Number of Units	<input type="text" value="35"/>	
Lot Coverage % Allowed:	<input type="text" value="48%"/>	
Lot Coverage Allowed:	92,182	

Proposed Lot Coverage

Footprint of existing structures	<input type="text" value="0"/>	<--- Input sf into boxes
Footprint of proposed structures	<input type="text" value="27878"/>	
Total structure size	27878 at 100% of actual =	27878 sf

Area of Existing Uncovered Decks, Patios, Walkways, Plazas, etc.	<input type="text" value="0"/>	
Area of New Uncovered Decks, Patios, Walkways, Plazas, etc.	<input type="text" value="0"/>	
Total decks, etc. size	0 at 50% of actual =	0 sf

Existing Driveways, surface parking, etc.	<input type="text" value="25273"/>	
New Driveways, surface parking, etc.	<input type="text" value="47916"/>	
Total driveway size	73189 at 35% of actual =	25616.15 sf

Total Proposed Lot Coverage **53494.15 sf**

Proposed Building Size

Occupied space (existing)	<input type="text" value="0"/>	<--- Input sf into boxes
Unoccupied space (existing garage)	<input type="text" value="0"/>	
Covered exterior space (existing)	<input type="text" value="0"/>	

Occupied space (new)	<input type="text" value="7954"/>
Unoccupied space (new garage)	<input type="text" value="868"/>
Covered exterior space (new)	<input type="text" value="254"/>

Total Proposed Building Size **9076 sf**

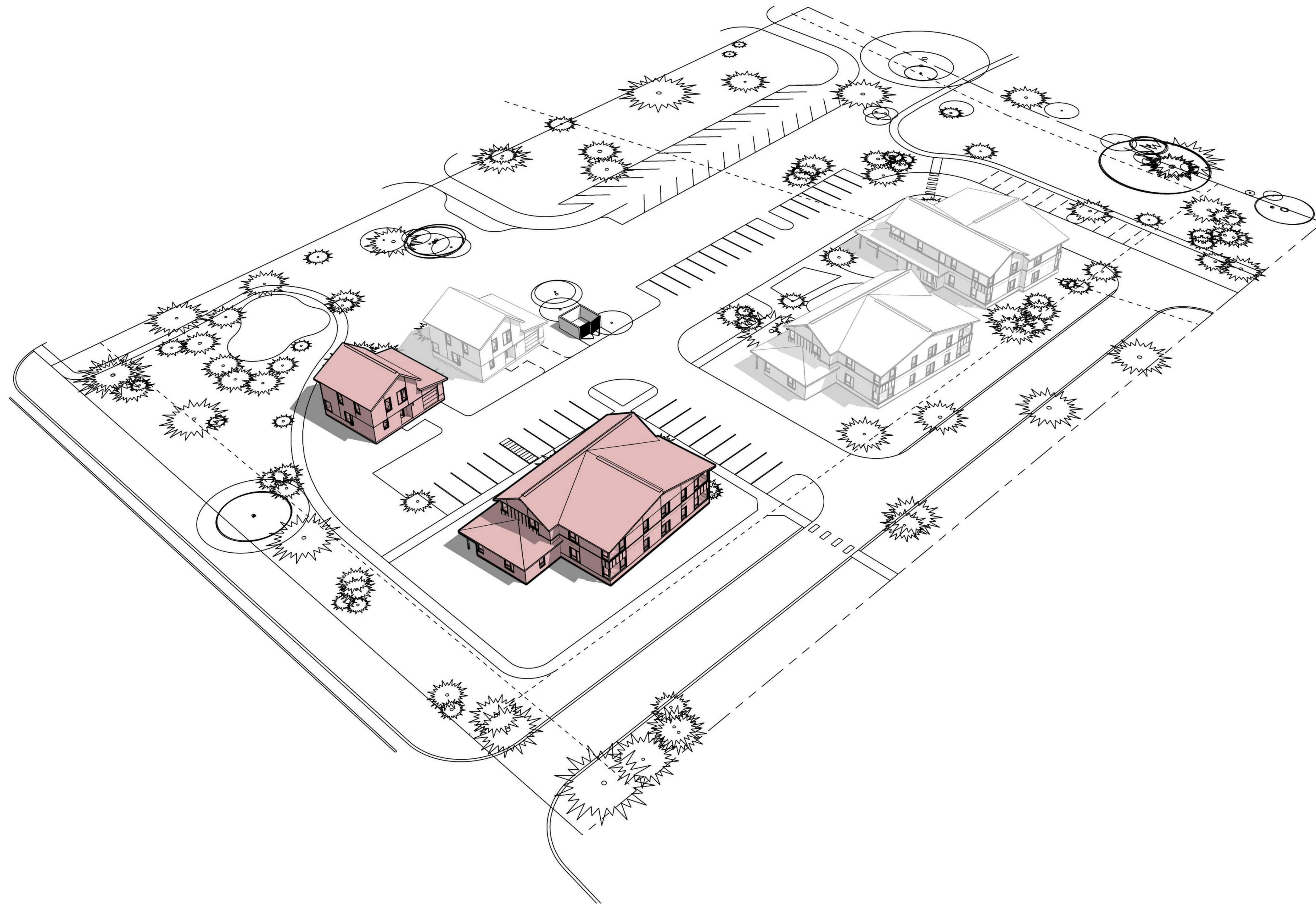
Project Requires Design Review and Architect Stamp, Contact

SIDEYARD SETBACK CALCULATOR



Lot Width:	<input type="text" value="367"/>	<----Input Lot Width here
Minimum Side Setback:	15	15'-0"
Both side setbacks must add up to:	110.1	110'-1"

Note: Building may be no closer to side lot line than 1/2 the height of any building element. See city code.



SHEET LEGEND:

- A00 COVER SHEET
- A01 FLOOR PLANS - BUILDING A
- A02 FLOOR PLANS - BUILDING B
- A03 ELEVATIONS - BUILDING A
- A04 ELEVATIONS - BUILDING B
- A05 PROJECT RENDERINGS
- A06 PROJECT RENDERINGS

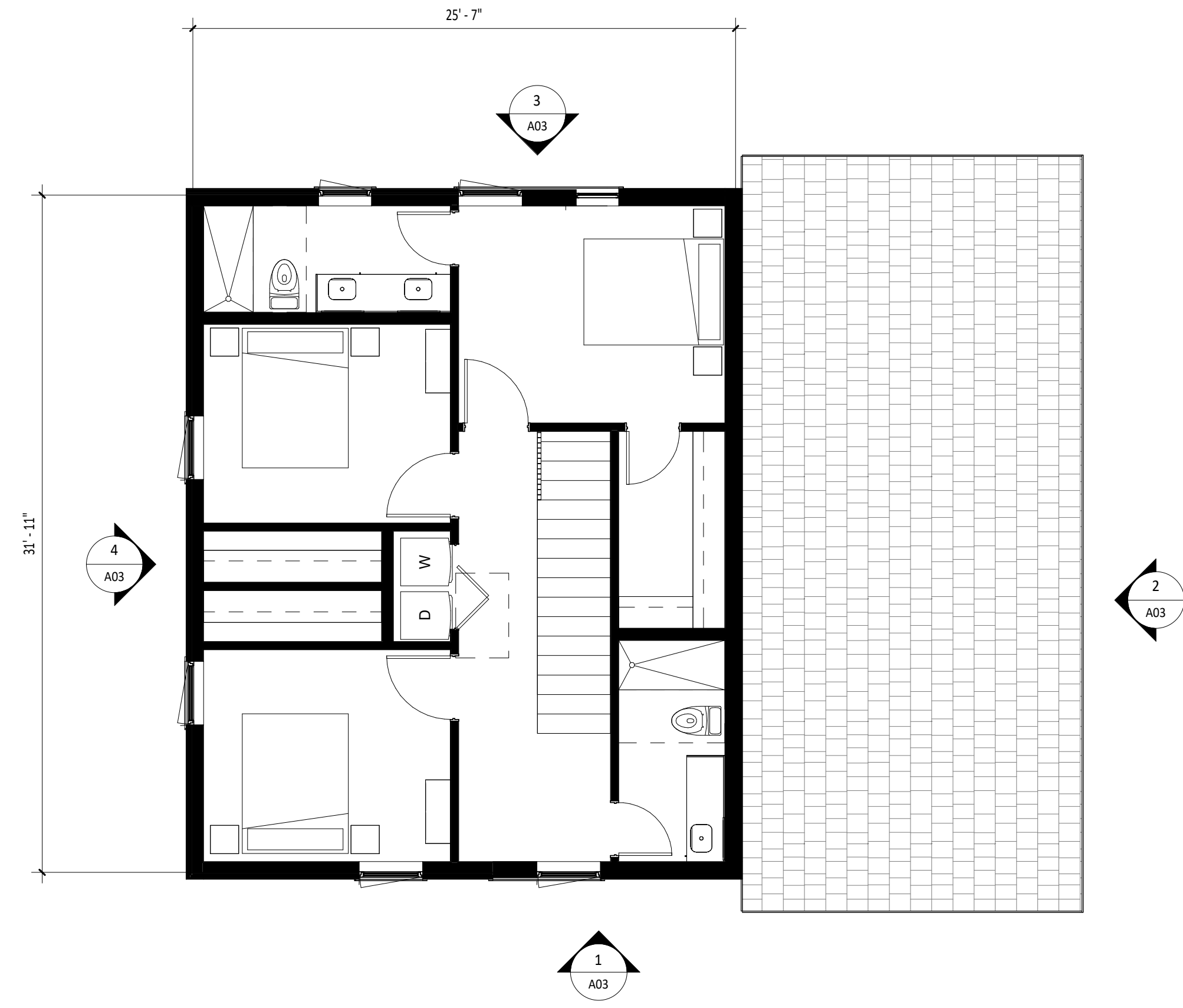
COVER SHEET
SCALE: NTS

DATE:
02/10/23

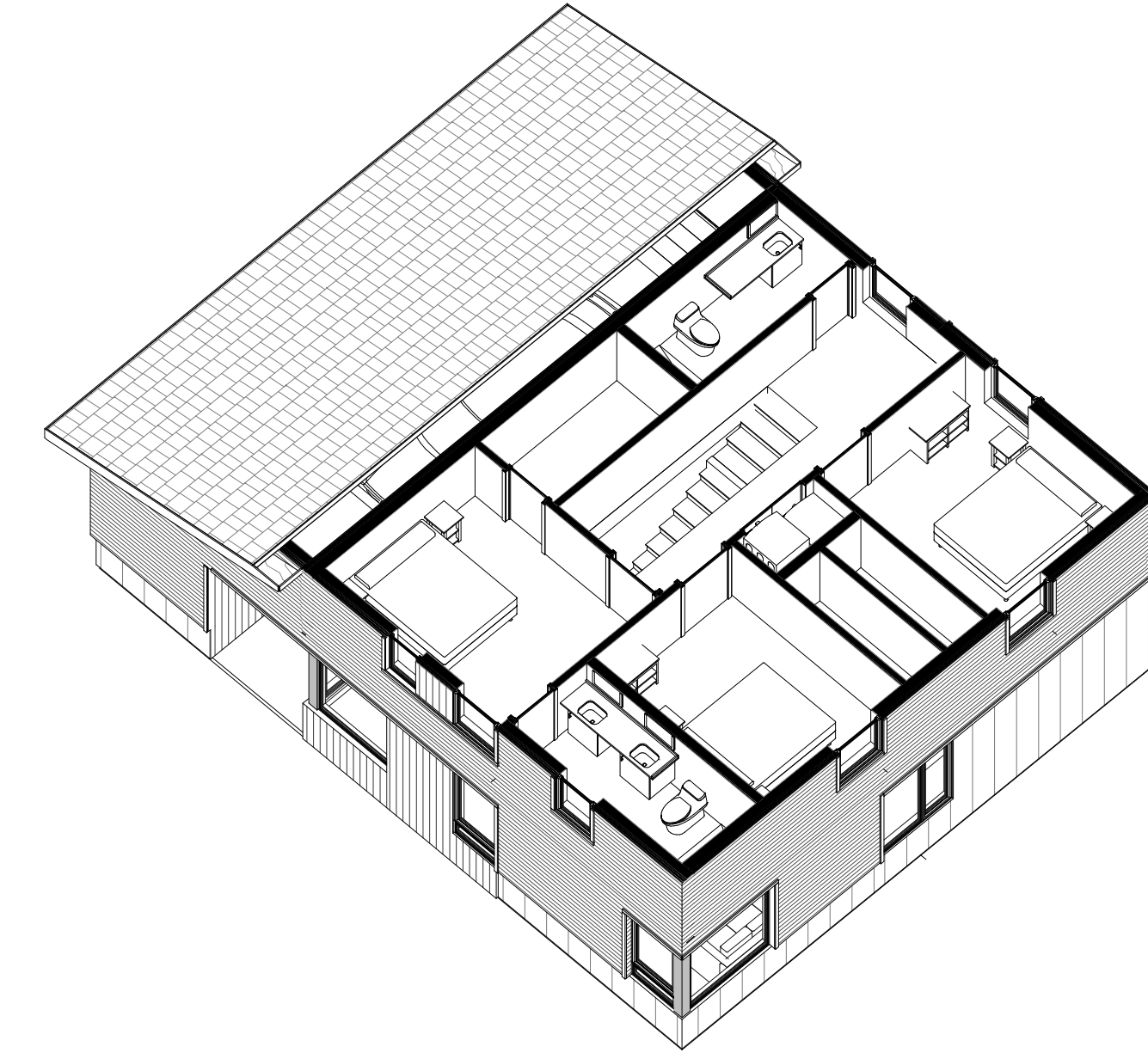
A00

MDSD STAFF HOUSING

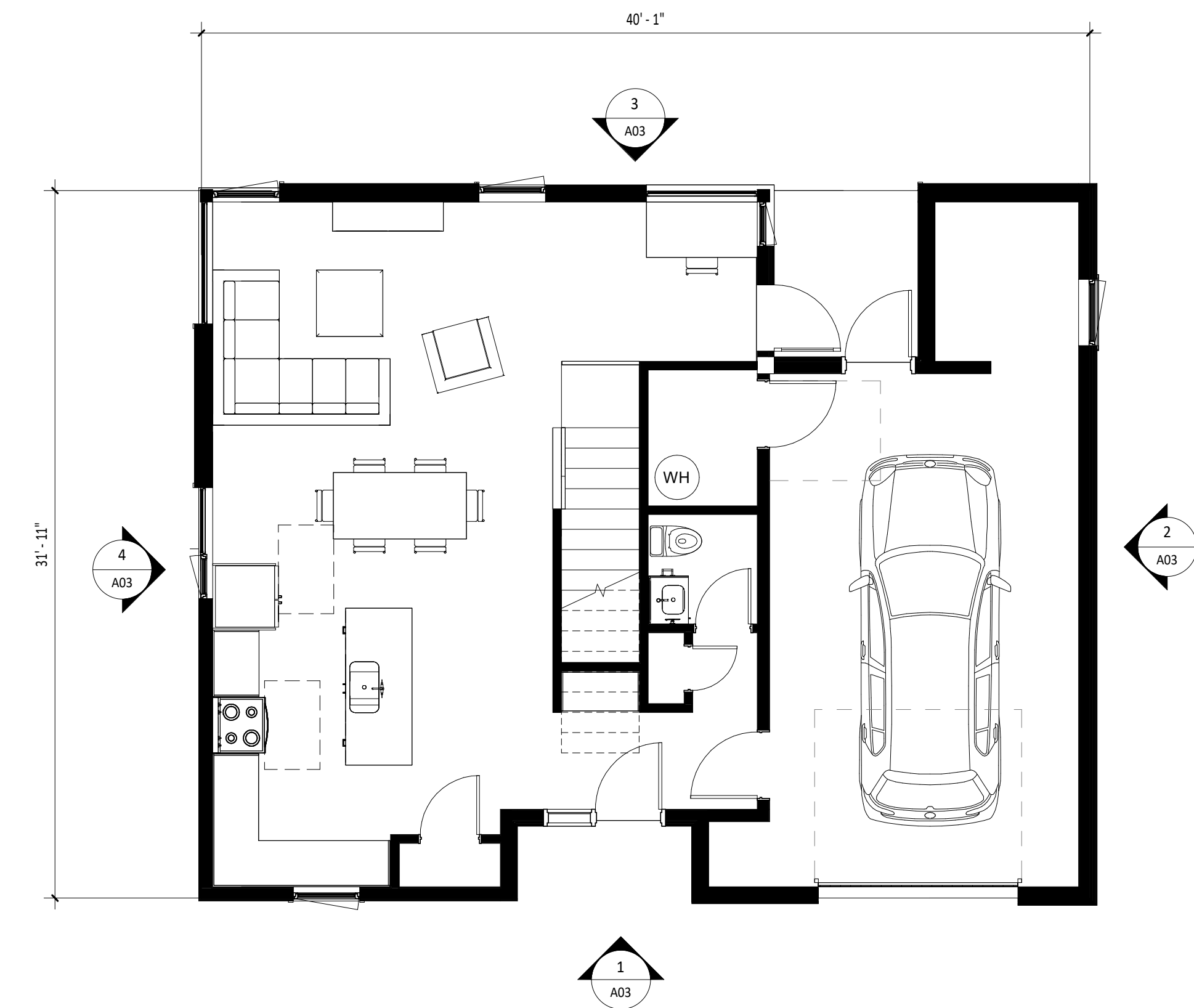
pivot north



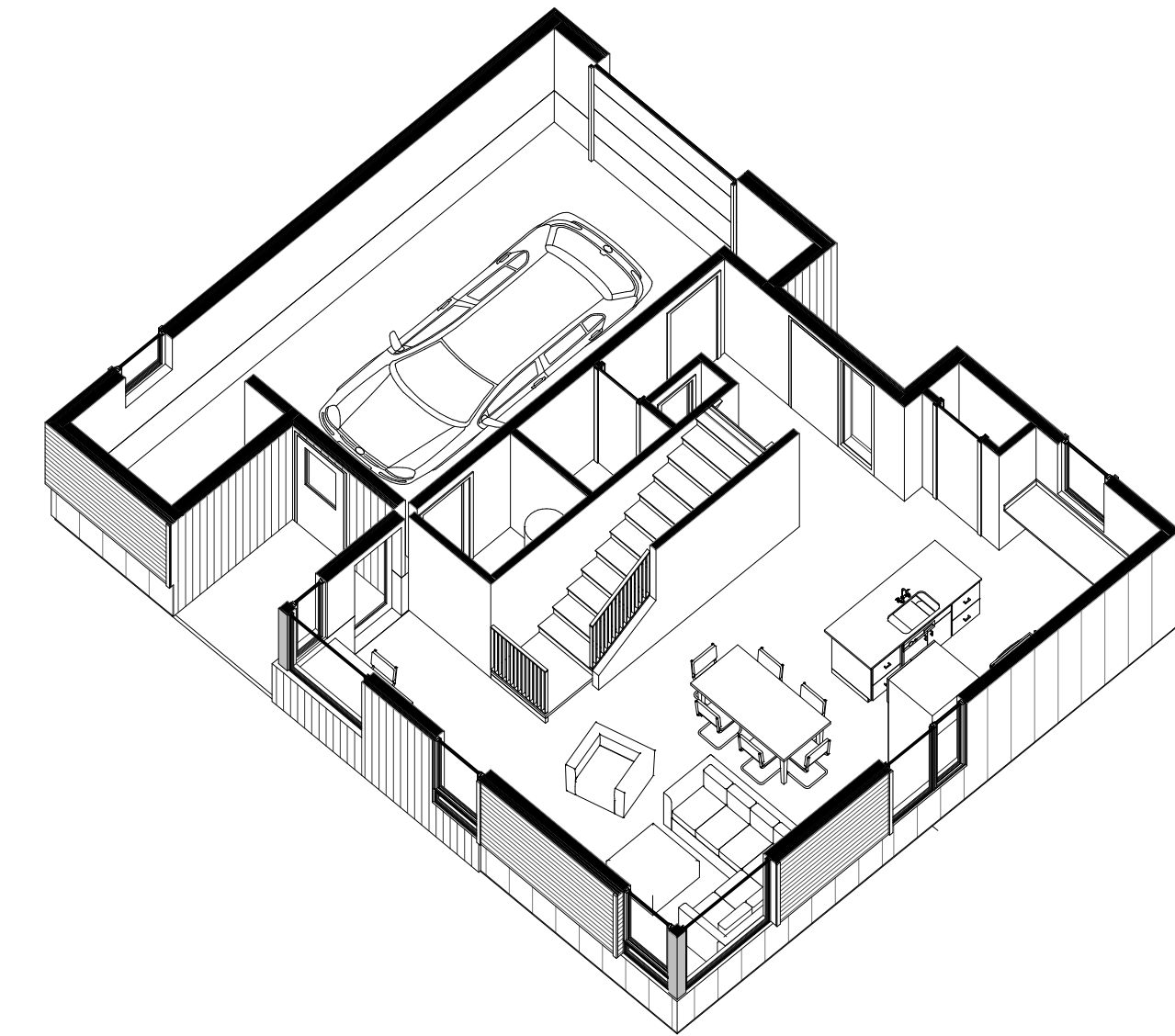
LEVEL 2-FLOOR PLAN - BUILDING A



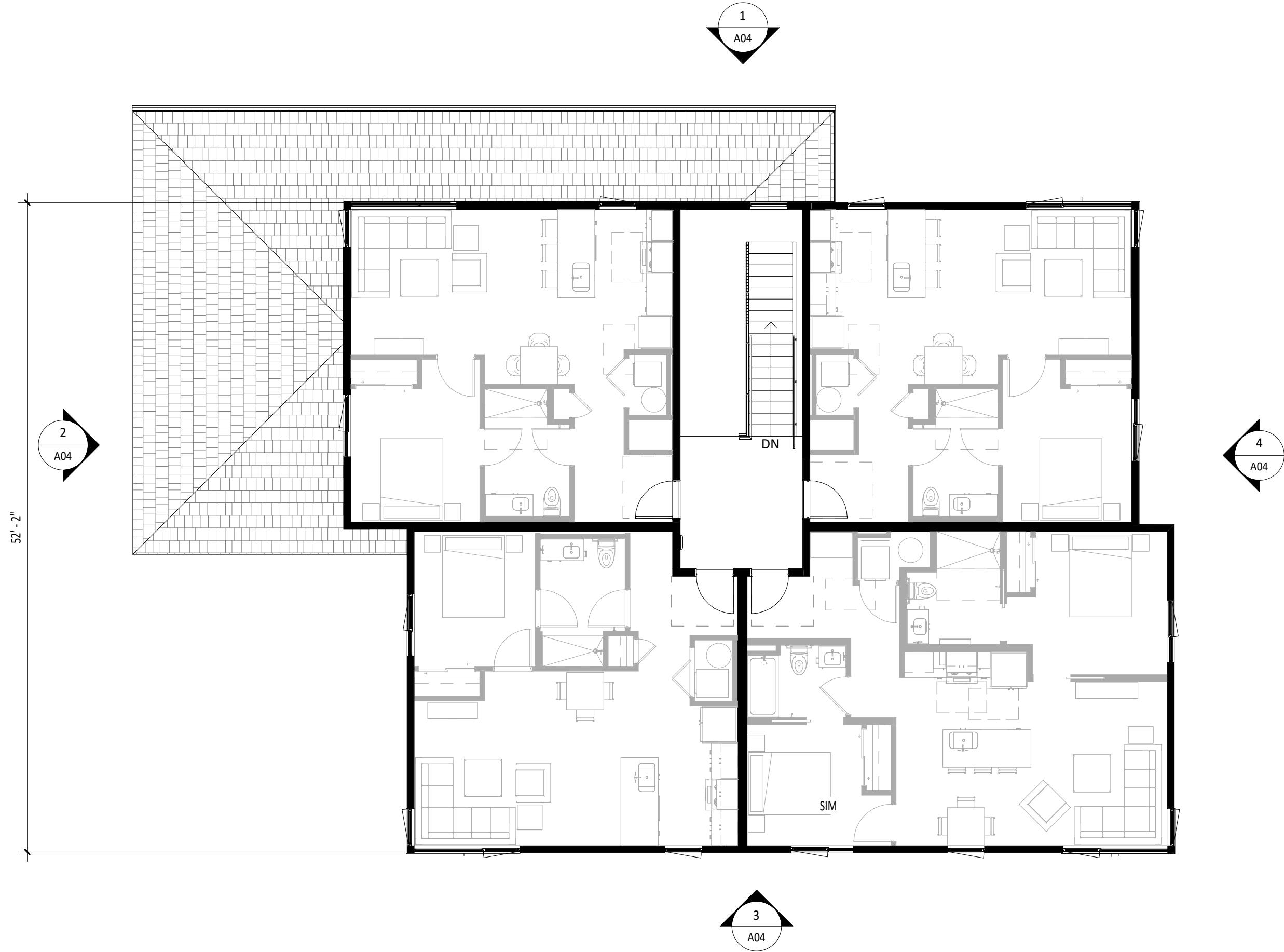
AXON - LEVEL 2 - BUILDING A



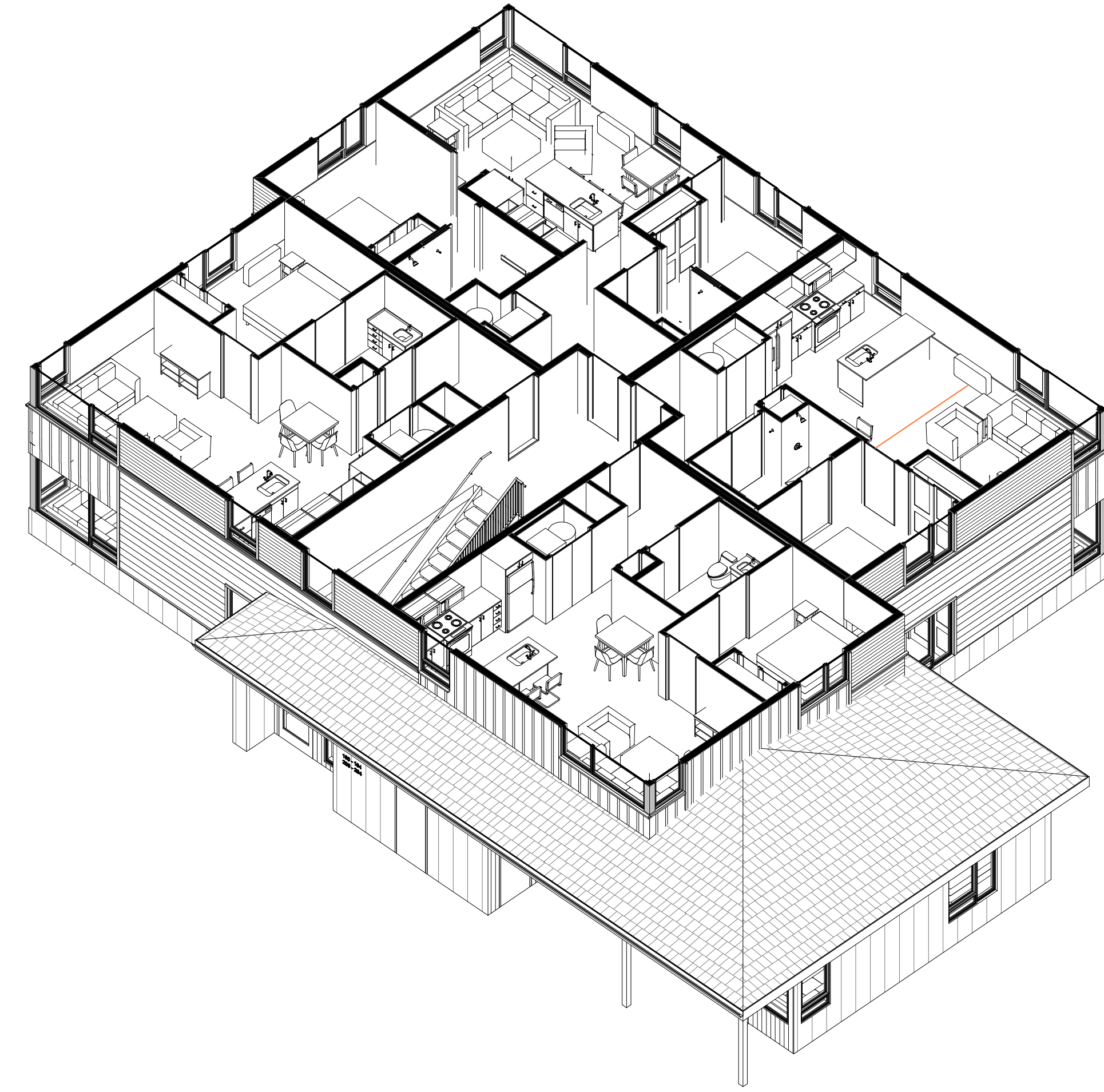
LEVEL 1-FLOOR PLAN - BUILDING A



AXON - LEVEL 1 - BUILDING A



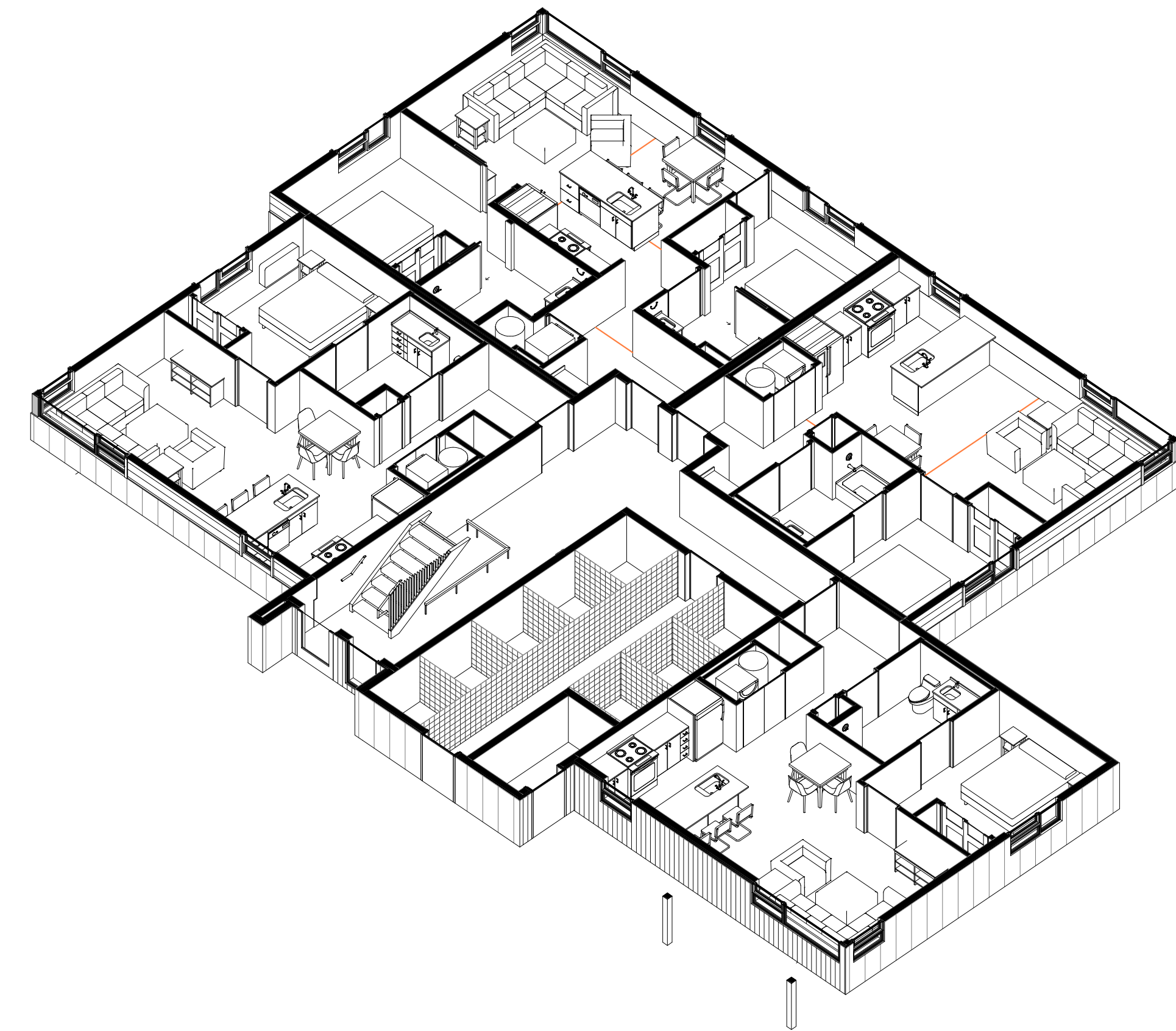
LEVEL 2-FLOOR PLAN - BUILDING B



AXON - LEVEL 2 - BUILDING B



LEVEL 1-FLOOR PLAN - BUILDING B

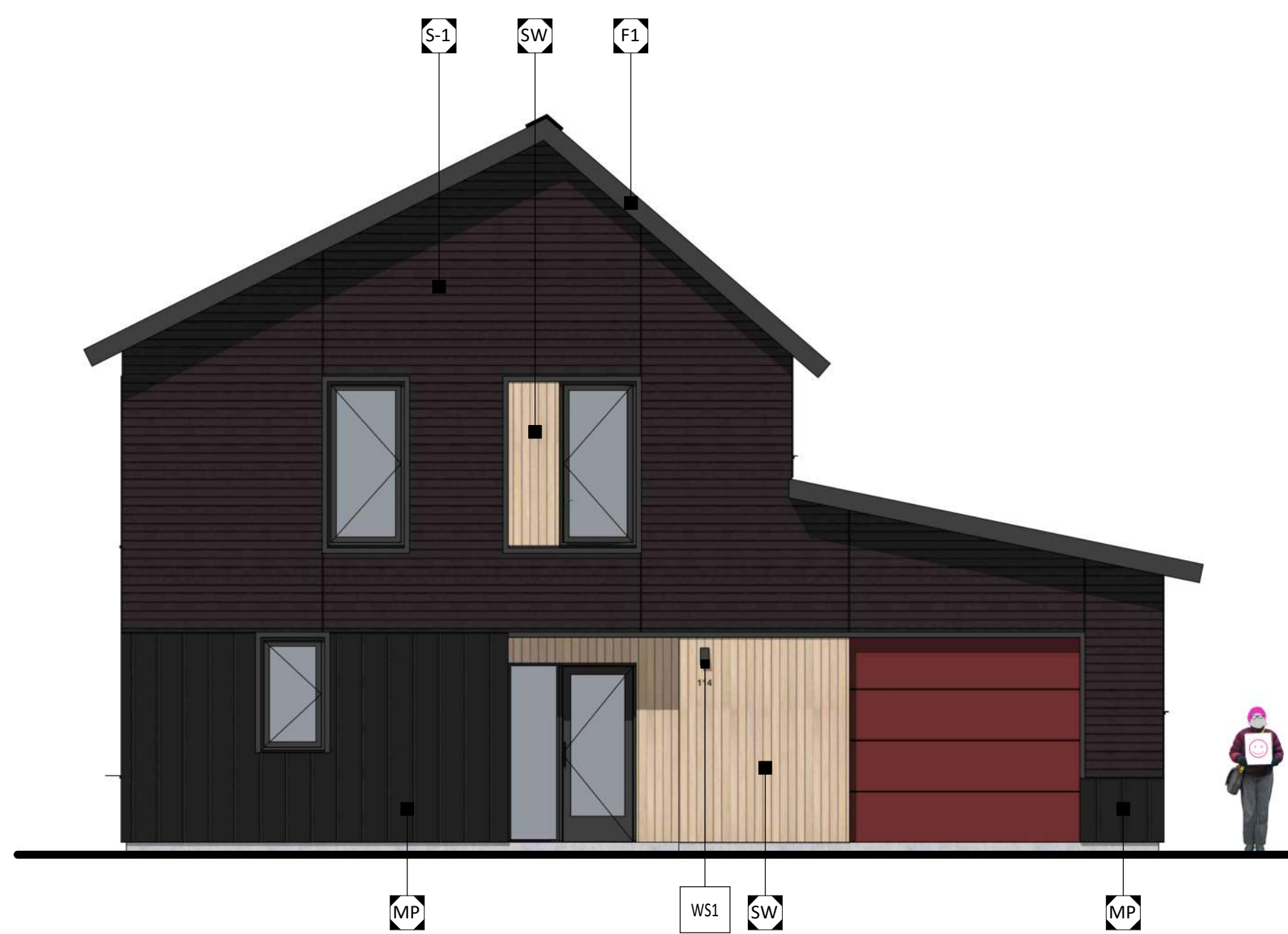


AXON - LEVEL 1 - BUILDING B



WS1 WILSHIRE EN36804 - ARCHITECTURAL EXTERIOR WALL SCONCE
 LUMENS: 945lm
 FINISH: BLACK

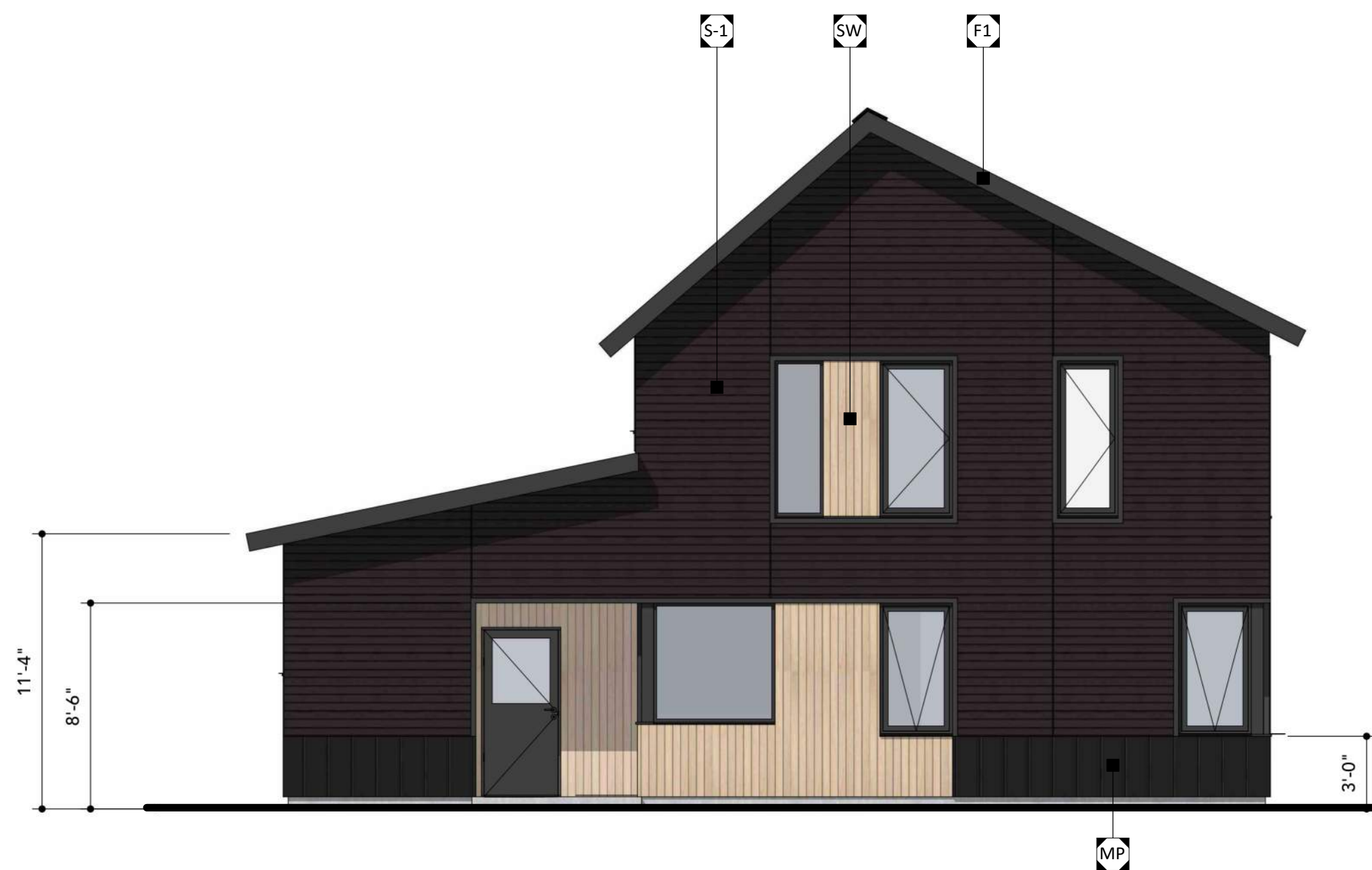
EXTERIOR BUILDING LIGHTING - BUILDING A



1 - ELEVATION - FRONT - BUILDING A



2 - ELEVATION - SIDE_01 - BUILDING A



3 - ELEVATION - BACK - BUILDING A



4 - ELEVATION - SIDE_02 - BUILDING A



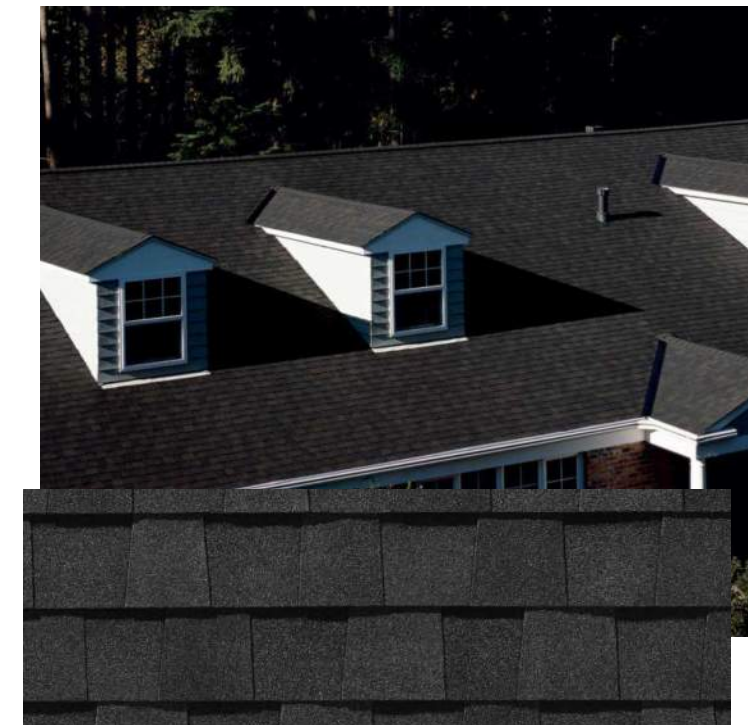
S-1 JAMES HARDIE - PLANK LAP SIDING - SMOOTH
 FINISH EXTERIOR PAINT: BLACK



SW RESYSTA WALL PANEL - CLADDING, 4 CHANNELS - FINISH: C73, YELLOW TEAK
 OR
 VERTICAL NATURAL WOOD SIDING



MP BERRIDGE - FW-12 PANEL - FINISH: SMOOTH MATTE BLACK - NO GROOVES



AS1 CERTAINTEED LANDMARK ROOF SHINGLES - FINISH: MOIRE BLACK



T+G CEDAR SOFFIT - FINISH: STAIN MATCH WALL SIDING



F1 METAL FASCIA - FINISH: BLACK

MATERIALS - BUILDING A



BB JAMES HARDIE - 4" PLANK LAP SIDING -SMOOTH FINISH- EXTERIOR PAINT DEEP RED



S-1 JAMES HARDIE - 4" PLANK LAP SIDING -SMOOTH- FINISH- EXTERIOR PAINT DEEP RED
S-2 JAMES HARDIE - 8" PLANK LAP SIDING -SMOOTH- FINISH- EXTERIOR PAINT DEEP RED



SW RESYSTA WALL PANEL - CLADDING, 4 CHANNELS - FINISH: C73, YELLOW TEAK OR VERTICAL NATURAL WOOD SIDING



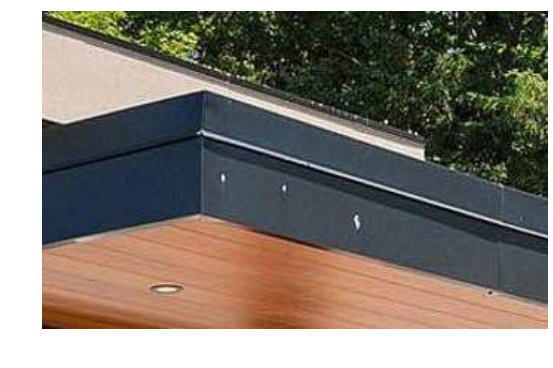
MP BERRIDGE - FW-12 PANEL - FINISH: SMOOTH MATTE BLACK, WITHOUT GROOVES



AS1 CERTAINTEED LANDMARK ROOF SHINGLES - FINISH: MOIRE BLACK
AS2 CERTAINTEED LANDMARK ROOF SHINGLES - FINISH: BURNT SIENNA



T+G CEDAR SOFFIT - FINISH: STAIN MATCH WALL SIDING

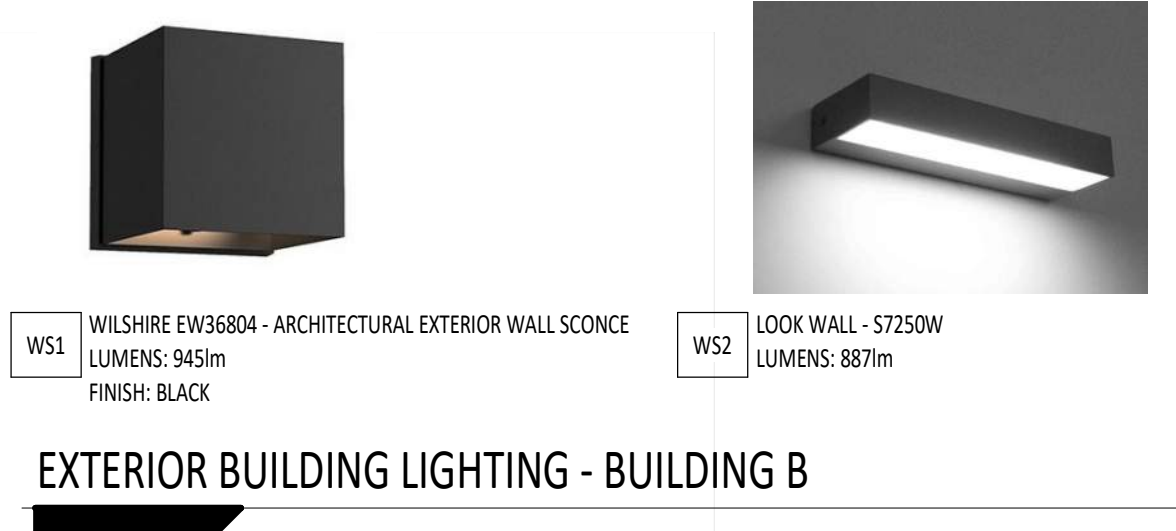


F1 METAL FASCIA - FINISH: MATTE BLACK
F2 METAL FASCIA - FINISH: DEEP RED

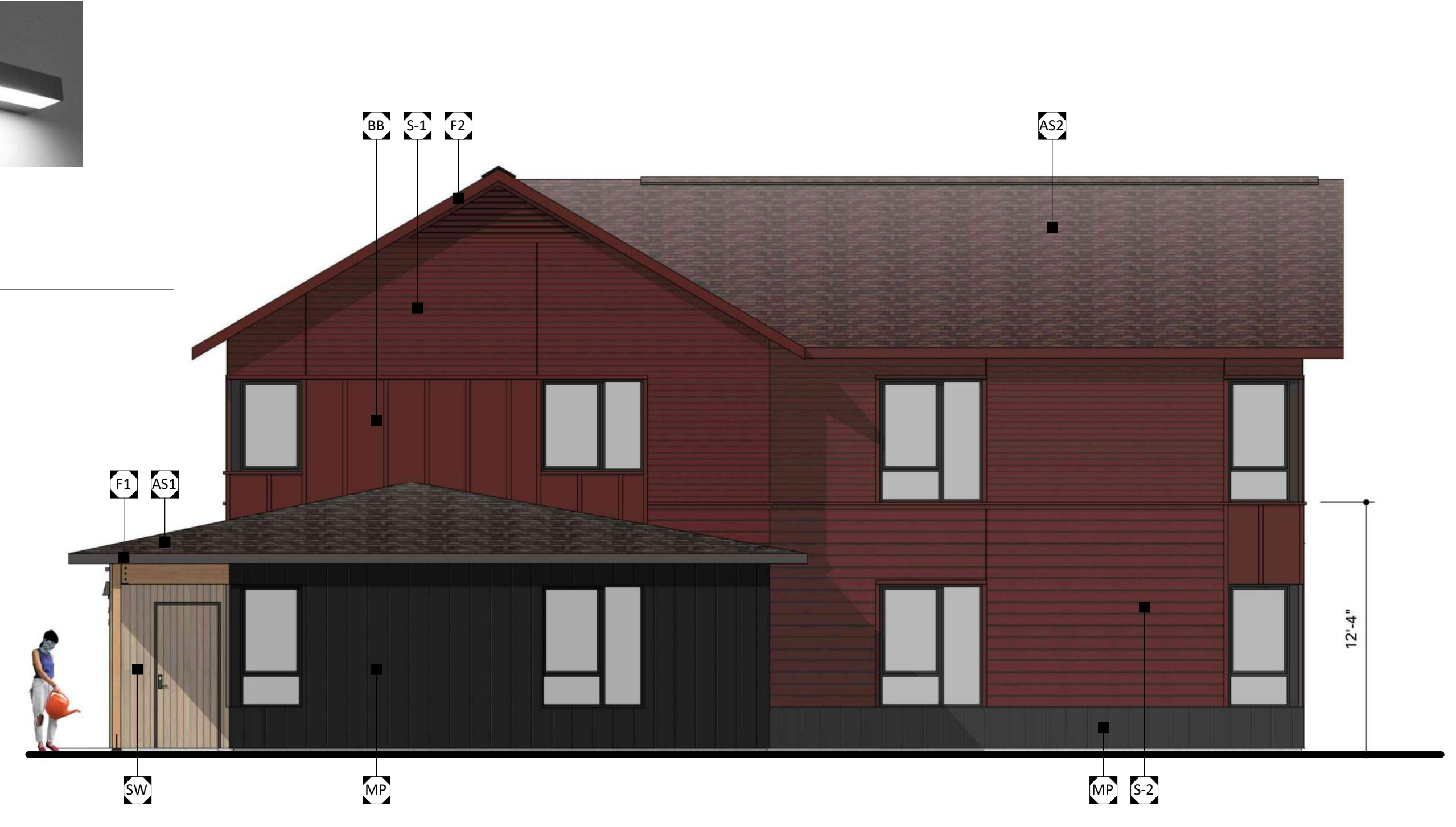
MATERIALS - BUILDING B



1 - ELEVATION - FRONT - BUILDING B



EXTERIOR BUILDING LIGHTING - BUILDING B



2 - ELEVATION - SIDE_01 - BUILDING B



3 - ELEVATION - BACK - BUILDING B



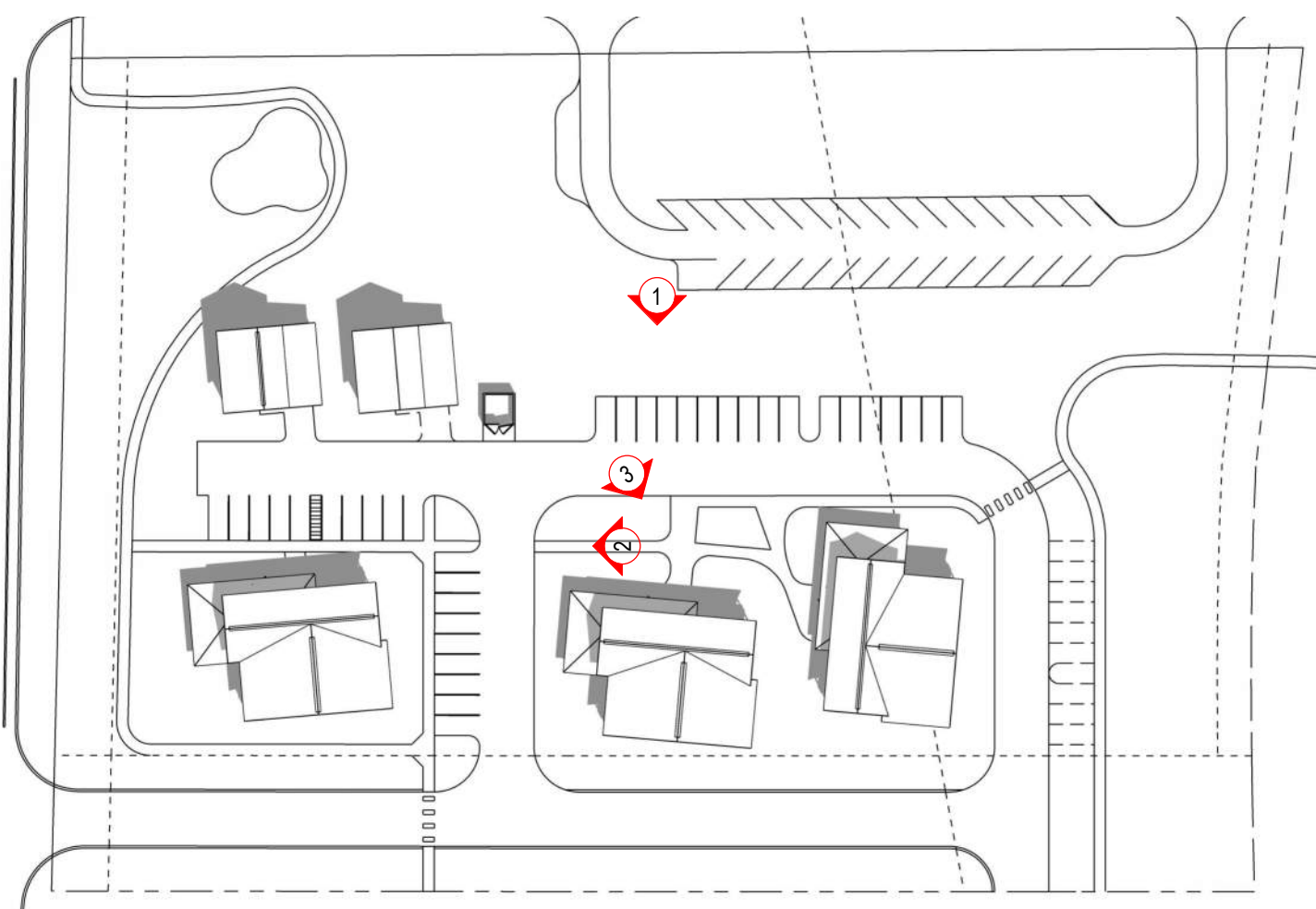
4 - ELEVATION - SIDE_02 - BUILDING B



1 - VIEW OF BUILDING B FROM UPPER PARKING LOT



2 - PEDESTRIAN SIDEWALK VIEW OF BUILDING A AND B



3 - BUILDING B TYPICAL BUILDING ENTRY



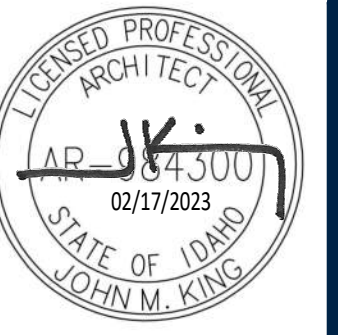
pivot north

MDSD STAFF HOUSING

PROJECT RENDERINGS
SCALE: NTS

DATE:
02/10/23

A05



pivot north

MDSD STAFF HOUSING

PROJECT RENDERINGS
SCALE: NTS

DATE:
02/10/23

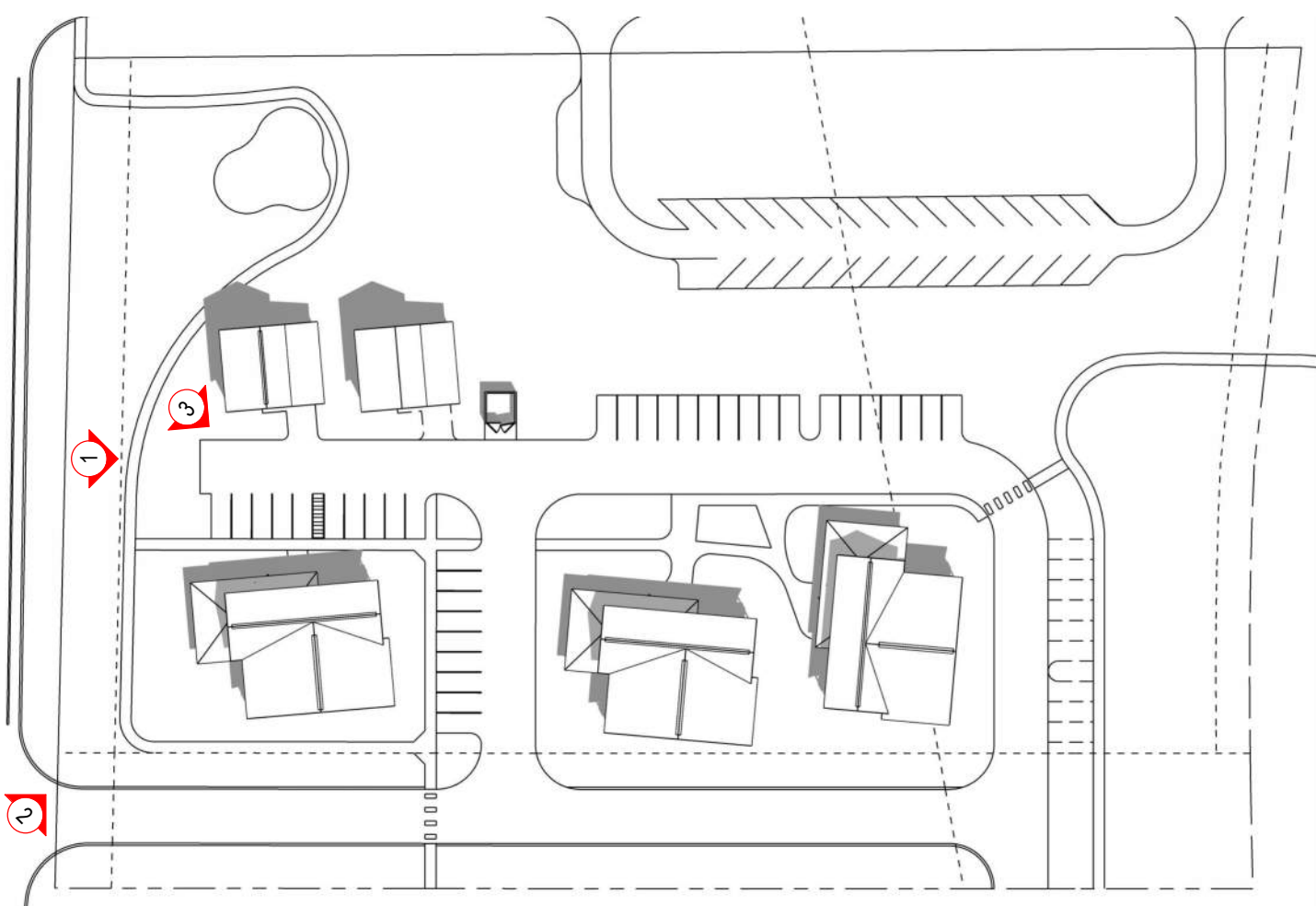
A06



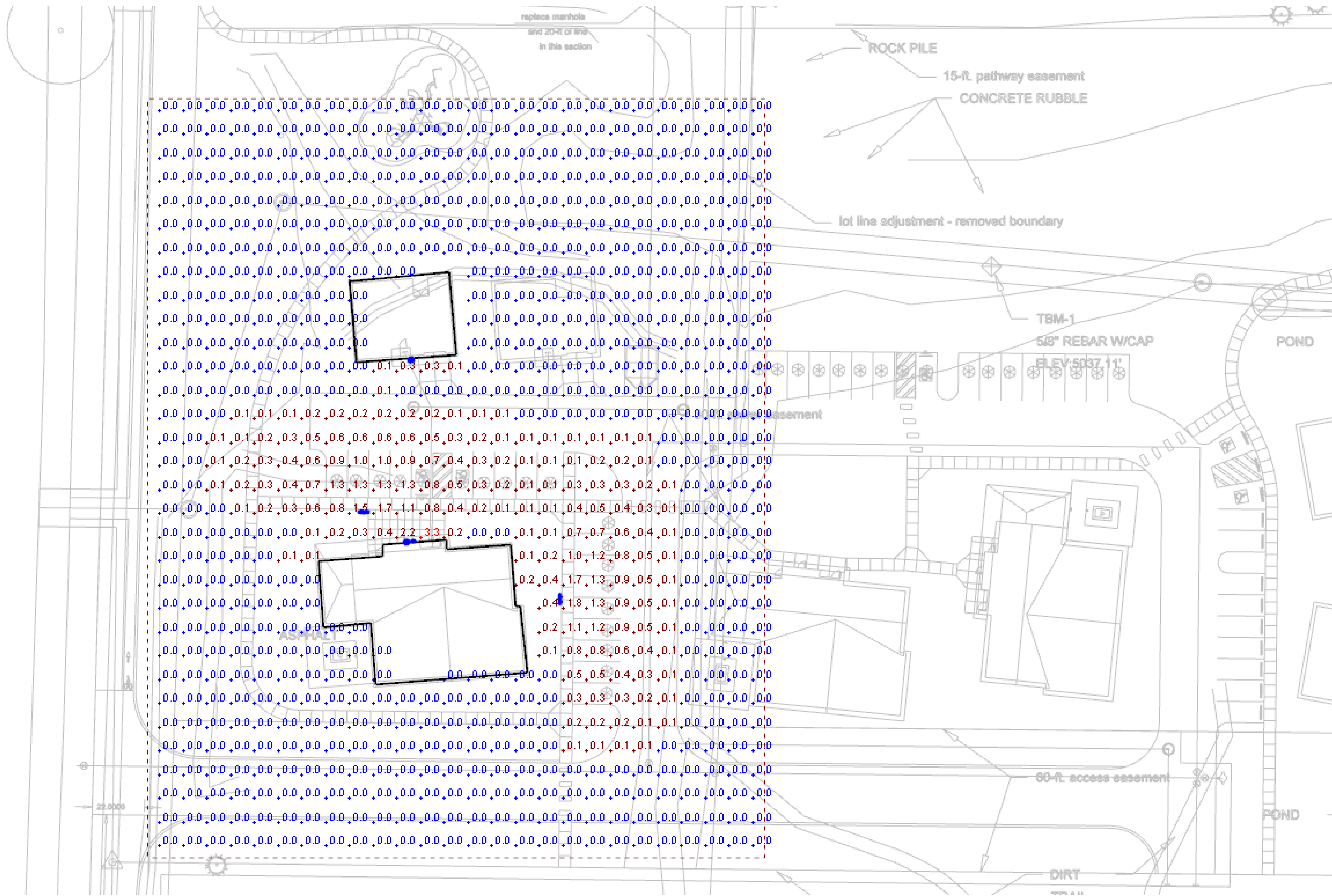
1 - VIEW FROM MISSION STREET OF BUILDING A AND B



2 - SITE ENTRY VIEW FROM MISSION STREET



3 - VIEW FROM PEDESTRIAN WALKWAY



View #1

MSDS Staff House

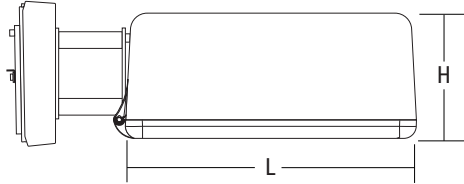


KAD LED LED Area Luminaire



Specifications

EPA:	1.2 ft ² (0.11 m ²)
Length:	17-1/2" (44.5 cm)
Width:	17-1/2" (44.5 cm)
Height:	7-1/8" (18.1 cm)
Weight (max):	36 lbs. (16.4 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a **shaded background**. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM®2 or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: KAD LED 40C 1000 40K R5 MVOLT SPD04 DDBXD

KAD LED						
Series	LEDs	Drive current	CCT	Distribution	Voltage	Mounting ³
KAD LED	20C ¹ 20 LEDs	530 530 mA ¹	30K 3000 K	R2 Type II	MVOLT ³ 277 ⁴	Shipped included SPUMBAK__ Square pole universal mounting adaptor ⁶ RPUMBAK__ Round pole universal mounting adaptor ⁶ SPD__ Square pole RPD__ Round pole WBD__ Wall bracket ² WWD__ Wood pole or wall Shipped separately 04 4" arm DAD12P Degree arm (pole) 06 6" arm DAD12WB Degree arm (wall) 09 9" arm ⁵ KMA Mast arm external fitter 12 12" arm ⁶
	30C ¹ 30 LEDs	700 700 mA	40K 4000 K	R3 Type III	120 ⁴ 347 ^{1,3}	
	40C 40 LEDs	1000 1000 mA	50K 5000 K	R4 Type IV	208 ^{4,5} 480 ^{1,3}	
	60C 60 LEDs			R5 Type V ²	240 ^{4,5}	

Options						Finish (required)	
Shipped installed						Shipped separately ¹⁷	
PER5	NEMA twist-lock five-wire receptacle only (no controls) ^{7,8,9}	PIR1FC3V	Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{3,10,11,12,13}	PNMTDD3	Part night, dim till dawn ^{3,11,16}	WG	Wire guard
PER7	Seven-wire receptacle only (no controls) ^{7,8,9}	PIRH1FC3V	Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{3,10,11,12,13}	PNMT5D3	Part night, dim 5 hrs ^{3,11,16}		
SF	Single fuse (120, 277, 347V) ⁴			PNMT6D3	Part night, dim 6 hrs ^{3,11,16}		
DF	Double fuse (208, 240, 480V) ⁴			PNMT7D3	Part night, dim 7 hrs ^{3,11,16}		
PIR	Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{3,10,11,12,13}	BL30	Bi-level switched dimming, 30% ^{3,9,10,11}	HS	Houseside shield ¹⁷		
PIRH	Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{3,10,11,12,13}	BL50	Bi-level switched dimming, 50% ^{3,9,10,11}				
						DDBXD	Dark bronze DDBTXD Textured dark bronze
						DBLXD	Black DBLTXD Textured black
						DNAXD	Natural aluminum DNATXD Textured natural aluminum
						DWHXD	White DWHXGD Textured white



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COMMERCIAL OUTDOOR

Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photozell - SSL twist-lock (120-277V) ¹⁸
DLL347F 1.5 CUL JU	Photozell - SSL twist-lock (347V) ¹⁸
DLL480F 1.5 CUL JU	Photozell - SSL twist-lock (480V) ¹⁸
DSHORT SBK U	Shorting cap ¹⁸
KADLEDHS 20C U	Houseside shield for 20 LED unit
KADLEDHS 30C U	Houseside shield for 30 LED unit
KADLEDHS 40C U	Houseside shield for 40 LED unit
KADLEDHS 60C U	Houseside shield for 60 LED unit
KMA DDBXD U	Mast arm adaptor (specify finish)
KADWG U	Wire guard accessory
PUMBAK DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish)

For more control options, visit [DTL](#) and [ROAM](#) online.

*Round pole top must be 3.25" O.D. minimum.

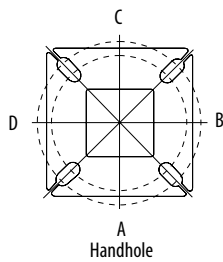
NOTES

- 20C or 30C LED are not available with 530 Drive Current and 347V or 480V.
- Any Type 5 distribution, is not available with WBA.
- Any PIRx with BL30, BL50 or PNMT, is not available with 208V,240V, 347V, 480V or MVOLT. It is only available in 120V or 277V specified.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- 9" or 12" arm is required when two or more luminaires are oriented on a 90° drilling pattern.
- Available as a separate combination accessory: PUMBAK (finish) U.
- Mounting must be restricted to ±45° from horizontal aim per ANSI C136.10-2010. Not available with motion sensor.
- Photozell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Shorting cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR. Node with integral dimming. Shorting cap included.
- PIR and PIR1FC3V specify the [SensorSwitch SBGR-10-ODP](#) control; PIRH and PIRH1FC3V specify the [SensorSwitch SBGR-6-ODP](#) control. Dimming driver standard. Not available with PER5 or PER7.
- Maximum ambient temperature with 347V or 480V is 30°C.
- Reference Motion Sensor table.
- Reference PER table on page 3 to see functionality.
- Requires an additional switched circuit with same phase as main luminaire power. Supply circuit and control circuit are required to be in the same phase.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, PER5, PER7 or PNMT options.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, PER5, PER7, BL30 or BL50.
- Also available as a separate accessory; see Accessories information.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.

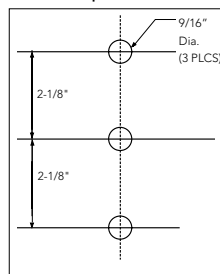
Drilling

Template #5

HANDHOLE ORIENTATION



Top of Pole



Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90° †	3 at 120°	3 at 90° †	4 at 90° †
2-3/8"	T20-190	T20-280	T20-290	T20-320 †	T20-390	T20-490
2-7/8"	T25-190	T25-280	T25-290	T25-320	T25-390	T25-490
4"	T35-190	T35-280	T35-290	T35-320	T35-390	T35-490

** For round pole mounting (RPDXX) only. † Requires 9" or 12" arm.

Pole drilling nomenclature: # of heads at degree from handhole (default side A)					
DM19	DM28	DM29	DM39	DM49	
1 @ 90°	2 @ 280°	2 @ 90°	3 @ 90°	4 @ 90°	
Side B	Side B & D	Side B & C	Side B, C, & D	Sides A, B, C, D	

Note: Review luminaire spec sheet for specific nomenclature

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
20C	530 mA	35W	R2	4,140	1	0	1	118	4,446	1	0	1	127	4,473	1	0	1	128
			R3	4,123	1	0	1	118	4,427	1	0	1	126	4,455	1	0	1	127
			R4	4,128	1	0	1	118	4,433	1	0	1	127	4,460	1	0	1	127
			R5	4,381	2	0	1	125	4,704	3	0	1	134	4,734	3	0	1	135
	700 mA	45W	R2	5,271	1	0	1	117	5,660	1	0	1	126	5,696	1	0	2	127
			R3	5,250	1	0	2	117	5,637	1	0	2	125	5,672	1	0	2	126
			R4	5,256	1	0	2	117	5,644	1	0	2	125	5,679	1	0	2	126
			R5	5,578	3	0	1	124	5,990	3	0	1	133	6,027	3	0	1	134
	1000 mA	73W	R2	7,344	1	0	2	101	7,886	2	0	2	108	7,935	2	0	2	109
			R3	7,314	1	0	2	100	7,854	1	0	2	108	7,903	1	0	2	108
			R4	7,322	1	0	2	100	7,863	1	0	2	108	7,912	1	0	2	108
			R5	7,771	3	0	1	106	8,345	3	0	1	114	8,397	3	0	1	115
30C	530 mA	53W	R2	6,166	1	0	2	116	6,621	1	0	2	125	6,663	1	0	2	126
			R3	6,141	1	0	2	116	6,594	1	0	2	124	6,635	1	0	2	125
			R4	6,148	1	0	2	116	6,602	1	0	2	125	6,643	1	0	2	125
			R5	6,525	3	0	1	123	7,006	3	0	1	132	7,050	3	0	1	133
	700 mA	69W	R2	7,817	2	0	2	113	8,395	2	0	2	122	8,447	2	0	2	122
			R3	7,785	1	0	2	113	8,360	2	0	2	121	8,412	2	0	2	122
			R4	7,794	1	0	2	113	8,370	1	0	2	121	8,422	1	0	2	122
			R5	8,272	3	0	2	120	8,883	3	0	2	129	8,938	3	0	2	130
	1000 mA	108W	R2	10,755	2	0	2	100	11,549	2	0	2	107	11,621	2	0	2	108
			R3	10,711	2	0	2	99	11,502	2	0	2	106	11,574	2	0	2	107
			R4	10,724	2	0	2	99	11,515	2	0	2	107	11,587	2	0	2	107
			R5	11,381	3	0	2	105	12,221	4	0	2	113	12,297	4	0	2	114
40C	530 mA	71W	R2	8,156	2	0	2	115	8,758	2	0	2	123	8,812	2	0	2	124
			R3	8,122	2	0	2	114	8,722	2	0	2	123	8,776	2	0	2	124
			R4	8,132	1	0	2	115	8,732	1	0	2	123	8,786	1	0	2	124
			R5	8,630	3	0	2	122	9,267	3	0	2	131	9,325	3	0	2	131
	700 mA	94W	R2	10,286	2	0	2	109	11,045	2	0	2	118	11,114	2	0	2	118
			R3	10,244	2	0	2	109	11,000	2	0	2	117	11,069	2	0	2	118
			R4	10,256	2	0	2	109	11,013	2	0	2	117	11,081	2	0	2	118
			R5	10,884	3	0	2	116	11,688	4	0	2	124	11,761	4	0	2	125
	1000 mA	141W	R2	13,923	2	0	2	99	14,951	2	0	2	106	15,045	2	0	2	107
			R3	13,866	2	0	3	98	14,890	2	0	3	106	14,983	2	0	3	106
			R4	13,882	2	0	3	98	14,907	2	0	3	106	15,000	2	0	3	106
			R5	14,733	4	0	2	104	15,821	4	0	2	112	15,920	4	0	2	113
60C	530 mA	103W	R2	11,996	2	0	2	116	12,882	2	0	2	125	12,963	2	0	2	126
			R3	11,947	2	0	2	116	12,829	2	0	2	125	12,909	2	0	2	125
			R4	11,961	2	0	2	116	12,844	2	0	2	125	12,925	2	0	2	125
			R5	12,694	4	0	2	123	13,632	4	0	2	132	13,717	4	0	2	133
	700 mA	137W	R2	14,927	2	0	2	109	16,029	3	0	3	117	16,130	3	0	3	118
			R3	14,866	2	0	3	109	15,964	2	0	3	117	16,063	2	0	3	117
			R4	14,884	2	0	2	109	15,982	2	0	3	117	16,082	2	0	3	117
			R5	15,796	4	0	2	115	16,962	4	0	2	124	17,068	4	0	2	125
	1000 mA	216W	R2	19,328	3	0	3	89	20,754	3	0	3	96	20,884	3	0	3	97
			R3	19,248	3	0	3	89	20,669	3	0	4	96	20,799	3	0	4	96
			R4	19,271	3	0	3	89	20,693	3	0	4	96	20,823	3	0	4	96
			R5	20,452	4	0	2	95	21,962	4	0	2	102	22,099	4	0	2	102

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.99

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **KAD LED** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	KAD LED 60C 1000			
	1.0	0.91	0.86	0.76
	KAD LED 40C 1000			
	1.0	0.93	0.88	0.79
KAD LED 60C 700				
1.0	0.98	0.97	0.94	

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*For use when motion sensor is used as dusk to dawn control

PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
		Wire 4/Wire5	Wire 4/Wire5	Wire 4/Wire5	Wire 6/Wire7	
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	✗	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion (ROAM on/off only)	✗	⚠	Wires Capped inside fixture	⚠	Wires Capped inside fixture	Wires Capped inside fixture
Future-proof*	✗	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Future-proof* with Motion	✗	⚠	Wires Capped inside fixture	✓	Wires Capped inside fixture	Wires Capped inside fixture

- ✓ Recommended
- ✗ Will not work
- ⚠ Alternate

*Future-proof means: Ability to change controls in the future.

Electrical Load

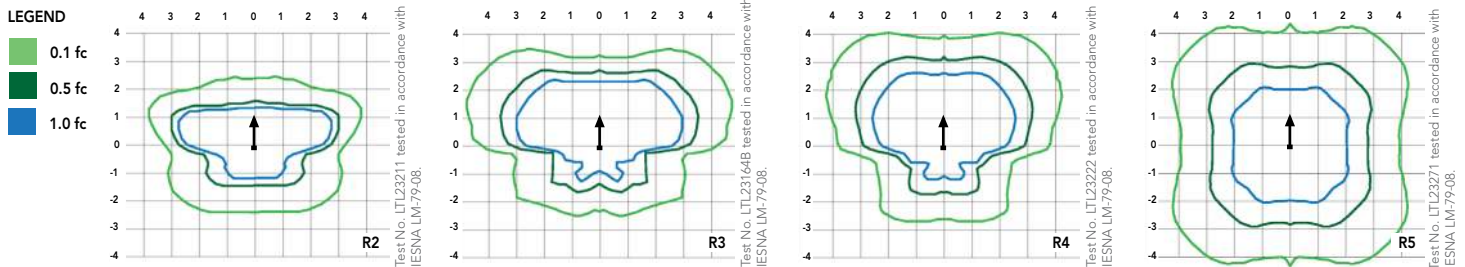
Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
20	530	35	0.30	0.18	0.16	0.15	-	-
	700	45	0.39	0.23	0.20	0.18	0.15	0.12
	1000	73	0.61	0.35	0.31	0.27	0.22	0.17
30	530	53	0.44	0.26	0.23	0.20	-	-
	700	69	0.58	0.34	0.29	0.26	0.21	0.16
	1000	108	0.90	0.52	0.46	0.40	0.32	0.24
40	530	71	0.60	0.35	0.32	0.29	0.21	0.16
	700	94	0.79	0.46	0.41	0.36	0.27	0.20
	1000	141	1.18	0.68	0.59	0.52	0.42	0.30
60	530	103	0.87	0.50	0.44	0.39	0.29	0.22
	700	137	1.15	0.66	0.58	0.51	0.40	0.29
	1000	216	1.81	1.04	0.92	0.81	0.63	0.47

NOTE: All ratings in this table are for a nominal system operated at 25°C ambient temperature. Current and power specifications in this table do not include branch circuit derating specified in the National Electrical Code. Please observe all applicable electrical codes and ratings.

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [KAD LED homepage](#).

Isofootcandle plots for the KAD LED 60C 1000 40K. Distances are in units of mounting height (20').



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FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings and long life of the KAD LED area luminaire make it a reliable choice for illuminating streets, walkways, parking lots, and surrounding areas.

CONSTRUCTION

Single-piece die-cast, aluminum housing with contoured edges has a 0.12" nominal wall thickness. Die-cast door frame has an impact-resistant, tempered glass lens that is fully gasketed with one piece tubular silicone.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS

Precision-molded refractive acrylic lenses are available in four distributions. Light engines are available in standard 4000K, 3000K or 5000K (70 CRI) configurations.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to a metal-core circuit board and aluminum heat sink, ensuring optimal thermal management and long life. Class 1 electronic driver has a power factor >90%, THD <20%, and has an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting block and extruded aluminum arm facilitate quick and easy installation using nearly any existing drilling pattern. Stainless steel bolts fasten the luminaire to the mounting block securing it to poles or walls. The KAD LED can withstand up to a 1.5 G vibration load rating per ANSI C136.31. The KAD LED also utilizes the standard K-Series (Template #5) for pole drilling.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. Rated for -40°C minimum ambient.

BUY AMERICAN ACT

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations.

Please refer to www.acuitybrands.com/resources/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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WILSHIRE EW36804

WALL

PROJECT



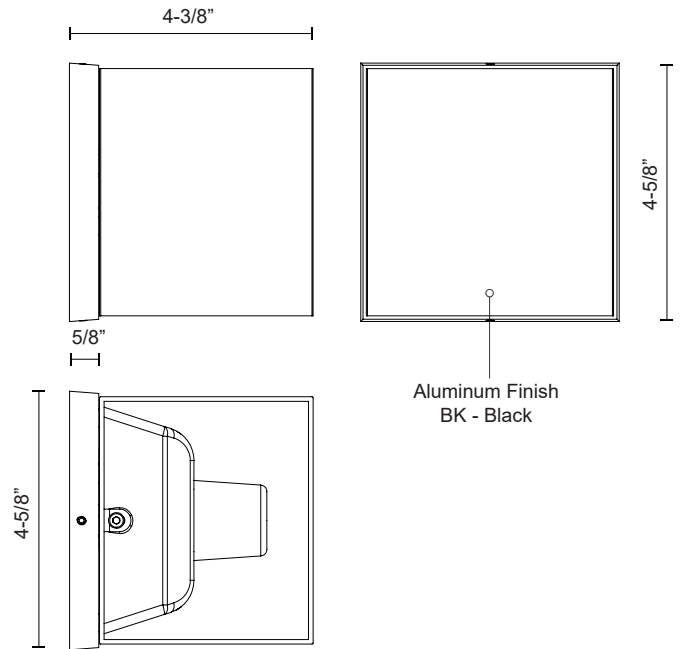
DESCRIPTION

Architectural designed exterior wall sconce, die-cast aluminum cubic body with aluminum extrusion cover, shield light source to provide even, indirect illumination on wall surface. IK06 rated.

SPECIFICATION DETAILS

* For custom options, consult factory for details.

Fixture Dimensions	W4-5/8" x H4-5/8" x E4-3/8"
Light Source	LED with DC Driver
Wattage	9W
Total Lumens	945lm
Delivered Lumens	BK-407lm
Voltage	120-277V
Color Temperature	3000K
CRI (Ra)	80CRI
Optional Color Temps	2700K - 5000K Available, Minimum Order Quantities Apply
LED Rated Life	50,000 hours
Dimming	Non-Dimming
Diffuser Details	Clear PC
Location	Wet, IP65
Compliance	IP65
Warranty	5 Years
Illumination Direction	Up and Down
Mounting Style	All Orientation; Wall;
Canopy Dimensions	W4-5/8" x H4-5/8" x E5/8"
Finish Option(s)	Black

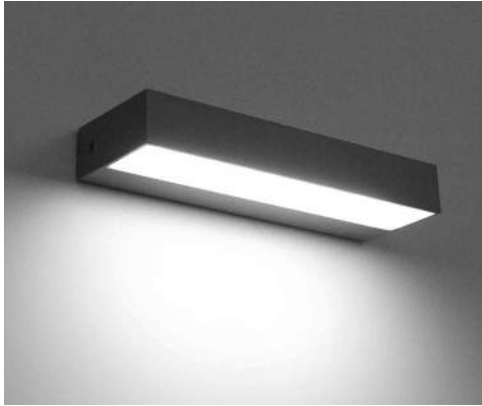


KUZCO


19054 28TH AVENUE
SURREY - BC V3Z 6M3
CANADA

WWW.KUZCOLIGHTING.COM

COMMENT



Wall mounted accent light luminaire with direct light distribution that provides ambient light on vertical surfaces. Suitable for exterior applications

Luminaire characteristics:	Power input: 13.5W or 24W (System wattage) 11.7W or 18.6W (Source wattage) Lumens: 389lm to 887lm (for 3000K, 90CRI) Luminaire efficacy: Up to 46lm/W
Source:	LED module (LM-80 tested) 2700K: 90CRI, 3000K: 90CRI, 4000K: 80CRI.
Lumen maintenance:	80% of initial lumens at 70 000 hours (L70)(LM80).
Optics:	Accent light. Diffuser: Toughened glass.
Material:	Body: Die-cast aluminum and oiled teak wood. Diffuser: Tempered glass. Mounting plate: Aluminum.
Mounting:	See mounting options on page 4.
Electrical:	High efficiency electronic LED driver, rated at 50 000 hours, 120-277V. See page 3 for remote LED driver options.
Dimming:	Optional 0-10V (120-277V), down to 10% for integral and remote version. optional LTE (leading and trailing edge), down to 15% for remote version only.
Finish:	White, aluminum gray, burnished bronze or anthracite gray painted finish, following a double powder paint in 3 step process: surface treatment containing ceramic nano particles (Bonderite). Epoxy primer paint. Polyester powder paint with high resistance against UV rays and harsh weather conditions. White and burnished bronze available with teak wood accent.
Weight:	Mini look: 1.87lb (0.85kg) Look: 3.3lb (1.5kg)
Warranty:	5 year limited warranty.
Ratings:	IP65, IK06,IK03 (Look)
Certification:	 cULus listed for wet location

ORDERING INFO

FIXTURE

MODEL

- | | | |
|---|--|---|
| <input type="checkbox"/> S7201 - Mini look | <input type="checkbox"/> S7202 - Mini look double | <input type="checkbox"/> S7250 - Look |
| <input type="checkbox"/> SL9201 - Mini look wood | <input type="checkbox"/> SL9202 - Mini look double wood | <input type="checkbox"/> S7252 - Look double |

LED

- | | | |
|--|--|--|
| <input type="checkbox"/> H - 2700K, 90CRI | <input type="checkbox"/> W - 3000K, 90CRI | <input type="checkbox"/> N - 4000K, 80CRI |
|--|--|--|

MOUNTING

- | | | |
|--|--|---|
| <input type="checkbox"/> DF - Surface mounted
with direct feed | <input type="checkbox"/> JB - Surface mounted
junction box | <input type="checkbox"/> J2 - Surface mounted
single gang box |
|--|--|---|

VOLTAGE

- | | |
|--|--|
| <input type="checkbox"/> UNV - 120-277V | <input type="checkbox"/> REM - Remote |
|--|--|

FINISH

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> 01 - White | <input type="checkbox"/> 14 - Aluminum | <input type="checkbox"/> 20 - Burnished bronze | <input type="checkbox"/> 24 - Anthracite gray |
|--|---|---|--|

DIMMING

- | | |
|---|---|
| <input type="checkbox"/> ND - No dimming | <input type="checkbox"/> D10 - 0-10V |
|---|---|

REMOTE POWER SUPPLY OPTION
(TO BE ORDERED SEPARATELY)

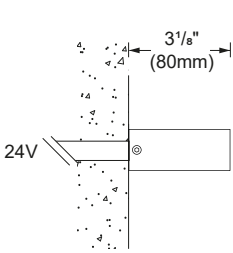
Mini look S7201, S7202, SL9201, SL9202							11.7W*
Watts	Voltage	Rated	Dimming protocol	Dimming range	Dimensions	Max distance**	Min-max units
<input type="checkbox"/> 4444-0024-025-UNV-ND							1-2
25	120-277V	Indoor	-	-	6" X 4" X 3" (152 X 102 X 76mm)	150ft(45m)	
<input type="checkbox"/> 4448-0024-150-UNV-D10							1-12
150	120-277V	Indoor	0-10V	Down to 10%	10" X 8" X 4" (254 X 203 X 102mm)	25ft(7.5m)	
<input type="checkbox"/> 4549-0024-075-UNV-D10							1-6
75	120-277V	Outdoor	0-10V	Down to 10%	14.5" X 5" X 3.5" (368X 127 X 88mm)	50ft(15m)	
<input type="checkbox"/> 4545-0024-075-UNV-ND							1-6
75	120-277V	Outdoor	-	-	12.5" X 4.5" X 2.5" (317 X114 X 63mm)	50ft(15m)	
<input type="checkbox"/> 4551-0024-080-120-LTE							1-6 (3-6 w/dim)
80	120V	Outdoor	Leading and trailing edge (ELV and TRIAC)	Down to ±15%	14.5" X 5" X 2" (365 X 127 X 50mm)	45ft(13m)	
<input type="checkbox"/> 4546-0024-200-2C-UNV-ND							1-16 max 8/ch
200	120-277V	Outdoor	-	-	12.5" X 4.5" X 2.5" (317 X114 X 63mm)	35ft (10m) Per channel	

Look S7250, S7252							18.6W*
Watts	Voltage	Rated	Dimming protocol	Dimming range	Dimensions	Max distance**	Min-max units
<input type="checkbox"/> 4444-0024-025-UNV-ND							1
25	120-277V	Indoor	-	-	6" X 4" X 3" (152 X 102 X 76mm)	150ft(45m)	
<input type="checkbox"/> 4448-0024-150-UNV-D10							1-7
150	120-277V	Indoor	0-10V	Down to 10%	10" X 8" X 4" (254 X 203 X 102mm)	25ft(7.5m)	
<input type="checkbox"/> 4549-0024-075-UNV-D10							1-3
75	120-277V	Outdoor	0-10V	Down to 10%	14.5" X 5" X 3.5" (368X 127 X 88mm)	50ft(15m)	
<input type="checkbox"/> 4545-0024-075-UNV-ND							1-3
75	120-277V	Outdoor	-	-	12.5" X 4.5" X 2.5" (317 X114 X 63mm)	50ft(15m)	
<input type="checkbox"/> 4551-0024-080-120-LTE							1-4 (2-4w/ DIM)
80	120V	Outdoor	Leading and trailing edge (ELV and TRIAC)	Down to ±15%	14.5" X 5" X 2" (365 X 127 X 50mm)	45ft(13m)	
<input type="checkbox"/> 4546-0024-200-2C-UNV-ND							1-10 max 5/ch
200	120-277V	Outdoor	-	-	12.5" X 4.5" X 2.5" (317 X114 X 63mm)	35ft (10m) Per channel	

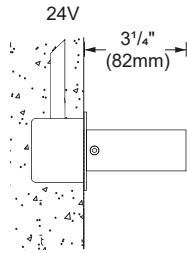
*wattage requirement for one (1) fixture (remote fixture only)
**Calculated at full load for 18AWG copper wires

MOUNTING OPTIONS

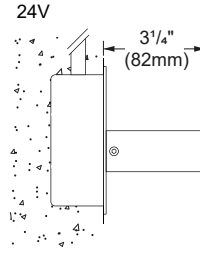
MINI LOOK / MINI LOOK DOUBLE / MINI LOOK WOOD
S7201 / S7202 / SL9201 / SL9202



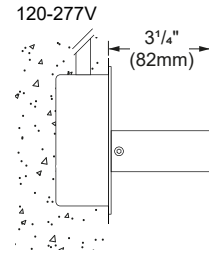
DF-REM - Direct feed with remote power supply. Connections made inside fixture (18AWG only). Ø3/8" power cable. Installed directly to surface.



J2-REM - 2" junction box with remote power supply. Mounting adapter plate for junction box installation. Min 1 1/2" (38mm) deep

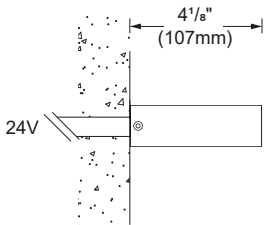


JB-REM - 4" junction box with remote power supply. Mounting adapter plate for junction box installation. Min 1 1/2" (38mm) deep.

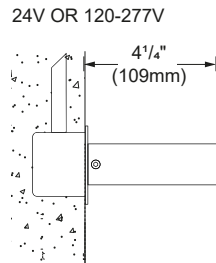


JB-UNV - 4" junction box with integral power supply. Mounting adapter plate for junction box installation. Min 1 1/2" (38mm) deep.

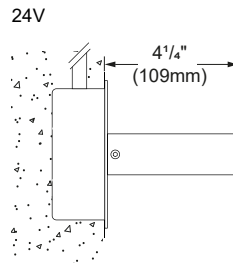
LOOK / LOOK DOUBLE
S7250 / S7252



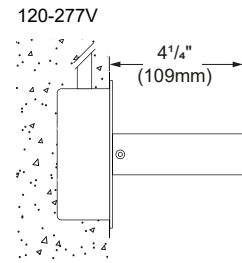
DF-REM - Direct feed with remote power supply. Connections made inside fixture (18AWG only). Ø3/8" power cable. Installed directly to surface.



J2-REM - 2" junction box with remote power supply. Mounting adapter plate for junction box installation. Min 1 1/2" (38mm) deep



JB-REM - 4" junction box with remote power supply. Mounting adapter plate for junction box installation. Min 1 1/2" (38mm) deep.

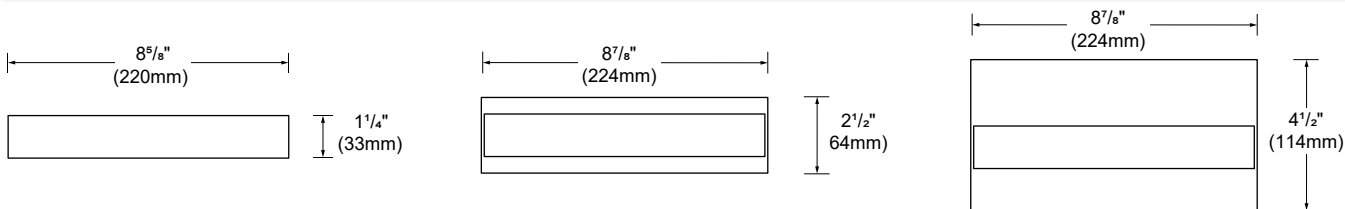


JB-UNV - 4" junction box with integral power supply. Mounting adapter plate for junction box installation. Min 1 1/2" (38mm) deep.

J2-UNV - 2" junction box with integral power supply. Mounting adapter plate for junction box installation. Min 1 1/2" (38mm) deep

DIMENSIONS

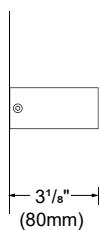
MINI LOOK / MINI LOOK DOUBLE / MINI LOOK WOOD
S7201 / S7202 / SL9201 / SL9202



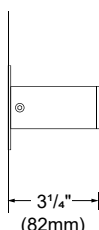
FRONT VIEW

FRONT VIEW

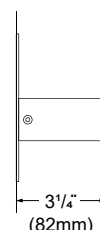
FRONT VIEW



SIDE VIEW

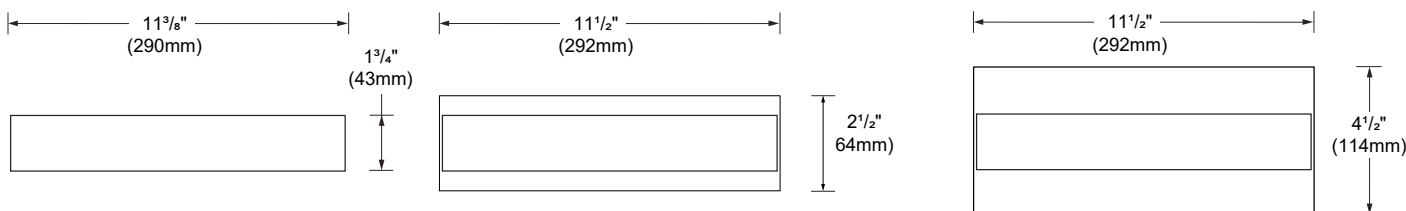


SIDE VIEW



SIDE VIEW

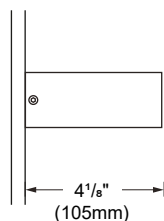
LOOK / LOOK DOUBLE
S7250 / S7252



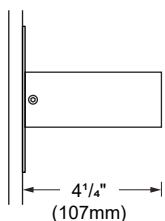
FRONT VIEW

FRONT VIEW

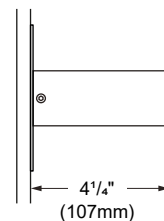
FRONT VIEW



SIDE VIEW



SIDE VIEW



SIDE VIEW

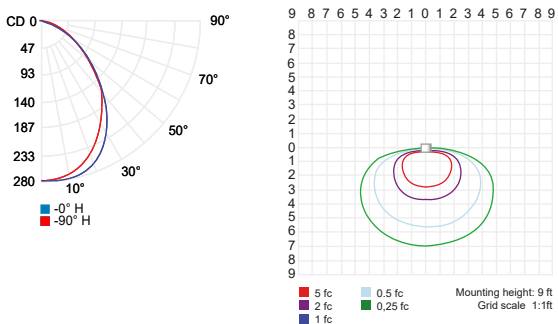
PHOTOMETRIC DATA

Visit sistemalux.com for complete photometric data.

CCT (K)	CRI	LOAD* (W)	OPTIC	LUMENS (lm)	EFFICACY (lm / W)	MAX CANDELA (cd)	MODELS
3000K	90	13.5W	Accent light	475	37	272	S7201W SL9201W

*Wattage given for integral version. For products that uses a remote led driver, total system wattage will varies according to the efficacy of the remote led driver selected.

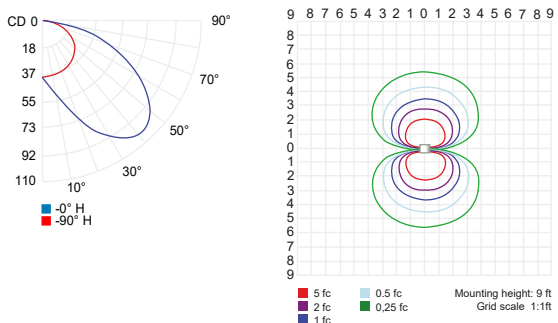
Accent light (3000K, 90 CRI)



CCT (K)	CRI	LOAD* (W)	OPTIC	LUMENS (lm)	EFFICACY (lm / W)	MAX CANDELA (cd)	MODELS
3000K	90	13.5W	Accent light	389	30	105	S7202W SL9202W

*Wattage given for integral version. For products that uses a remote led driver, total system wattage will varies according to the efficacy of the remote led driver selected.

Accent light (3000K, 90 CRI)



CCT options	2700K	3000K	4000K
CRI options	90CRI	90CRI	80CRI
Multiplier	0.94	1	1.07

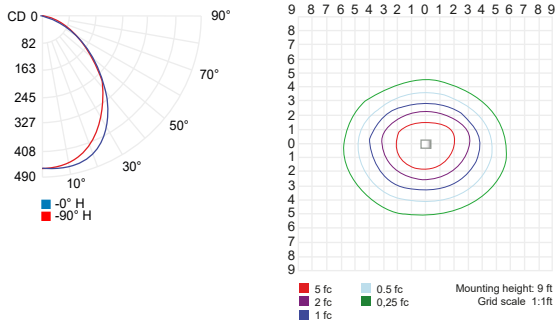
PHOTOMETRIC DATA

Visit sistemalux.com for complete photometric data.

CCT (K)	CRI	LOAD* (W)	OPTIC	LUMENS (lm)	EFFICACY (lm / W)	MAX CANDELA (cd)	MODELS
3000K	90	24W	Accent light	887	46	482	S7250W

*Wattage given for integral version. For products that uses a remote led driver, total system wattage will varies according to the efficacy of the remote led driver selected.

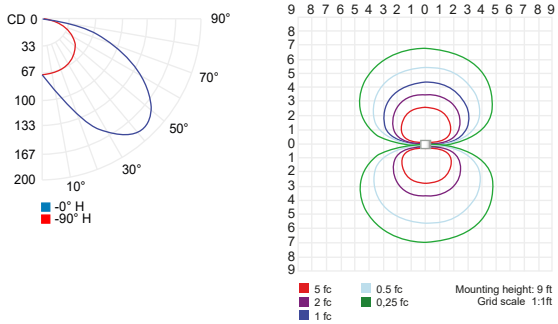
Accent light (3000K, 90 CRI)



CCT (K)	CRI	LOAD* (W)	OPTIC	LUMENS (lm)	EFFICACY (lm / W)	MAX CANDELA (cd)	MODELS
3000K	90	24W	Accent light	724	38	195	S7252W

*Wattage given for integral version. For products that uses a remote led driver, total system wattage will varies according to the efficacy of the remote led driver selected.

Accent light (3000K, 90 CRI)



CCT options	2700K	3000K	4000K
CRI options	90CRI	90CRI	80CRI
Multiplier	0.94	1	1.07



RECEIVED
By Meredith Todd at 11:08 am, Mar 28, 2023

March 28, 2023

Brian Parker
Planning and Zoning Department
City of McCall
216 East Park Street
McCall, ID 83638, ID 83638

bparker@mccall.id.us

**RE: McCall-Donnelly School District | Multi-family Staff Housing Project
Design Review Application – Traffic Memo | PN 122079**

Dear Mr. Parker & City Staff,

In conversation with City of McCall staff about potential local traffic impacts, city staff indicated that there is currently not a policy for development identifying the requirement for a traffic impact study (TIS). The Land Group Inc. identified that the project size is not large enough to typically require a TIS. To support that 'typical industry standard', our team is providing supplemental information in this memo based on requirements of neighboring traffic authorities having jurisdiction; Ada County Highway District and Idaho Transportation Department.

Summary of Multi-family Staff Housing Project Residential Programming:

Land Use Type	Residential Multifamily
Zoning Designation	R8 (8 units per acre)
Total Units	35 units (maximum)

Per previously approved Zone Map Amendment Application ZON-22-02, a maximum of 35-rental units owned and maintained by the McCall Donnelly Joint School District No. 421 for the benefit of school faculty and staff, is allowable in the adjusted R8 (8 units per acre) residential zone, with the parcel being 4.4 acres (4.4acres x 8units = 35.2 or 35 total units).

(Reference) Ada County Highway District Policy manual:

7106.1 TIS Purpose and General Requirements Traffic Impact Studies (TIS) are intended to determine the need for any improvements to the adjacent and nearby transportation system in order to maintain a satisfactory level of service, and acceptable level of safety and the appropriate access provisions for a proposed development. ITE, Transportation Impact Analyses for Site Development. Traffic Impact Studies are generally required when:

- *A proposed development or redevelopment of a site will generate 100 or more new peak hour trips; OR*

- *The added volume is equal to 1,000 vehicles per day; OR*
- *As required in Table 1 below. (The values in Table 1 are a general guide to determine if a TIS will be required.) Table 1: Approximate TIS Trigger Values*

Table 1: Approximate TIS Trigger Values

Land Use Type	Land Use Code	Trigger Value
Residential	210, 220, 221, 270	100 Dwelling Units
Retail	815, 820, 850	35,000 square feet
Office	710, 750, 770	50,000 square feet
Industrial	110, 130, 140, 150	70,000 square feet
Lodging	310, 312, 320	100 rooms
School (K-12)		All

(Reference) Idaho Transportation Department Form 2109, Item 5.e:

Unless the requirement is waived by the District Engineer, a Traffic Impact Study shall also be required when a new or expanded development seeks direct access to a state highway, and at full build out will generate one hundred (100) or more new trips during the peak hour, the new volume of trips will equal or exceed one thousand (1000) vehicles per day, or the new vehicle volume will result from development that equals or exceeds the threshold values in Table 2. The Traffic Impact Study is created by a licensed engineer in the State of Idaho at their cost.

Table 2	
LAND USE TYPE	THRESHOLD VALUE
Residential	100 Dwelling Units
Retail	35,000 square feet
Office	50,000 square feet
Industrial	70,000 square feet
Lodging	100 rooms
School (K-12)	All (Sections 67-6508 & 67-6519, Idaho Code)

Project Analysis - Trip Generation

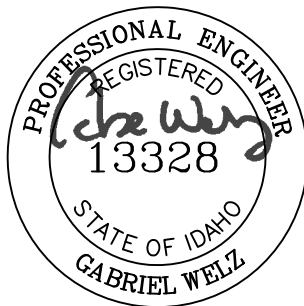
The Institute of Transportation Engineers Trip Generation Manual, 10th Edition, Land Use 220 was used for this development. The development is estimated to generate 256 weekday trips per day, 16 AM peak hour trips, and 20 PM peak hour trips.

Land Use	ITE Code	Size	Trip Rate	Total Trips
Multifamily housing (Low-Rise)	220	35	0.56 (PM Peak)	20
			0.46 (AM Peak)	16
			7.32 (Weekday Daily)	256

The above table demonstrates that the anticipated total trips at peak hours amounts to no more than 20 total trips, which is well below the threshold of 100 trips at peak hours used by neighboring agencies ACHD and ITD. Therefore, The Land Group assumes that a traffic impact study should not be required for this development as peak trip increase is not anticipated to negatively affect a *“satisfactory level of service, and acceptable level of safety and the appropriate access provisions for [the] proposed development”*.

Sincerely,

Gabe Welz, PE



03/28/2023



City of McCall

PUBLIC WORKS

www.mccall.id.us

March 29, 2023

Kerstin Dettrich
kerstin@thelandgroupinc.com
The Land Group

Re: DR 23-04 – TBD Stibnite St - MSDS: Engineering Review Letter No. 1

Dear Kerstin,

This letter provides the City's engineering review of the submitted civil design documents received for the above-mentioned application. From previous conversations leading up to this submittal, it is Public Works understanding that the submitted drawings are preliminary and a full civil design set will be provided for review and approval prior to construction commencing. Some of the comments below may only be applicable to the civil design set and what should be included in that review set. Based on our understanding of the project we have assembled the comments below.

Public Works preliminary review indicates a final civil design for this project will likely conform to the City and State of Idaho's design standards. The following comments elaborate on information that is needed to show compliance with these standards.

Right of Way, Access, and Street Improvements:

1. Traffic Impact Memo: Thank you for providing a Professional Engineer stamped memo that details the anticipated trip generation and the statement that the proposed development is not anticipated to negatively affect a satisfactory level of service, and acceptable level of safety of the surrounding areas.
2. This project will have frontage along N. Mission St. and Stibnite St. Through our conversations, only improvements along N. Mission St. will be required with Phase 1. Future improvements to the Stibnite St. frontage will be evaluated with future phases of this project.
3. Adjustment to the sawcut lines on Mission St. and Stibnite St. may need to be adjusted to keep saw-cuts out of the wheel path. This will be more evident when the signing and striping plan is established.
4. A signage and striping plan will need to be provided in the civil design set.
5. A cross-section of S. Mission St. that shows the bike lane widening needs to be provided.
6. A profile of the private roadway needs to be provided for review and approval in the civil design set.
7. Please utilize our standard cross-sections regarding the private street cross-section (MSD-803B) and the bike lane cross-section (MSD-802B). These standard details can be found on our website at www.mccall.id.us/Engineering , or I can send you these details as well.

216 East Park Street
McCall, Idaho 83638

Phone 208-634-5580

Main 208-634-7142

Fax 208-634-4170

8. Identify where the existing sidewalk on the northeast corner of Stibnite and S. Mission St is located in comparison to the proposed sidewalk crossing is shown. Adjustments to the stop bar and existing sidewalk may be necessary to provide a safe crosswalk.

Grading, Drainage, and Stormwater Management:

1. Thank you for submitting your stormwater memo, dated 02/28/23, that describes how this project anticipates handling the stormwater that is conveyed through the site and the increased stormwater runoff generated from this project. This initial review does show that this project will likely meet our standards. A full stormwater drainage report will need to be submitted for review and approval with the civil design set.
 - a. Stormwater requirements for projects over 15,000 square feet of impervious area must be signed and stamped by an Idaho licensed Professional Engineer and include:
 - i. Filled out and signed Stormwater Application
 - ii. Stormwater drainage report that covers sections A, B, C, D, E, and F of the Stormwater Management Checklist,
 - iii. A site/grading plan showing temporary and permanent BMP's,
 - iv. Detention area and design calculations verifying adequate are for the 1st flush storm (2yr-design storm),
 - v. Detention area and design calculations verifying adequate storage of increased runoff caused by project,
 - b. Supporting links for Stormwater items above:
 - i. Stormwater Application:
<https://evogov.s3.amazonaws.com/141/media/115535.pdf>
 - ii. Drainage Management Guidelines:
<https://evogov.s3.amazonaws.com/141/media/115536.pdf>
 - iii. Stormwater Design Criteria Resolution 16-10:
<https://evogov.s3.amazonaws.com/141/media/115537.pdf>
 - iv. DEQ BMP Catalog:
<https://www2.deq.idaho.gov/admin/LEIA/api/document/download/14968>
2. Within the civil design set, please provide a profile of the proposed stormwater mains.

Water and other Utilities:


1. As discussed, the City does not anticipate fire flows to be substandard with the proposed looping of an 8" watermain through the property. A hydraulic model is still underway as we transition hydraulic modeling consultants. Once this model report is available, we will send it to the applicant team.
2. On all sheets where utility structures are shown, please show the mains or other infrastructure connecting to these structures. There are a few pages with valves and manholes that are not shown connecting to anything.
3. Please identify how water metering for the proposed multi-family building will be handled. This will be important to understand so proper service line sizing and appropriate meter sizing occurs. This may require additional conversations with Staff so we can identify the best path forward.
4. For proper sizing of the water meters, please submit a fixture unit worksheet for each unique floor plan. The following link will take you to the water fixture unit worksheet.

https://www.mccall.id.us/media/PWORKS/Water%20Rate/10.05.22_Water%20Infrastructure%20Sizing_Residential.xlsx

5. Proposed water meters will need to be relocated a minimum of 4 feet away from paved surfaces.
6. Will there be an irrigation meter for the proposed landscaping? If so, please provide sizing information and show where that will be located on the civil design plan set.
7. Where the watermain T's, there should be 3-valve clusters provided.
8. For the proposed end points of the watermain for Phase 1, there should be an extension of the watermain a minimum of 20' past the last valve to allow for ease of connections in the future. This also helps reduce possible damage to the installed valves at that time.
9. The final water civil plan shall comply with IDEQ standards and include a vertical profile that identifies the crossings of potable and non-potable water lines. The proposed water main and all service lines shall always maintain a minimum of six (6') feet of cover.
10. Undergrounding of overhead utilities along the property frontage should be shown on the plans in conformance with the conditions of approval in the Planning Staff Report for the April 4, 2023 Planning and Zoning hearing.
11. All utilities serving the project shall be located underground. As part of the final civil design package, additional utility plans (separate from the water and sewer plans) shall identify the location of:
 - a. Proposed street lighting and electrical control box/meter locations,
 - b. Idaho Power electrical service lines and locations of transformers and j-boxes,
 - c. Sparklight and/or Ziplay Fiber telecommunications lines, j-boxes and transformers,
12. The City has initiated a municipal broadband utility known as RAPID (<https://mccall.maps.arcgis.com/apps/MapSeries/index.html?appid=0ffb912a1bec4ca0868c46d34d09340a>). Please contact the City's RAPID project manager, Chris Curtin (208,634-3576, [ccurtin@mccall.id.us](mailto:c curtin@mccall.id.us)) for further direction on this infrastructure design.

The comments provided herein need to be addressed as we work through the design of the project. Please feel free to contact me if you have any questions or need further clarification as you prepare additional documents and work towards finalizing your construction documents.

Sincerely,



Morgan Stroud, E.I.T
McCall Staff Engineer

Attachments:

Redlined Civil Plans (dated 02/22/2023)

Cc: Project file – DR23-04
Brian Parker – City Planner
Meredith Todd – Assistant City Planner
Nathan Stewart – Public Works Director/City Engineer

MDSD Multi-family Staff Housing

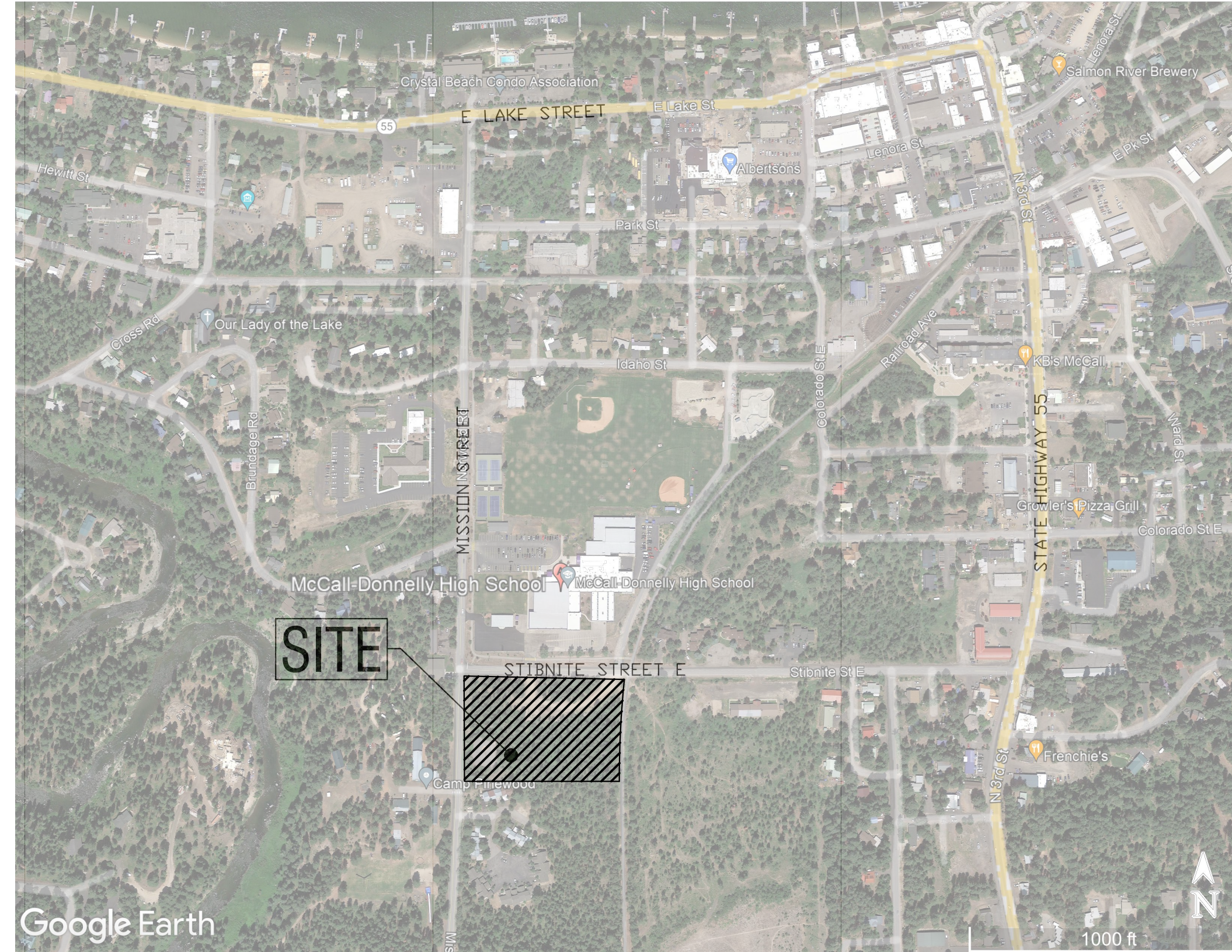
McCall-Donnelly Joint School District #421

PROJECT CONTACTS

OWNER / DEVELOPER:
 MCCALL DONNELLY SCHOOL DISTRICT #421
 ADDRESS: 299 S 3RD STREET MCCALL, IDAHO 83638
 CONTACT: JASON CLAY
 EMAIL: jclay@mdsd.org
 PHONE: (208) 634-2161

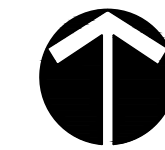
ARCHITECT:
 PIVOT NORTH ARCHITECTURE
 1101 W GROVE ST STE 101, BOISE, ID 83702
 CONTACT: CHAD GIERHART
 EMAIL: chad@pivotnorthdesign.com
 PHONE: (208) 690-3108

CIVIL ENGINEER:
 THE LAND GROUP, INC.
 CONTACT: GABE WELZ
 462 E. SHORE DR., STE. 100
 EAGLE, ID 83616
 PHONE: 208.939.4041
 EMAIL: gabe@thelandgroupinc.com



[Table of contents](#)

Vicinity Map



SCALE: NOT TO SCALE

ADDRESS: TBD

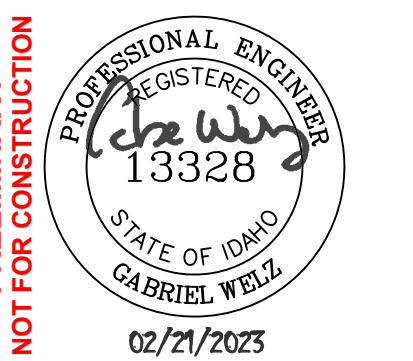
**Situate in the NW 1/4 of the NW 1/4 of Section 16,
 Township 18 North, Range 3 East, Boise Meridian
 City of McCall, Valley County, Idaho
 2023**

**MDSD MULTI-FAMILY STAFF HOUSING
 McCall-Donnelly Joint School District #421**

TBD
 McCall, ID 83638

Revisions

1.	



Project No.: 122079
 Date of Issuance: 2.21.2023
 Project Milestone: Design Review

Cover Sheet



Dig Line, Inc.
 Call Before You Dig!
 811

CO.00

File Path: \\s01\2023\2023\122079\122079_0001.dwg
 User: gabe@thelandgroupinc.com
 Date: 2/21/2023 11:02:18 AM

SCHOOL DISTRICT #421-B
 APN: RPM00000163175

- Keynotes:**
1. PHASE ONE SCENIC ROUTE BUFFER PLANTINGS
 2. FUTURE PHASE SCENIC ROUTE BUFFER PLANTINGS - TO BE INSTALLED WITH PHASE 2 CONSTRUCTION.

- Material Legend:**
- PHASE ONE CONSTRUCTION LIMITS
 - ASPHALT PAVING LIMITS

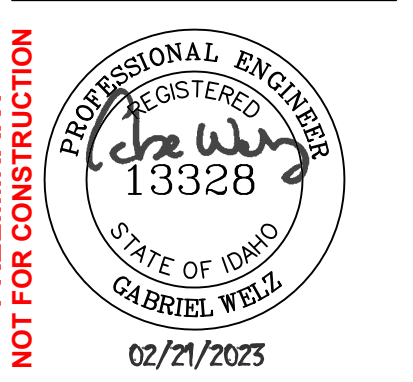


**MDSD MULTI-FAMILY STAFF HOUSING
 McCall-Donnelly Joint School District #421**

TBD
 McCall, ID 83638

Revisions

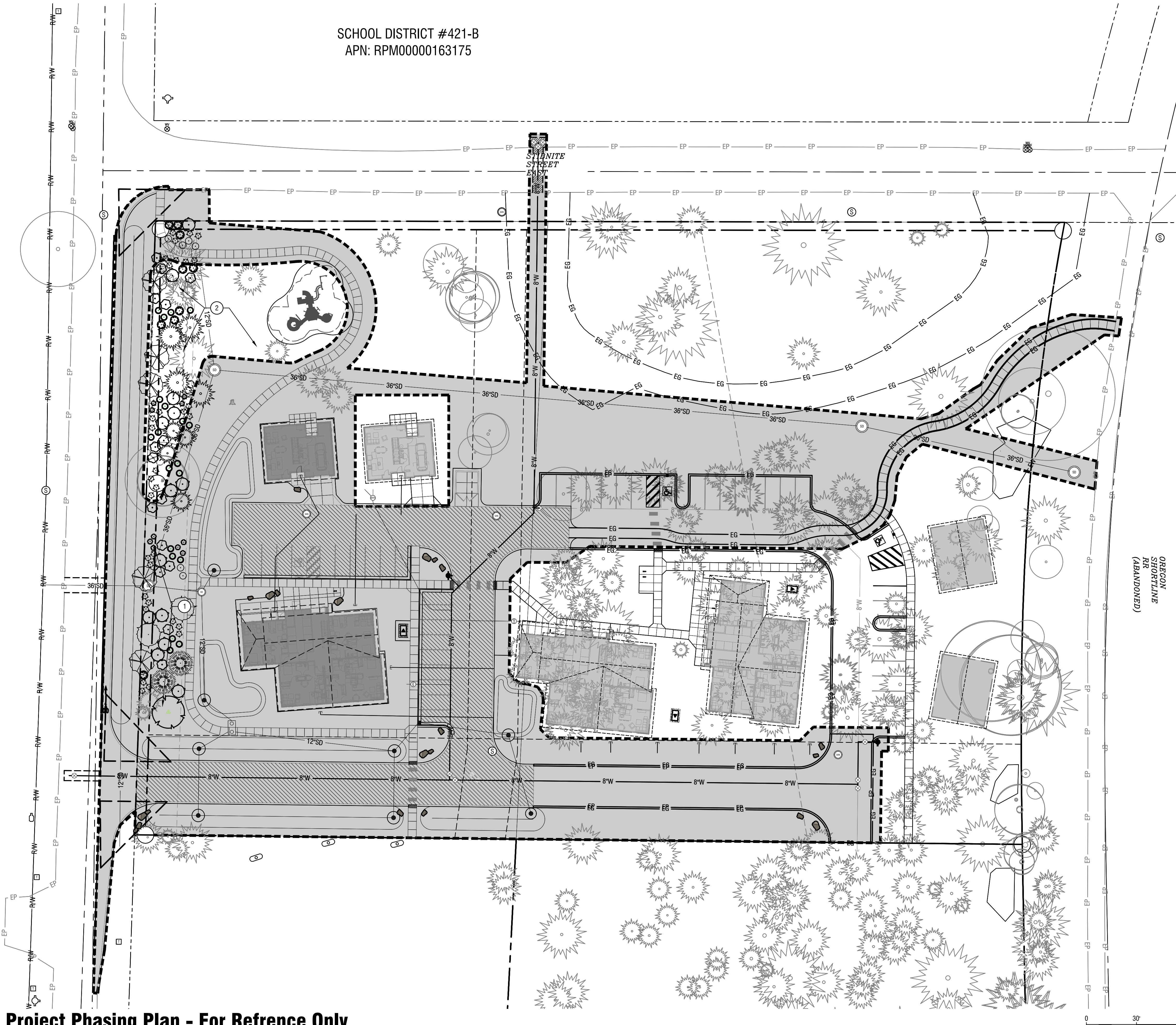
1.	



Project No.: 122079
 Date of Issuance: 2.21.2023
 Project Milestone: Design Review

Project Phasing Plan

CO.10



Project Phasing Plan - For Reference Only

Horizontal Scale: 1" = 30'

PLAN NUMBER: 02/21/2023/Plan_022123/CO.10.dwg
 DATE PLOTTED: 02/21/2023 10:00:00 AM
 PLOT FILE: C:\Users\gvelz\OneDrive\Desktop\022123\CO.10.dwg

Keynotes:

- 1. EXISTING SANITARY SEWER MANHOLE AND CONCRETE-FILLED SANITARY SEWER LINE, REMOVE AND REPLACE. REFER TO CIVIL SHEETS FOR DETAIL FOR MORE INFORMATION.
- 2. EXISTING TREE, RETAIN AND PROTECT. REFER TO TREE PROTECTION NOTES FOR MORE INFORMATION.
- 3. EXISTING VEGETATION, RETAIN AND PROTECT.
- 4. EXISTING FENCE, REMOVE AND DISPOSE OF OFFSITE.
- 5. EXISTING UTILITY, RETAIN AND PROTECT. REFER TO UTILITY PLANS FOR MORE INFORMATION.
- 6. SAWCUT.
- 7. EXISTING DIRT TRAIL, CLEAR AND GRUB.
- 8. EXISTING DEBRIS PILE, REMOVE AND DISPOSE OF OFFSITE.
- 9. REMOVE DEBRIS AND PREP EXISTING CULVERT FOR TIE-IN. PROVIDE DEWATERING, SWPPP MEASURES AND TEMPORARY WATER DETAINMENT BARRIERS AS REQUIRED TO COMPLETE WORK IN THIS AREA.
- 10. REMOVE EXISTING CMP CULVERT.
- 11. EXISTING TREE AND SHRUB COMMUNITY ON MISSION ST, SEE DETAIL 1/L1.50 FOR ADDITIONAL INFORMATION.
- 12. REMOVE AND REPLACE APPROXIMATELY 20-FOOT LENGTH OF 12-INCH DIAMETER PIPE BETWEEN MANHOLE 9A102-102 AND MANHOLE 9A103-010 PER PAVETTE LAKES RECREATIONAL SEWER & WATER DISTRICT REQUIREMENTS. CONTRACTOR SHALL COORDINATE DIRECTLY WITH SEWER DISTRICT FOR REQUIRED INSPECTIONS. [CONTACT JEFF BATEMAN - MANAGER (208) 634-4111].

Material Legend:

- HARDSCAPE, REMOVE AND DISPOSE OF OFFSITE
- CLEAR AND GRUB
- TREE REMOVAL; REMOVE TREE AND ROOTBALL, DISPOSE OF OFFSITE
- EXISTING TREE MASSING, SEE DETAIL 1/L1.50 FOR MORE INFORMATION.

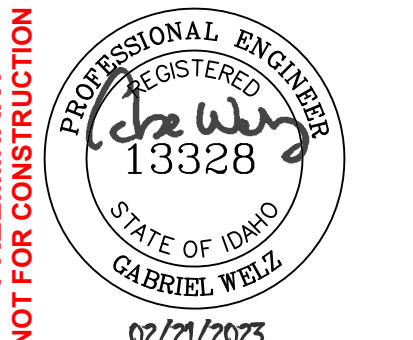


**MDSD MULTI-FAMILY STAFF HOUSING
McCall-Donnelly Joint School District #421**

TBD
McCall, ID 83638

Revisions

1.	



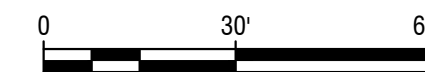
Project No.: 122079
Date of Issuance: 2.21.2023
Project Milestone: Design Review

**Demolition Plan
Overall**

C1.00

Demolition Plan-Overall

Horizontal Scale: 1" = 30'



File Path: C:\Users\jwheeler\OneDrive\Documents\2023\122079\122079-1100-Demolition.dwg
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 Plot Device: HP DesignJet 5000PSN
 Plot Style: 2023.ctb

Material Legend:

- APPROX. LIMITS OF CONSTRUCTION
- SNOW STORAGE AREA
- OFF-SITE ASPHALT PAVING - SEE DETAIL 4/C2.50.
- ON-SITE ASPHALT PAVING - SEE DETAIL 4/C2.50.
- STANDARD CONCRETE FLATWORK - SEE DETAIL 1/C2.50.
- REINFORCED CONCRETE FLATWORK - SEE DETAIL 2/C2.50.
- 4"-DEPTH, 3/4-MINUS ROAD MIX, COMPACTED TO 95% COMPACTION.
- LANDSCAPE AREAS. REFER TO LANDSCAPE SHEET L1.00 FOR MORE INFORMATION.
- LARGE LANDSCAPE BOULDERS. SEE LANDSCAPE PLAN SHEET L1.00 FOR MORE INFORMATION.

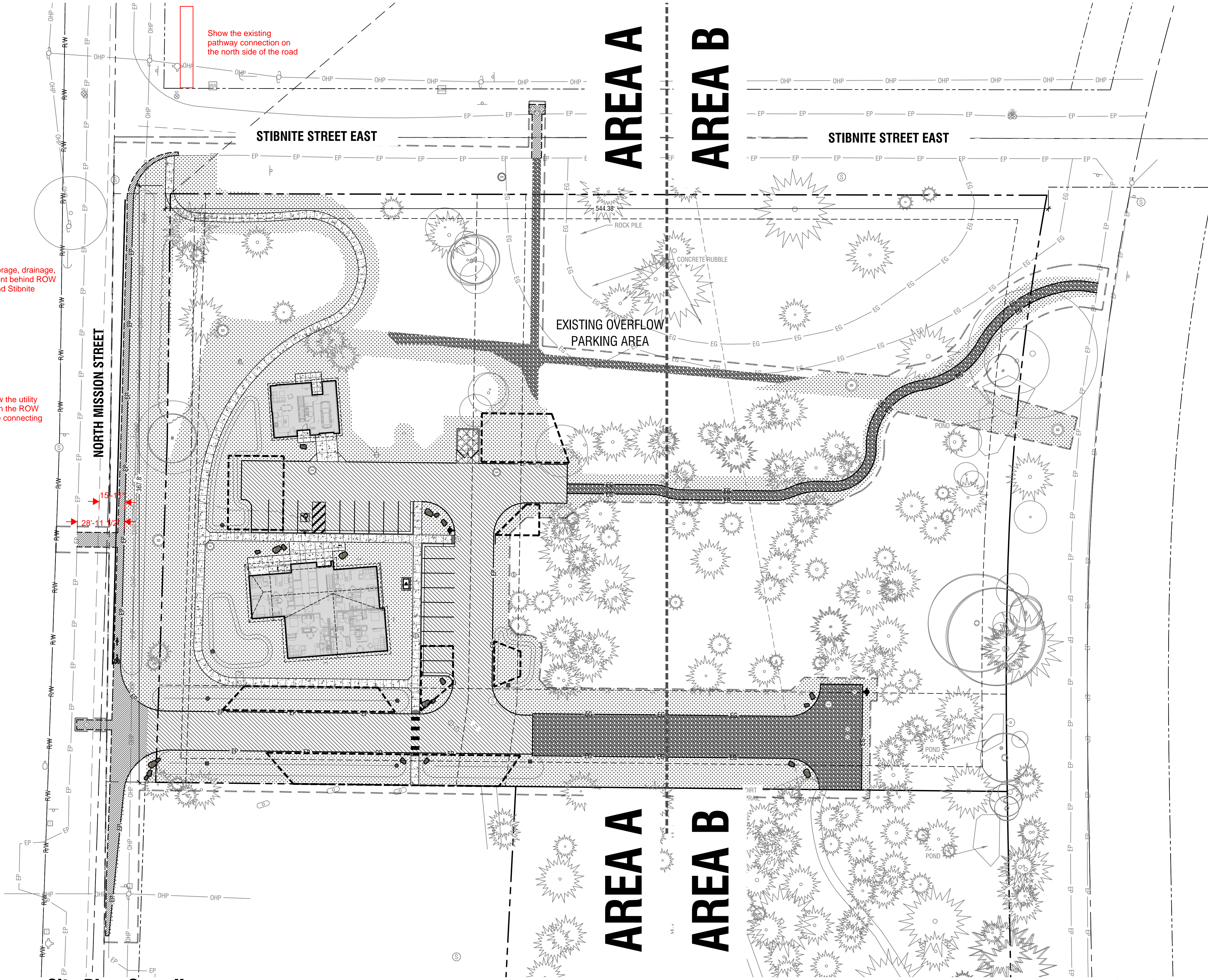
Site Plan Calculations

Property Frontage = 912-LF
 Maximum Building Height(s) = 35-FT (Per MCC 3.3.03)
 Maximum Units = 35-EA
 Typical Setback = 15-FT
 Snow Storage Area Total = 8,417-SF
 Parking Spaces Total = 19-EA
 Cottage Driveway = 1-EA (2 surface compact, 1 garage space)

Development Agreement Lot Coverage Calculations (For Reference)
 Open Space Area 2.66 Acres / 60.5%
 Buildings Area 0.64 Acres / 14.5%
 Hardscape Area 1.1 Acres / 25%
 Lot Size 4.4 Acres / 100%

Phase 1 Lot Coverage Calculations (9 Units)
 1 Cottage Structure
 1 Multi-family 8-unit Structure
 Phase 1 Project Square Footage = 122,660 sf / 2.81 Acres / 100%
 Phase 1 Open Space Area = 1.56Acres / 35%
 Phase 1 Buildings Area = 0.11Acres / 3%
 Phase 1 Hardscape Area = 0.64 Acres / 36%

ALLOWABLE LOT COVERAGE CALCULATOR	
Lot Area in square feet:	191664
Number of Units:	35
Lot Coverage % Allowed:	48%
Lot Coverage Allowed:	92,182
Proposed Lot Coverage:	53,494 sf
Footprint of existing structures:	0
Footprint of proposed structures:	27878
Total structure size:	27,878 sf
Area of Existing Uncovered Decks, Patios, Walkways, Plazas, etc.	0
Area of New Uncovered Decks, Patios, Walkways, Plazas, etc.	0
Total decks, etc. size:	0 sf
Existing Driveways, surface parking, etc.	25273
New Driveways, surface parking, etc.	47916
Total driveway size:	25,616 sf
Total Proposed Lot Coverage:	53,494 sf

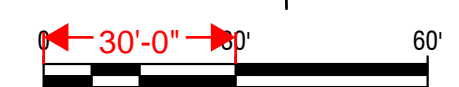


12 ft snow storage, drainage, utility easement behind ROW on Mission and Stibnite

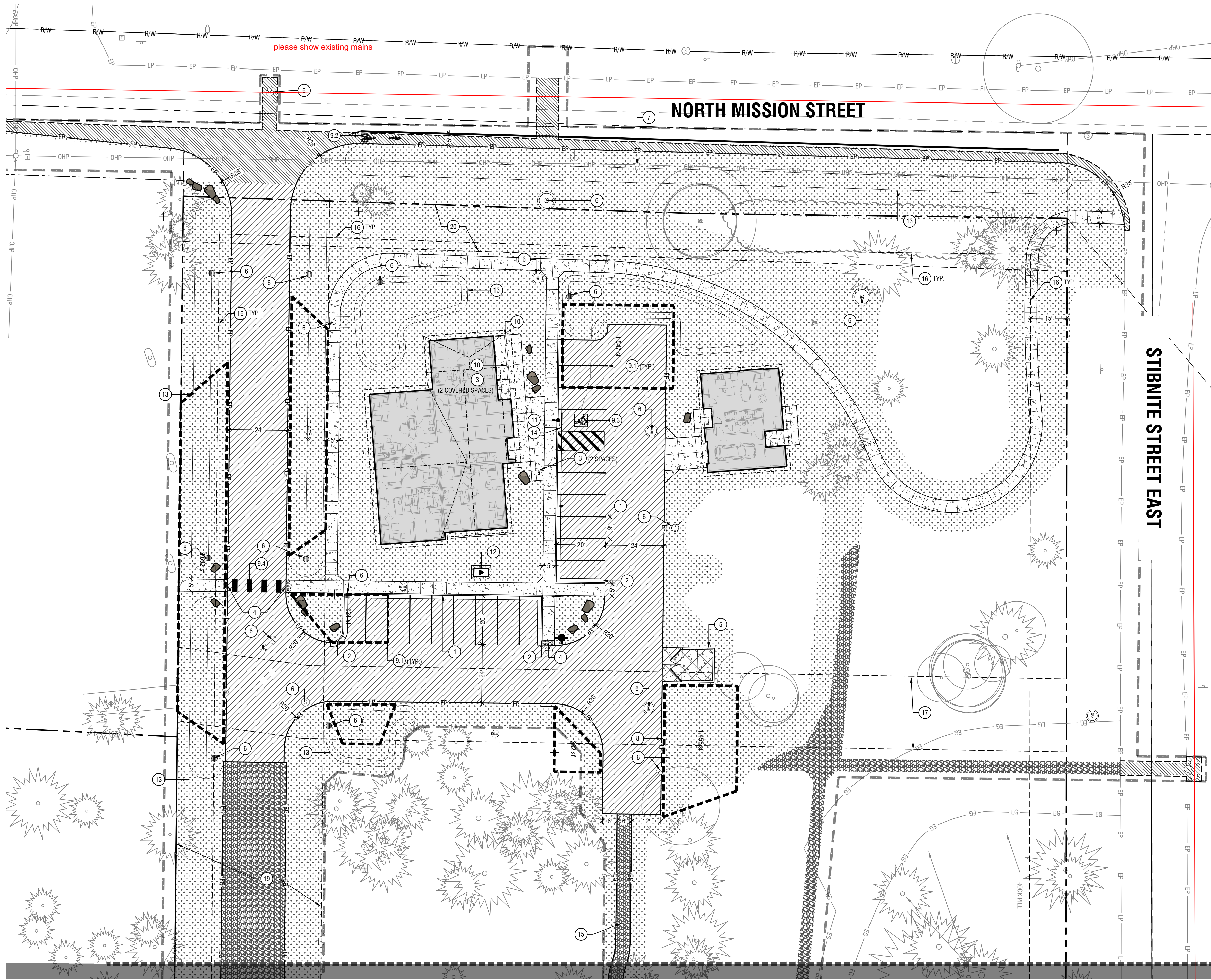
please show the utility main lines in the ROW that you are connecting too.

Show the existing pathway connection on the north side of the road

Site Plan-Overall



Horizontal Scale: 1" = 30'



Keynotes:

- 1. CURB & GUTTER, SEE DETAIL 5&6/C2.50.
- 2. CURB TRANSITION, SEE DETAIL 7/C2.50.
- 3. BIKE RACK, SEE DETAIL 8/C2.50.
- 4. WARNING DOME, SEE SPECIFICATIONS.
- 5. TRASH ENCLOSURE, SEE DETAIL 1-5/C2.51.
- 6. UTILITY STRUCTURE, SEE UTILITY PLAN SHEET FOR MORE INFORMATION.
- 7. EXISTING POWER POLE.
- 8. FIRE HYDRANT, SEE UTILITY PLAN SHEET FOR MORE INFORMATION.
- 9. PAVEMENT CROSSING, SEE SPECIFICATIONS.
 - 9.1. 4' PARKING
 - 9.2. BIKE LANE
 - 9.3. ADA STALL
 - 9.4. PEDESTRIAN CROSSING.
- 10. BUILDING COLUMN, SEE CONCRETE REINFORCEMENT DETAIL 9/C2.50.
- 11. ADA PARKING STALL SIGN, SEE DETAIL X/C2.50.
- 12. ELECTRICAL TRANSFORMER, SEE UTILITY PLAN SHEET FOR MORE INFORMATION.
- 13. SWALE, SEE GRADING AND DRAINAGE PLAN SHEET FOR MORE INFORMATION.
- 14. CONCRETE WHEELSTOP AT ADA PARKING.
- 15. COMMUNITY PATH, FIELD GRADE FOR ADA COMPLIANCE AND FIELD ADJUST FOR EXISTING TREES.
- 16. 15-FT SETBACK
- 17. PAVETTE LAKES RECREATIONAL SEWER & WATER EASEMENT
- 18. AVIGATION EASEMENT
- 19. CROSS ACCESS EASEMENT
- 20. SCENIC ROUTE BUFFER

Material Legend:

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- SNOW STORAGE AREA
- ▨ OFF-SITE ASPHALT PAVING - SEE DETAIL 4/C2.50.
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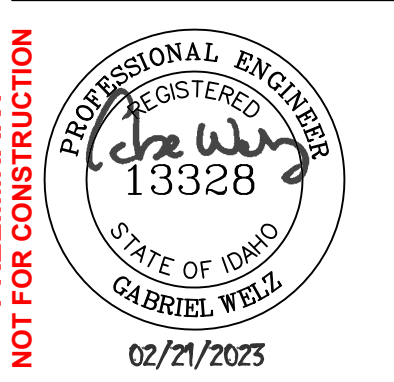
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Total driveway size:	25,616 sf

**MDSD MULTI-FAMILY STAFF HOUSING
 McCall-Donnelly Joint School District #421**

TBD McCall, ID 83638

Revisions

1.	
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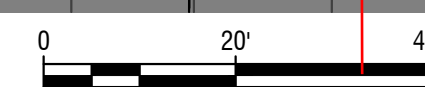


Project No.: 122079
 Date of Issuance: 2/21/2023
 Project Milestone: Design Review

Site Plan Area A

C2.01

Site Plan-Area A
 Horizontal Scale: 1" = 20'



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Keynotes: # CALLOUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW.

- 1. CURB & GUTTER, SEE DETAIL 5&6/C2.50.
- 2. CURB TRANSITION, SEE DETAIL 7/C2.50.
- 3. BIKE RACK, SEE DETAIL 8/C2.50.
- 4. WARNING DOME, SEE SPECIFICATIONS.
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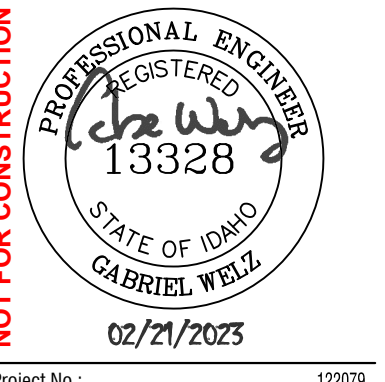
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Total driveway size	25,616 sf

PRELIMINARY
NOT FOR CONSTRUCTION

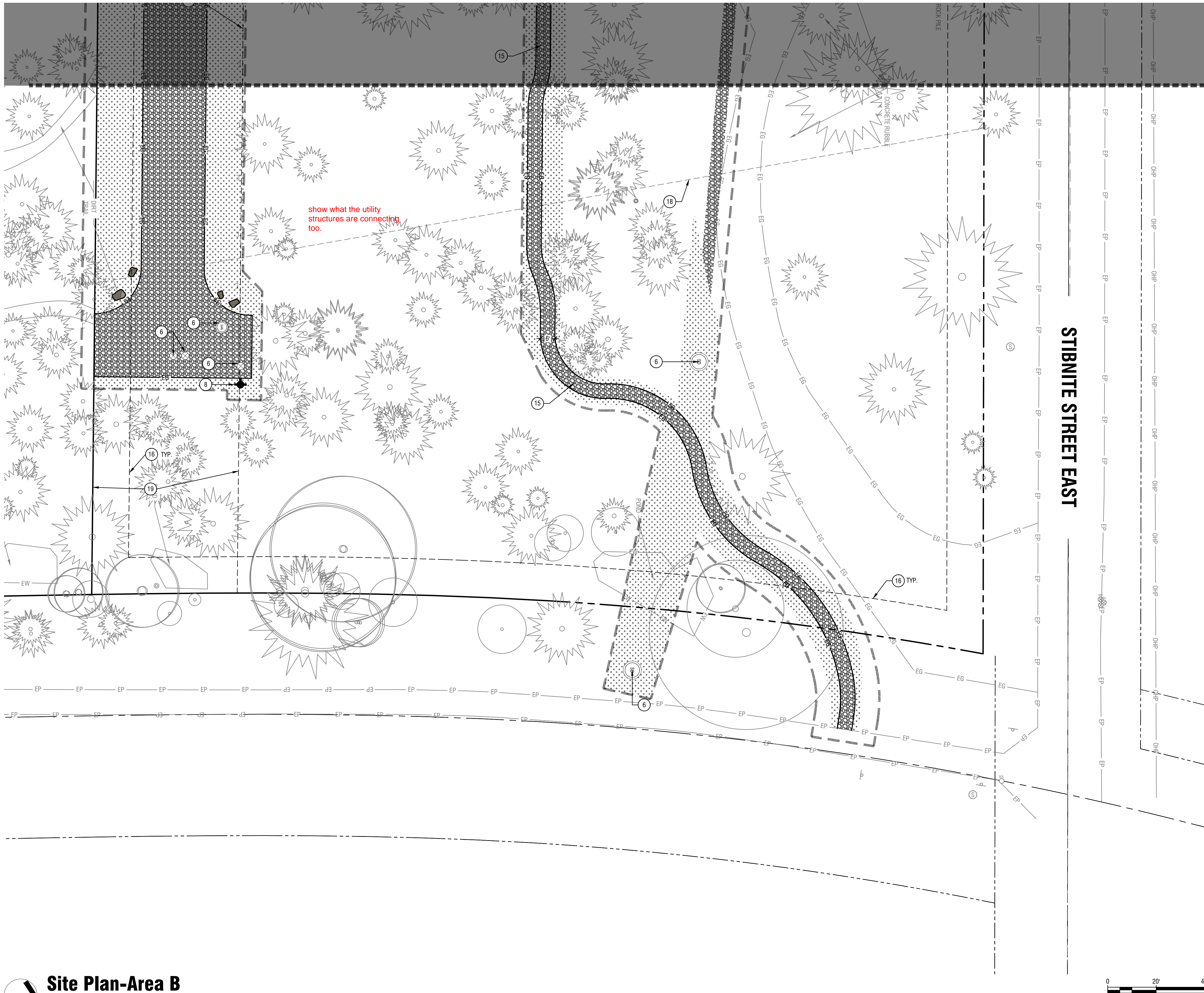
Revisions
1.



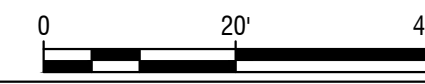
Project No.: 122079
Date of Issuance: 2/21/2023
Project Milestone: Design Review

Site Plan Area B

C2.02



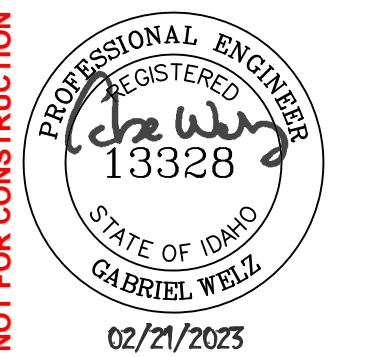
STIBNITE STREET EAST



Site Plan-Area B
Horizontal Scale: 1" = 20'

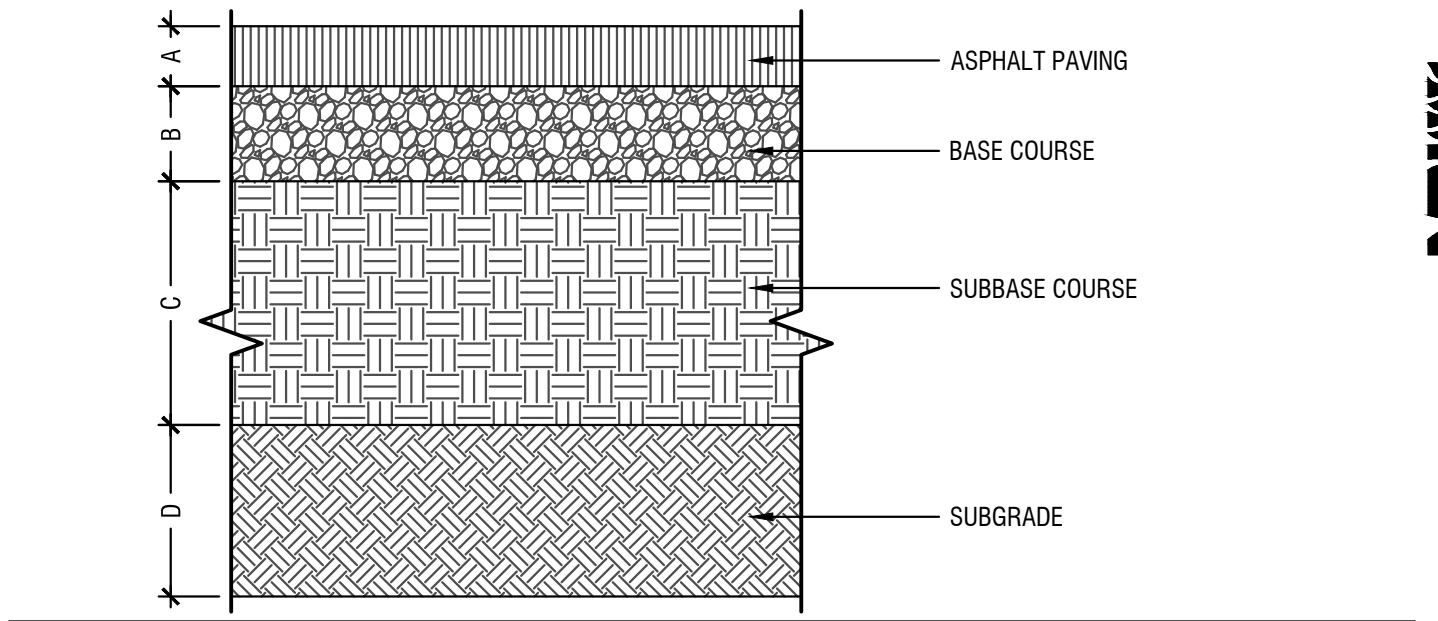
Plan No. C2.02 (02/21/2023) Title: Staff Housing (02/21/2023) 02/21/2023

Revisions	
1.	



Project No.: 122079
Date of Issuance: 2.21.2023
Project Milestone: Design Review

**Site Plan
Details**

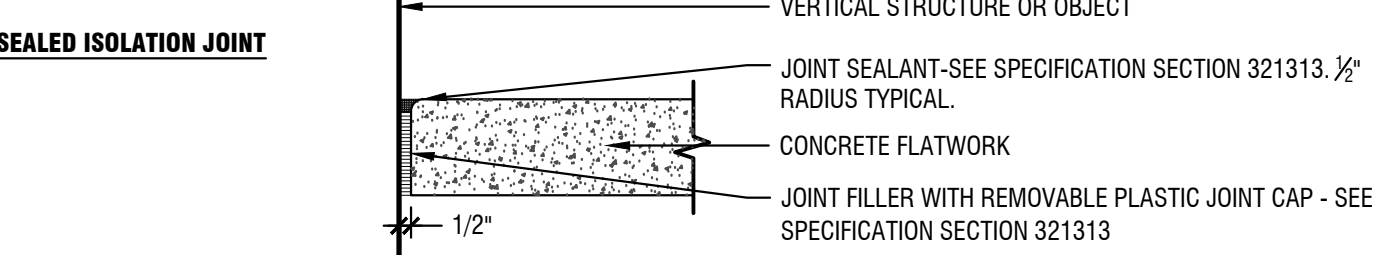
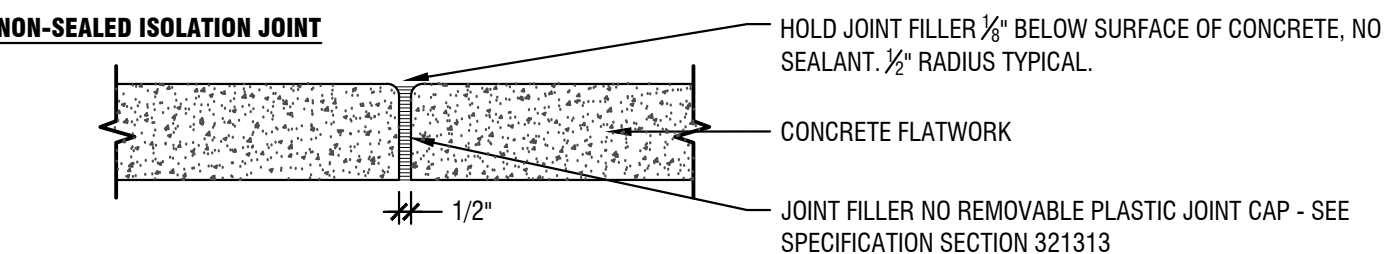
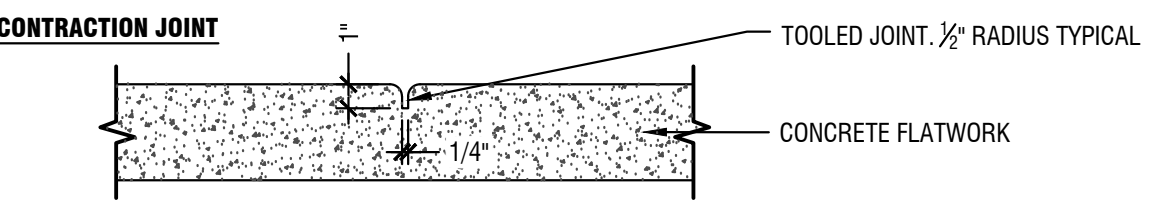


PAVEMENT SECTION TABLE				
PAVEMENT SECTION	A (ASPHALT PAVING)	B (BASE COURSE)	C (SUBBASE COURSE)	D (SUBGRADE)
SITE (LIGHT DUTY)	2.5 INCHES	4 INCHES	8 INCHES	SEE GEOTECH REPORT
SITE (HEAVY DUTY)	3 INCHES	4 INCHES	10 INCHES	SEE GEOTECH REPORT
ACHD ROW	3 INCHES	4 INCHES	20 INCHES	N/A

- NOTE:**
- NON-CONTAINED EDGES SHALL BE CLEAN AND STRAIGHT. HAND TAMP TO PROVIDE A 45° EDGE.
 - REFER TO GEOTECHNICAL REPORT **8200331g_geotech** FOR MORE INFORMATION.
 - FOR ALL PAVEMENT OUTSIDE THE RIGHT-OF-WAY, REFER TO SPECIFICATION SECTION 32 12 16 FOR ASPHALT PAVEMENT, SECTION 31 20 00 FOR BASE COURSE, AND SECTION 31 20 00 FOR SUBBASE AND PREPARED SUBGRADE.
 - CONSTRUCT ALL PAVEMENT (INCLUDING DRIVEWAY APPROACHES AND UTILITY CUT STREET REPAIRS) WITHIN ACHD RIGHT-OF-WAY TO MATCH EXISTING STREET PAVEMENT SECTION OR TO USE THE FOLLOWING: SP-3, 0.50-INCH (1/2") MIX, PG 64-28 THREE INCHES THICK, WITH 4" OF 3/4" BASE, AND 20" OF 6" MINUS PIT RUN. USE WHATEVER PAVEMENT SECTION IS GREATER.

4 Asphalt Pavement Section

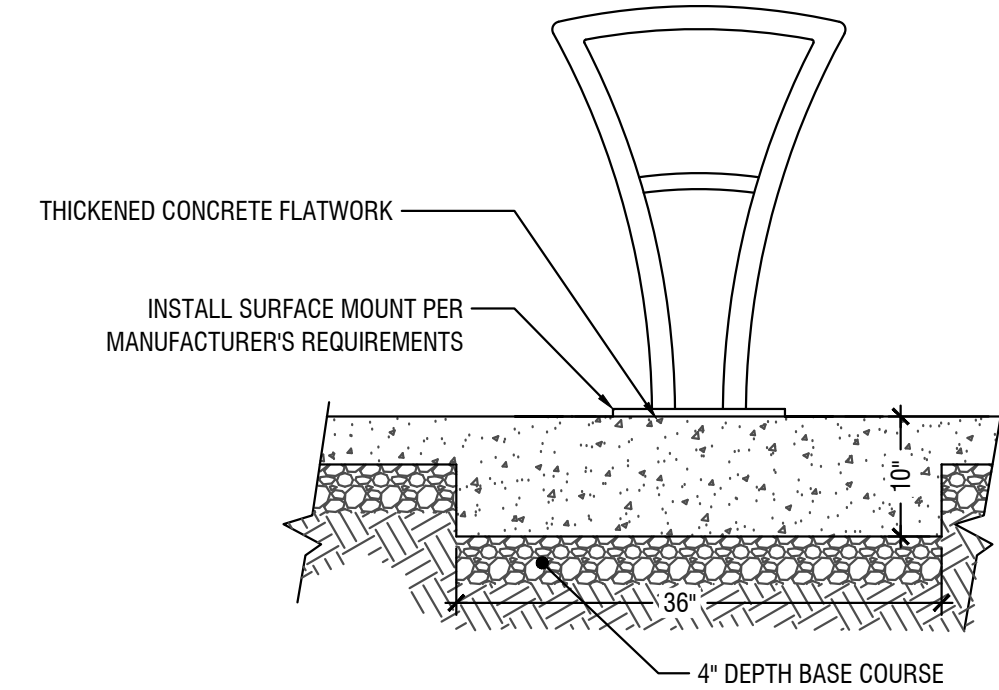
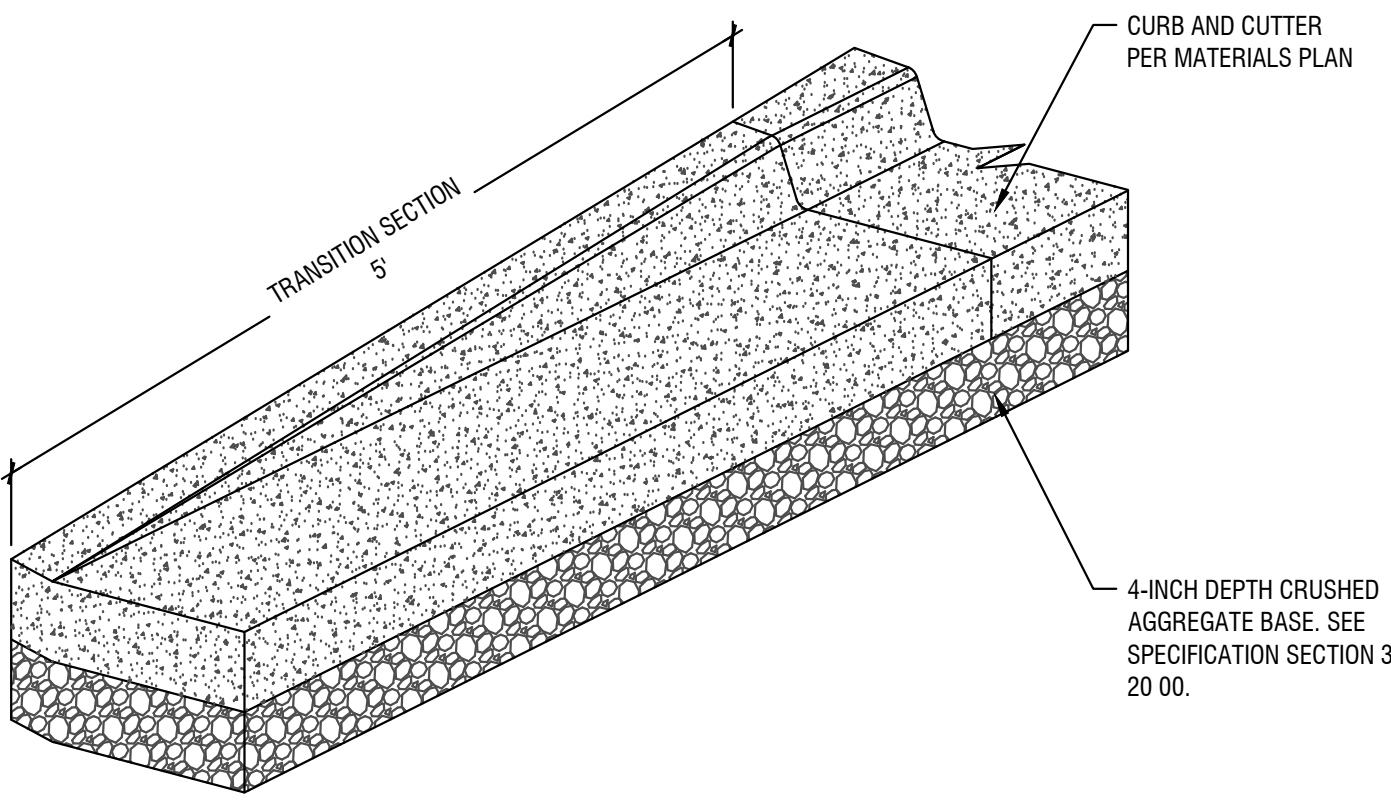
Scale: NTS



- NOTES:**
- SEE SPECIFICATION SECTION 321313.
 - SEE LAYOUT PLANS FOR JOINT PATTERN AND LOCATION. CONTRACTOR SHALL SUBMIT A CONTROL JOINT PLAN FOR APPROVAL PER SPECIFICATION SECTION 321313.
 - USE ISOLATION JOINTS AT ALL LOCATIONS WHERE DIFFERENTIAL MOVEMENT BETWEEN THE PAVEMENT AND A STRUCTURE MAY OCCUR.
 - PROVIDE ISOLATION JOINT AT ALL ELECTRICAL FIXTURE BASES AND UTILITY STRUCTURES UNLESS NOTED OTHERWISE.

3 Concrete Control Joints

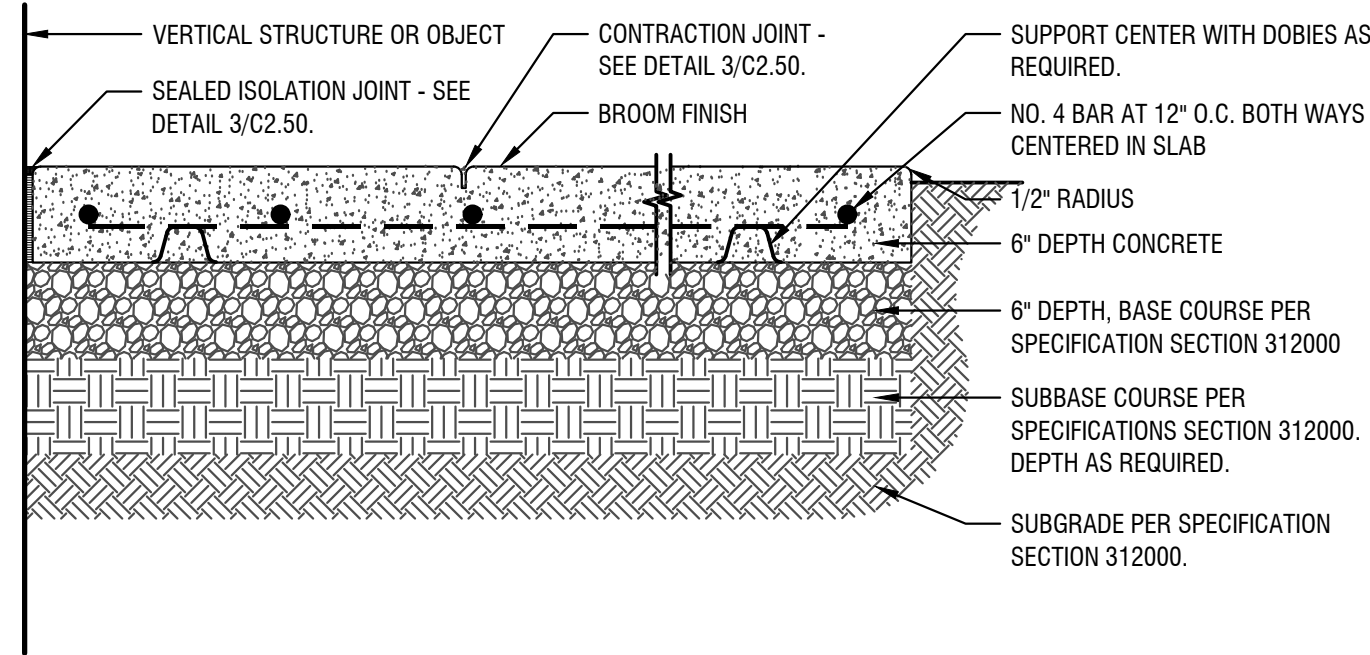
Scale: 1-1/2" = 1'



- NOTE:**
- HOOP RACK, COLOR: TBD. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

8 Bicycle Rack

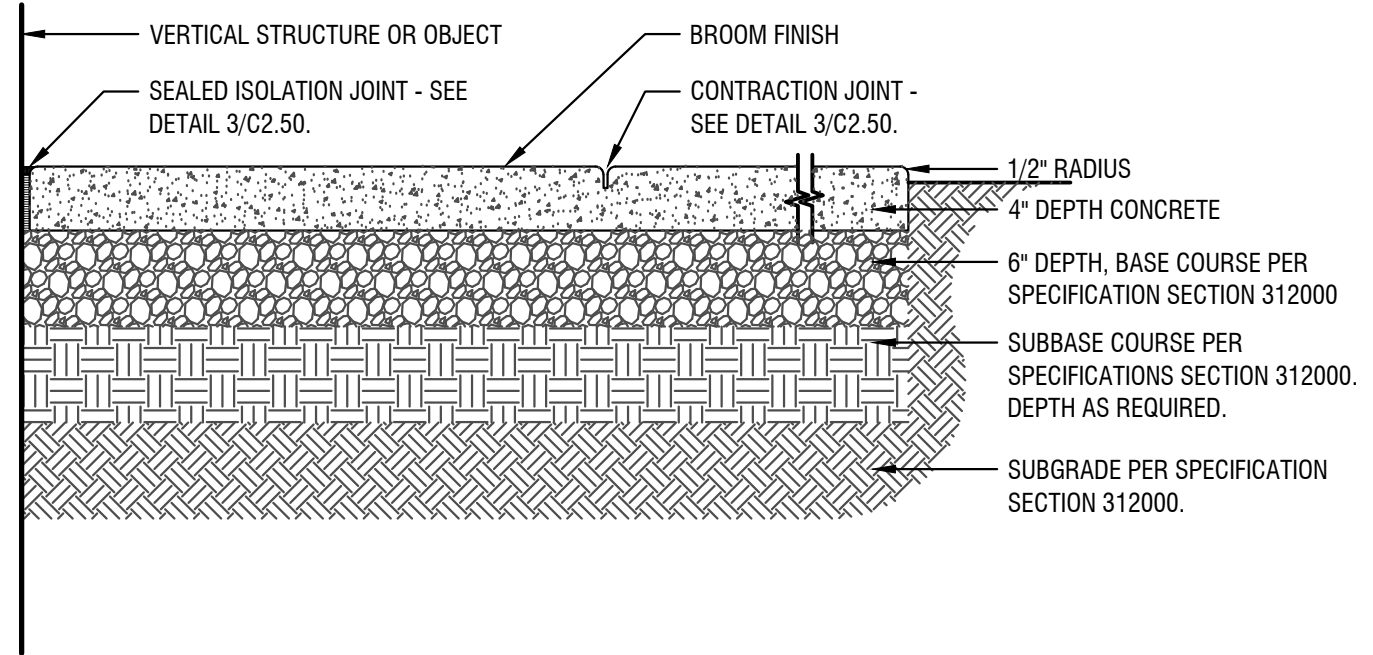
Scale: NTS



- NOTES:**
- JOINTS SHALL BE SPACED EVENLY THROUGHOUT LENGTH OF WALK, AS SHOWN ON DRAWINGS.
 - SEE SPECIFICATION SECTION 321313.

2 Heavy Duty Concrete Flatwork

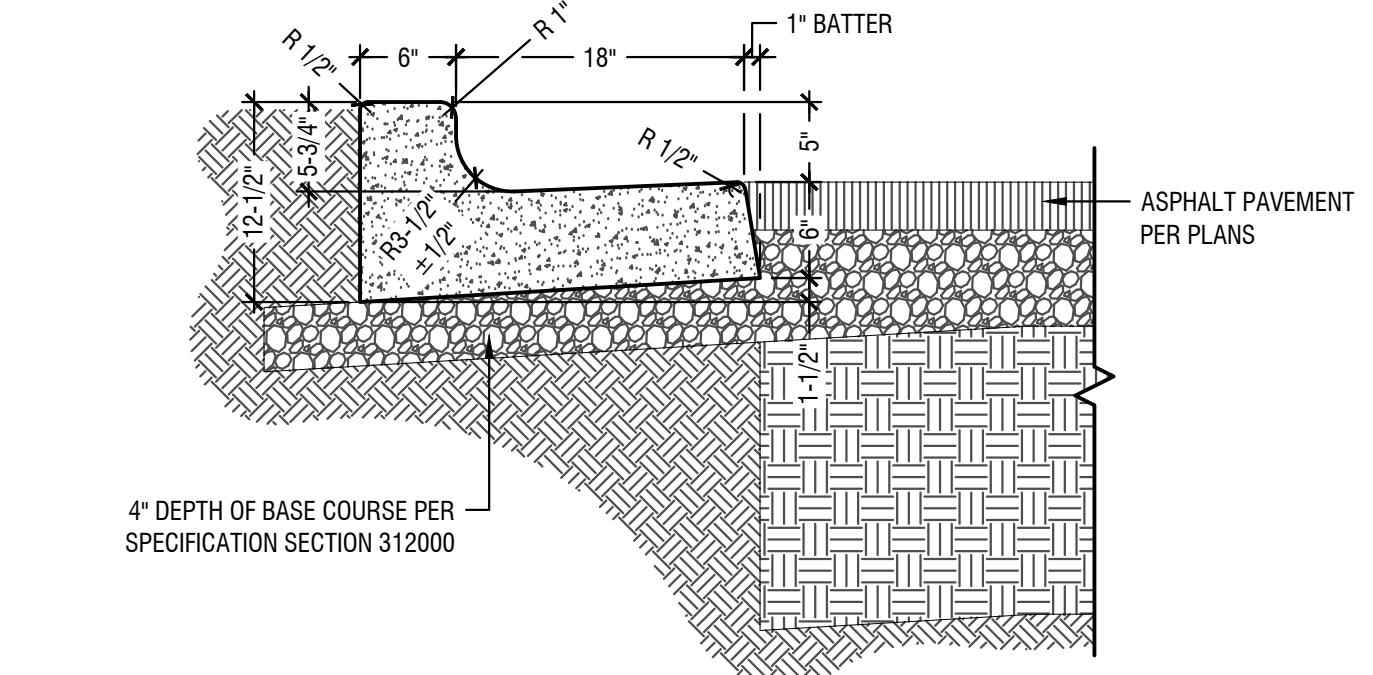
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- NOTES:**
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 - SEE SPECIFICATION SECTION 321313.

1 Standard Concrete Flatwork

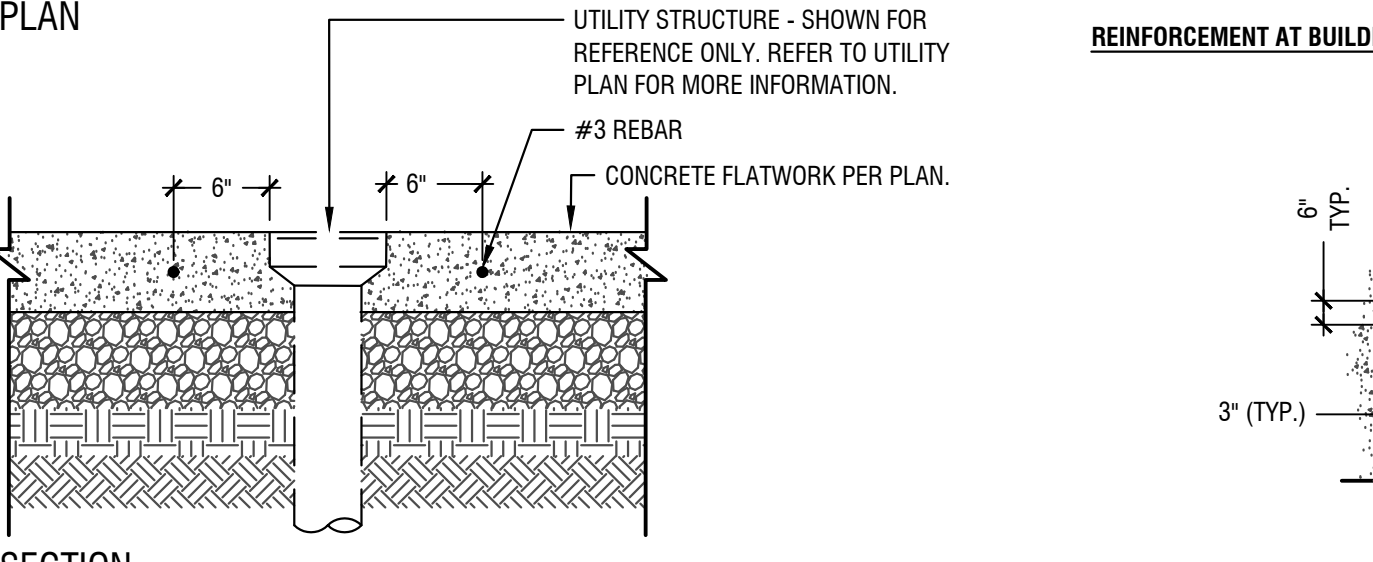
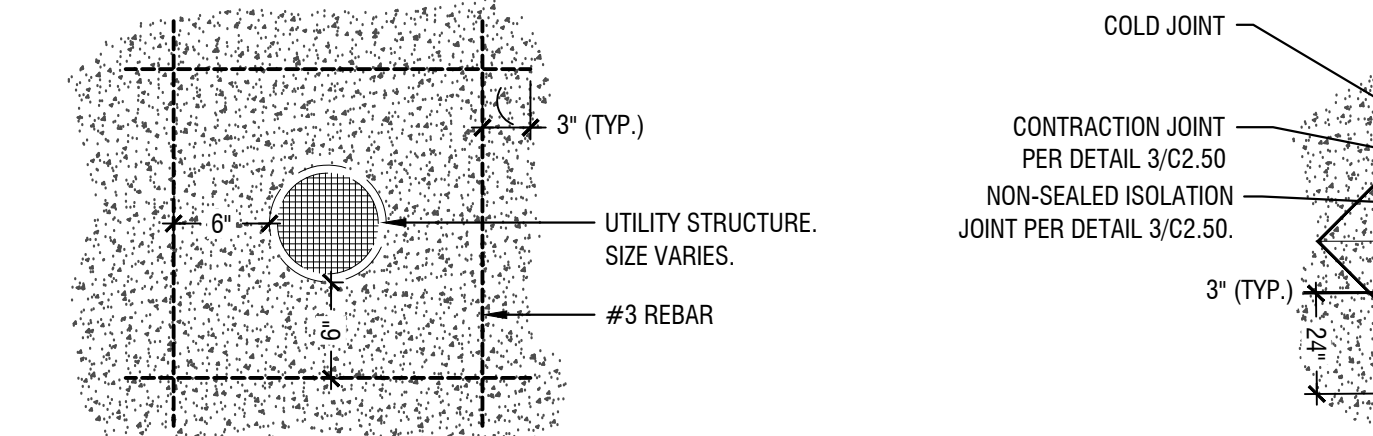
Scale: 1" = 1'



- NOTES:**
- CONTRACTION JOINTS AT 10' INTERVALS MAXIMUM (OR CONSISTENT WITH 2X SIDEWALK WIDTH FOR CONTRACTION JOINTS).

5 Catch Pan Curb and Gutter

Scale: 1" = 1'

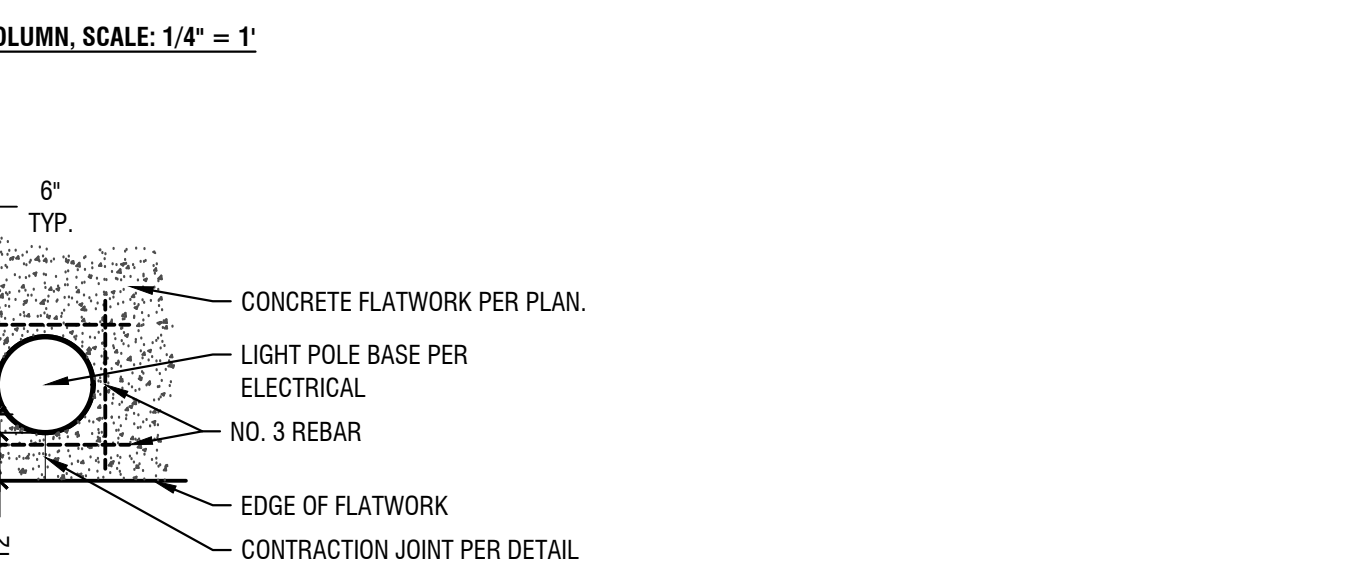
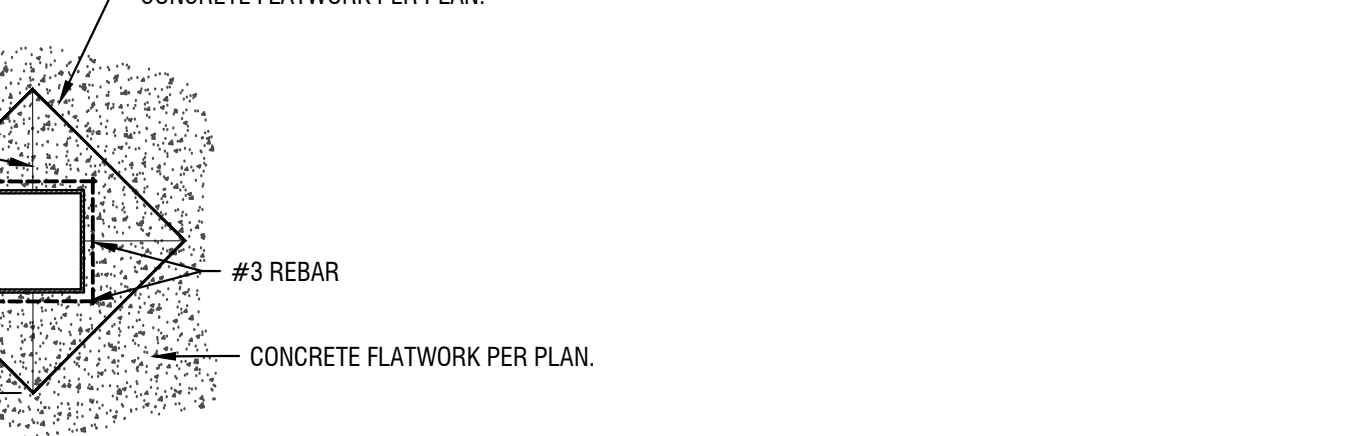


9 Flatwork Reinforcement

Scale: NTS

6 Reverse Pan Curb and Gutter

Scale: 1" = 1'



REINFORCEMENT AT LIGHT POLE, SCALE: 1/4" = 1'

Scale: 1/4" = 1'

REINFORCEMENT AT STRUCTURE, SCALE: 1" = 1'

Scale: 1" = 1'

Sheet Notes:

- EXISTING AND PROPOSED CONTOURS ARE AT 1-FT INTERVALS.
- SPOT ELEVATIONS INDICATE TOP OF FINISH GRADE SURFACE AT CONCRETE SURFACE OR OTHER SURFACE AS INDICATED BY THE FOLLOWING ABBREVIATIONS:
 ASP - TOP OF ASPHALT PAVEMENT
 EP - EDGE OF PAVEMENT
 FF - FINISHED FLOOR
 FG - FINISHED GRADE ELEVATION
 LIP - LIP OF GUTTER
 MX - MATCH EXISTING ELEVATION
 RIM - RIM OF STRUCTURE AT LIP OF GUTTER OR FLUSH WITH ASPHALT PAVEMENT
 TBC - TOP BACK OF CURB
 TW - TOP OF WALL
- LONGITUDINAL CROSS SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 5%. HORIZONTAL CROSS SLOPE SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 IN ANY DIRECTION. PAVEMENT SLOPES WITHIN DESIGNATED HANDICAP PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.

**MDSD MULTI-FAMILY STAFF HOUSING
 McCall-Donnelly Joint School District #421**

TBD
 McCall, ID 83638

Revisions

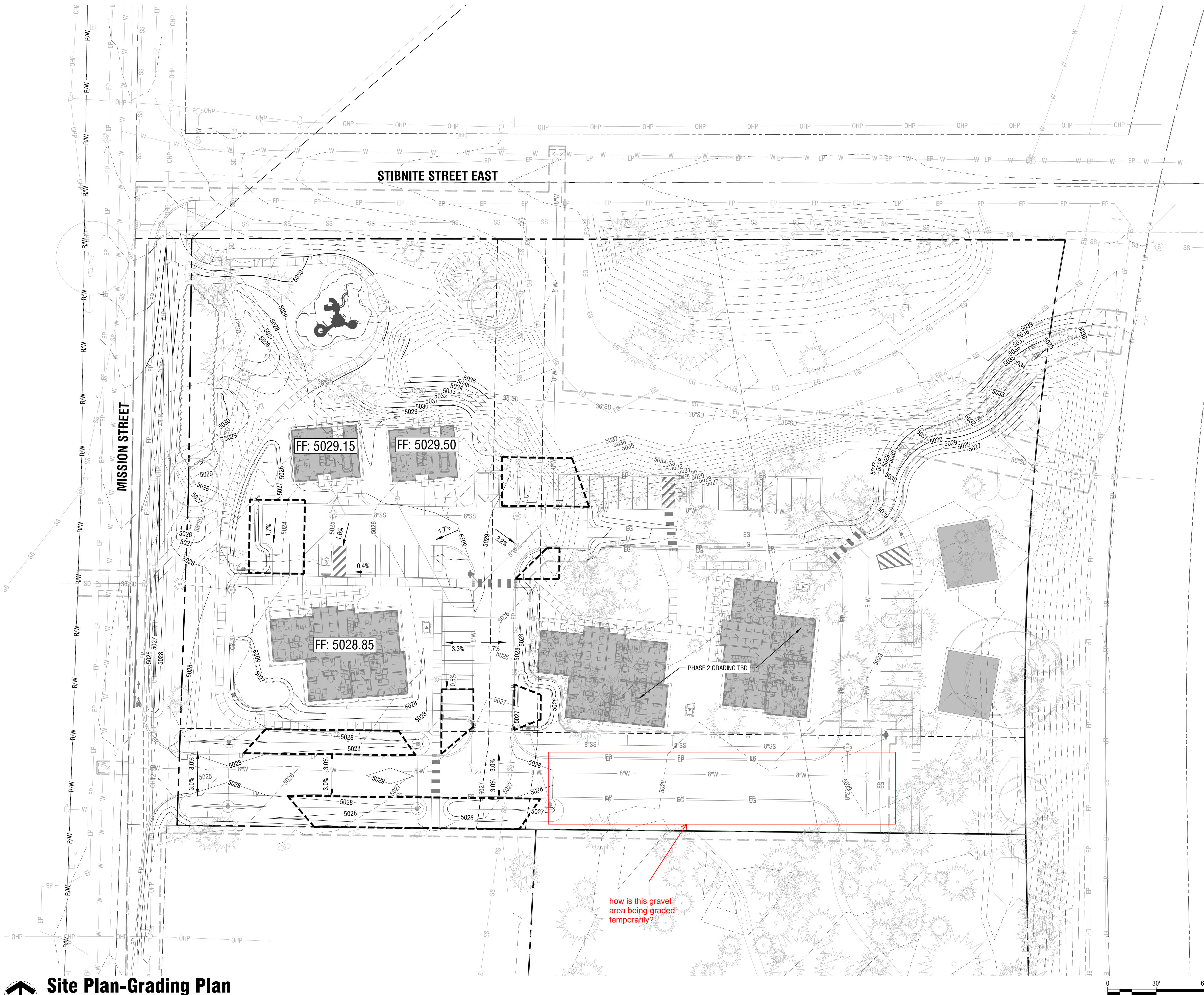
1.	



Project No.: 122079
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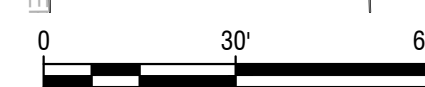
**Site Plan
 Grading Plan**

C3.00



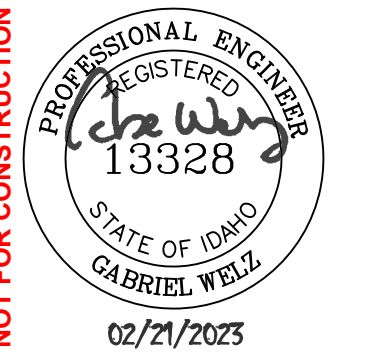
Site Plan-Grading Plan

Horizontal Scale: 1" = 30'



Plan No. 2023-02-01, 02/21/2023, 12:20:09 PM, 122079, 2.21.2023, 12:20:09 PM, 122079, 2.21.2023, 12:20:09 PM

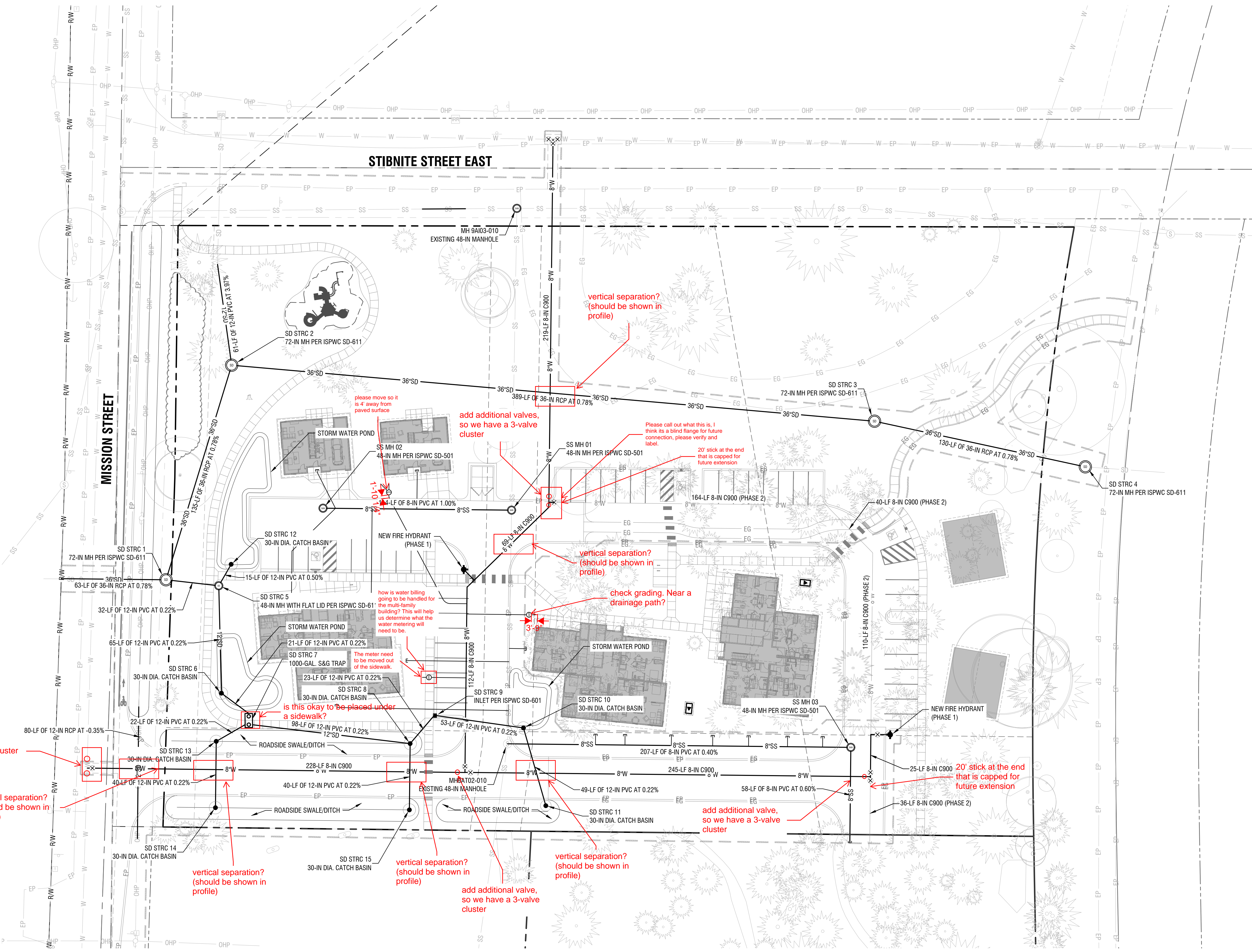
Revisions
1.



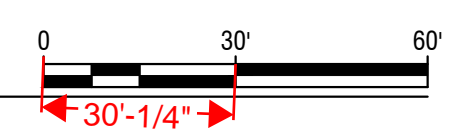
Project No.: 122079
Date of Issuance: 2/21/2023
Project Milestone: Design Review

Site Plan
Utility Plan

C4.00



Site Plan-Utility Plan
Horizontal Scale: 1" = 30'



File Path: C:\Users\jwheeler\OneDrive\Documents\122079\122079.dwg
 Date: 2/21/2023 10:00:00 AM
 User: jwheeler

Material Legend:

- APPROX. LIMITS OF CONSTRUCTION
- SNOW STORAGE AREA, SEE SITE PLAN FOR MORE INFORMATION.
- MONTANE MEADOW MIX BY WESTERN NATIVE SEED, OR APPROVED EQUAL.
- MONTANE SHORT GRASSES BY WESTERN NATIVE SEED, OR APPROVED EQUAL.
- MONTANE RIPARIAN SEED MIX BY WESTERN NATIVE SEED, OR APPROVED EQUAL.
- 3/4" ROCK CHIP.
- LARGE LANDSCAPE BOULDERS, APPROX. 3' -6'. SEE DETAIL 5/L1.50.
- EXISTING TREES
- EXISTING TREE MASSING, SEE DETAIL 1/L1.50 FOR MORE INFORMATION.

Tree Mitigation:

ALL EXISTING TREES IN HEALTHY CONDITION.

PER CITY OF MCCALL CODE 6-17-8: THE REPLACEMENT SHALL BE AN APPROVED VARIETY FROM THE DESIRABLE TREE LIST FOR MCCALL, AND SHALL BE A MINIMUM OF FIFTEEN (15) GALLON SPECIMEN UNLESS OTHERWISE APPROVED BY THE CITY ARBORIST.

TOTAL NUMBER OF TREES	RETAINED	REMOVED	REPLACED
	148 (MIN.)	141	26

Mission St. Scenic Route Requirements

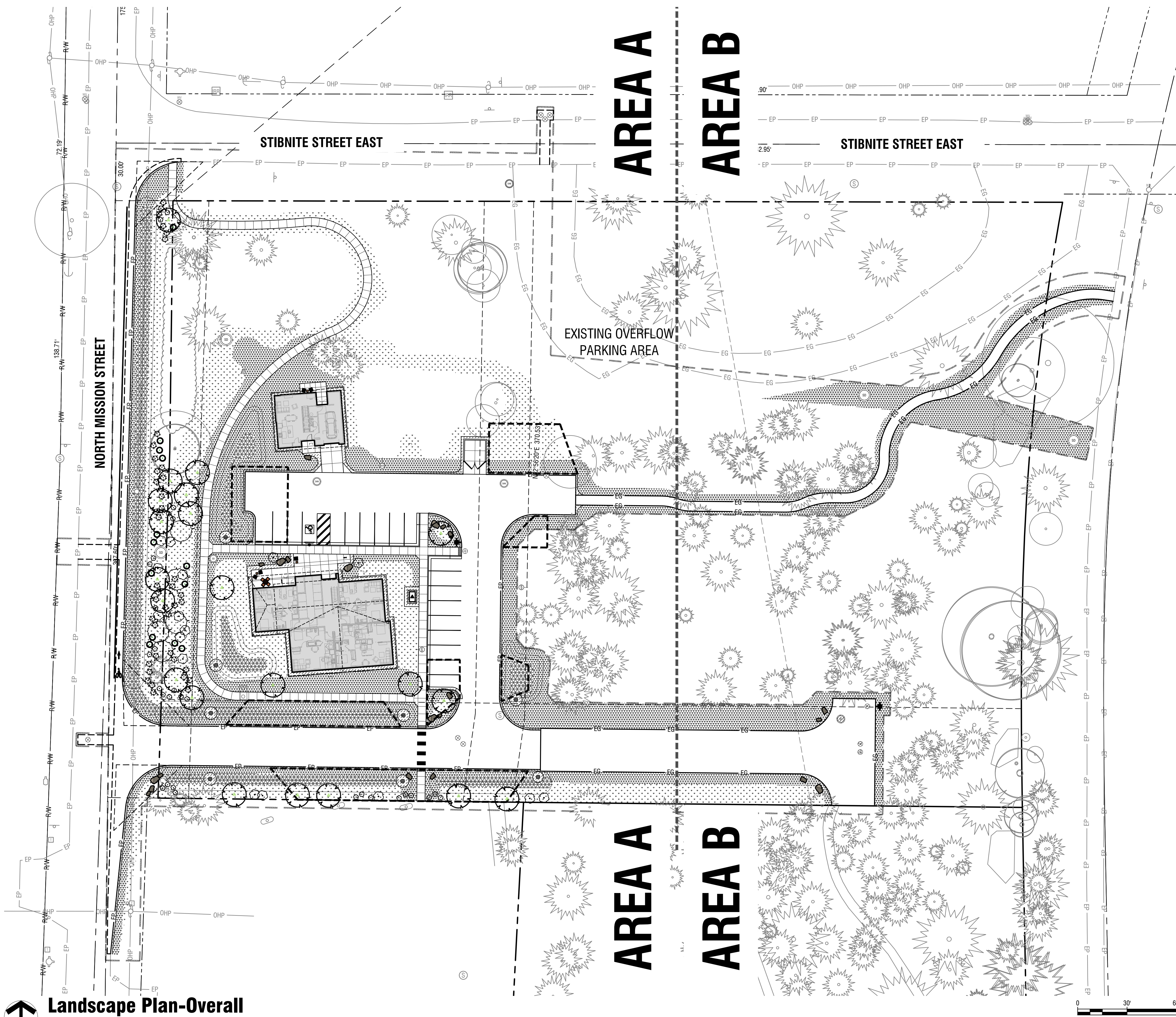
- NOTES: APPROXIMATE FRONTAGE FOR RESTORATION 281 LF (222.89' + 58.09' - SEE SHEET L1.01 FOR MORE INFORMATION)
- TREES REQUIRED:** 28 (263 LF/10 LF)
TREES PROPOSED: 16 + APPROX. 12 EXISTING TREES WITHIN SETBACK TO BE RETAINED.
- SHRUBS REQUIRED:** 84 (3 SHRUBS* (281 FL / 10 LF))
SHRUBS PROPOSED: 84

Tree Protection Notes:

- A. PROTECT THE CRITICAL ROOT ZONE OF THE TREES TO BE RETAINED ON SITE: (NOTE: CRITICAL ROOT ZONE IS THE AREA DIRECTLY BELOW THE DRIP LINE OF THE TREE.)
 - A.A. CONSTRUCT PROTECTIVE FENCING OF CHAIN-LINK AROUND THE CRITICAL ROOT ZONE PRIOR TO DEMOLITION OR CONSTRUCTION. DO NOT ALLOW COMPACTION BY EQUIPMENT TRAFFIC DURING CONSTRUCTION OR DURING DEMOLITION.
 - A.C. DO NOT ALLOW CEMENT TRUCKS TO RINSE WITHIN THE PROTECTION AREA, ANYWHERE THAT TREE ROOTS EXIST OR IN PLANNED PLANTING BEDS.
 - A.D. DO NOT STOCKPILE MATERIALS, DEBRIS OR DIRT WITHIN THE TREE PROTECTION AREA.
 - A.E. MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE FROM MID-APRIL TO MID-OCTOBER AT THE RATE OF NOT LESS THAN THE EQUIVALENT OF 1-1/2" OF WATER OVER THE ENTIRE AREA PER WEEK.
 - A.F. DO NOT TRENCH, EXCAVATE, FILL OR OTHERWISE DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE.
 - A.G. ADJUST PROPOSED IMPROVEMENT LOCATIONS AS REQUIRED TO AVOID DAMAGING TREE ROOTS.
- B. PROTECT THE CROWN AND TRUNK OF TREES TO BE RETAINED ON SITE:
 - B.A. OPERATE EQUIPMENT IN SUCH A WAY AS TO AVOID CONTACT WITH TREE TRUNKS OR BRANCHES.
 - B.B. PRUNING OF PUBLIC PROPERTY TREES SHALL BE PERFORMED BY A LICENSED ARBORIST.
- C. ALL TREES DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED WITH A TREE OF 4" CALIPER OR BIGGER SIZE AND SIMILAR SPECIES

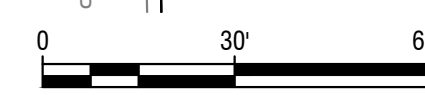
PLANT SCHEDULE

CLASS III TREES	CODE	BOTANICAL / COMMON NAME	SIZE	REMARKS
	PD	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	8' HT.	30'W X 60'H
	PT	POPULUS TREMULOIDES / QUAKING ASPEN	3" CAL.	25'W X 45'H
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	REMARKS
	MR	MAHONIA REPENS / CREEPING MAHONIA	3 GAL.	
	RG	RIBES AUREUM / GOLDEN CURRANT	3 GAL.	
	RT	RHUS TRILOBATA / OAKLEAF SUMAC	2 GAL.	
	RW	ROSA WOODSII / MOUNTAIN ROSE	5 GAL.	



Landscape Plan-Overall

Horizontal Scale: 1" = 30'



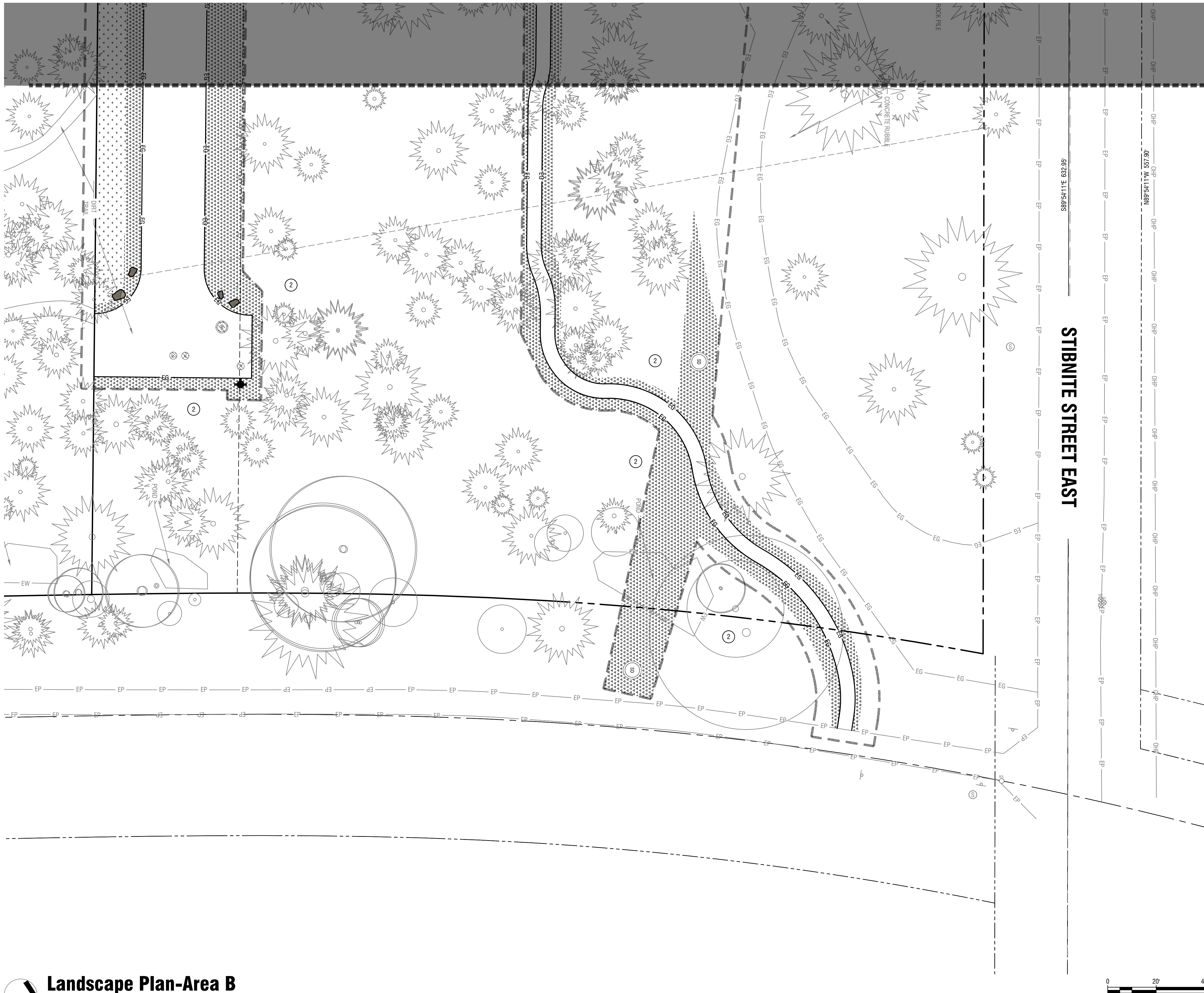
PLN 162466 - 02/21/23 10:52 AM - 102511139 - Rev 001 - 04/04/24
 100% PLANNING AND DESIGN
 100% CONSTRUCTION ADMINISTRATION
 100% LANDSCAPE ARCHITECTURE
 100% SITEWORK

Keynotes:

1. LANDSCAPE SWALE - REFER TO GRADING PLAN C4.00 FOR MORE INFORMATION.
2. RETAIN AND PROTECT EXISTING LANDSCAPE. AT MINIMUM APPROXIMATELY 50+ EXISTING TREES WILL BE MAINTAINED TO PROTECT WILDLIFE HABITAT AND MOVEMENT CORRIDORS PER McCALL CITY CODE & DESIGN GUIDELINE #3.
3. SCENIC ROUTE SETBACK PER Ord. 821, 2-23-2006, eff. 3-16-2006. SEE NOTES, SHEET L1.00.
4. SITE FURNITURE, FOR REFERENCE ONLY.
5. CORNER TRIANGLE.

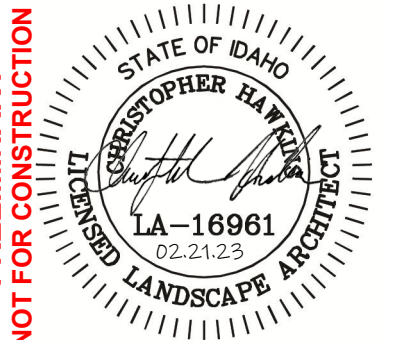
Material Legend:

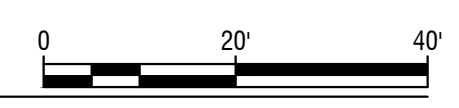
- APPROX. LIMITS OF CONSTRUCTION
- SNOW STORAGE AREA, SEE SITE PLAN FOR MORE INFORMATION.
- MONTANE MEADOW MIX BY WESTERN NATIVE SEED, OR APPROVED EQUAL.
- MONTANE SHORT GRASSES BY WESTERN NATIVE SEED, OR APPROVED EQUAL.
- MONTANE RIPARIAN SEED MIX BY WESTERN NATIVE SEED, OR APPROVED EQUAL.
- 3/4" ROCK CHIP.
- LARGE LANDSCAPE BOULDERS, APPROX. 3'-6". SEE DETAIL 5/L1.50.
- EXISTING TREES
- EXISTING TREE MASSING, SEE DETAIL 1/L1.50 FOR MORE INFORMATION.


STIBNITE STREET EAST
**MDSD MULTI-FAMILY STAFF HOUSING
McCall-Donnelly Joint School District #421**

 TBD
McCall, ID 83638

Revisions
1.


 Project No.: 122079
 Date of Issuance: 2.21.2023
 Project Milestone: Design Review

**Landscape Plan
Area B**
L1.02
Landscape Plan-Area B
 Horizontal Scale: 1" = 20'




MISSION ST FRONTAGE - OVERVIEW (LOOKING SOUTH)
EXISTING FRONTAGE POPULATED BY A COMMUNITY OF NATIVE DECIDUOUS AND CONIFEROUS TREES WITH SPARSE UNDER-PLANTING OF SHRUBS THAT GENERALLY MEET THE INTENT OF THE MISSION STREET SCENIC ROUTE REQUIREMENTS. PROJECT SHALL RETAIN AND PROTECT AS MUCH OF THE EXISTING VEGETATION AS POSSIBLE. TREES AND UNDER-PLANTING REMOVED FOR UTILITY OR SITE ACCESS IMPROVEMENTS SHALL BE MITIGATED. REFER TO LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.



MISSION ST FRONTAGE - NORTH QUARTER (LOOKING EAST)
EXISTING FRONTAGE POPULATED BY A COMMUNITY OF NATIVE DECIDUOUS AND CONIFEROUS TREES AND UNDER-PLANTINGS TO BE RETAINED TO MEET REQUIREMENTS. VEGETATED SWALE OFF ROAD SHOULDER TO BE RESEED WITH NATIVE FORB AND GRASS BLEND, REFER TO LANDSCAPE PLANS FOR MORE INFORMATION.



MISSION ST FRONTAGE - NORTH CENTRAL QUARTER (LOOKING EAST)
EXISTING FRONTAGE POPULATED BY A COMMUNITY OF NATIVE DECIDUOUS AND CONIFEROUS TREES AND UNDER-PLANTINGS TO BE RETAINED TO MEET REQUIREMENTS. VEGETATED SWALE OFF ROAD SHOULDER TO BE RESEED WITH NATIVE FORB AND GRASS BLEND, REFER TO LANDSCAPE PLANS FOR MORE INFORMATION.



MISSION ST FRONTAGE - SOUTH CENTRAL QUARTER (LOOKING EAST)
EXISTING FRONTAGE SPARSELY POPULATED BY A COMMUNITY OF NATIVE DECIDUOUS AND CONIFEROUS TREES AND UNDER-PLANTINGS, SOME OF WHICH WILL BE REMOVED FOR UTILITY CONNECTION TO MISSION STREET. TREES AND SHRUBS TO BE RESTORED AS SHOWN IN LANDSCAPE PLANS TO MEET REQUIREMENTS. VEGETATED SWALE OFF ROAD SHOULDER TO BE RESEED WITH NATIVE FORB AND GRASS BLEND, REFER TO LANDSCAPE PLANS FOR MORE INFORMATION.

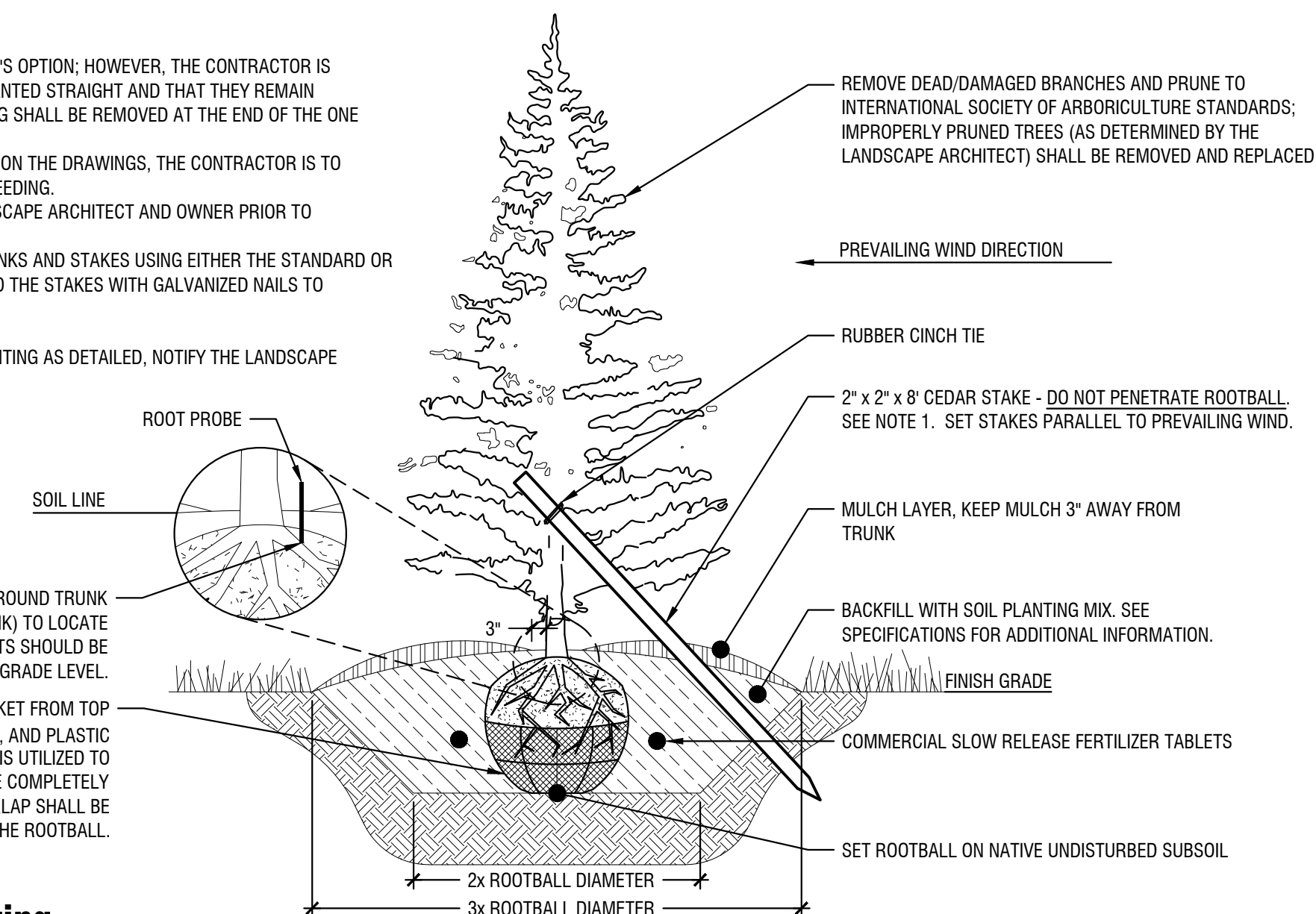


MISSION ST FRONTAGE - SOUTH QUARTER (LOOKING EAST)
EXISTING FRONTAGE POPULATED BY A COMMUNITY OF NATIVE CONIFEROUS TREES AND UNDER-PLANTINGS TO BE REMOVED FOR SITE ACCESS. TREES TO BE RESTORED IN AREA TO THE NORTH TO MEET REQUIREMENTS. VEGETATED SWALE OFF ROAD SHOULDER TO BE RESEED WITH NATIVE FORB AND GRASS BLEND, REFER TO LANDSCAPE PLANS FOR MORE INFORMATION.

1 Mission Street Scenic Route - Existing Conditions Summary
Scale: NTS

NOTES:

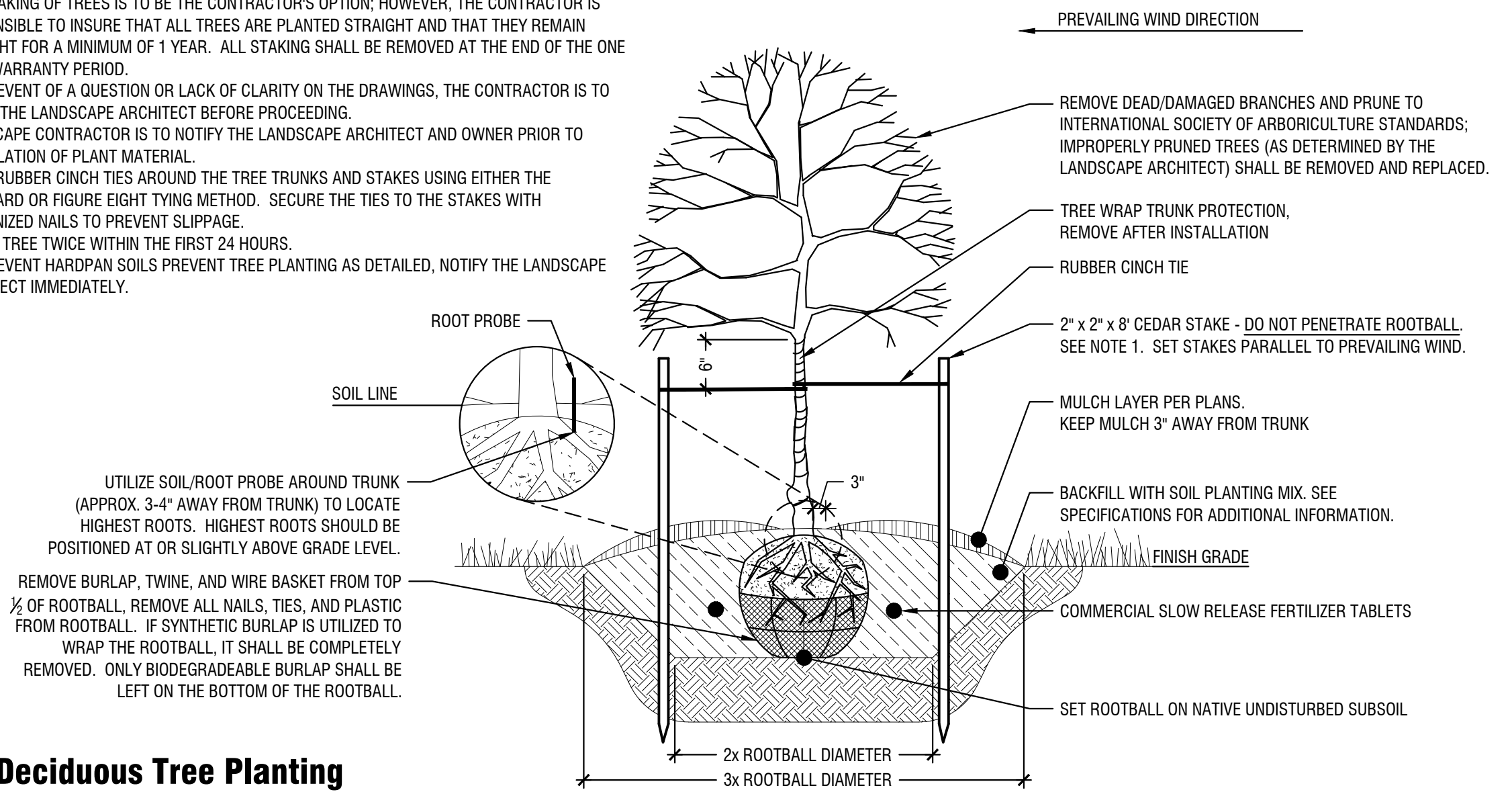
1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
5. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.



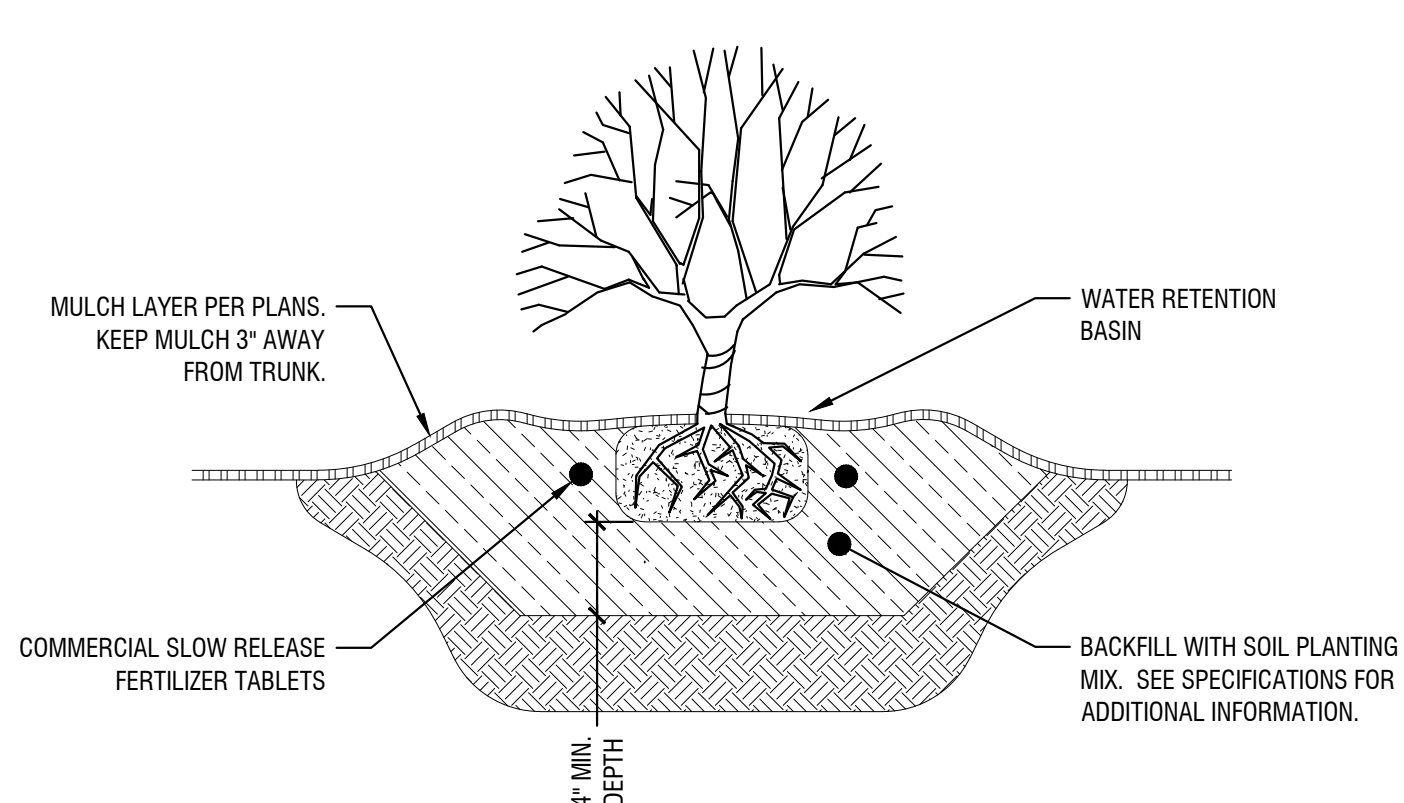
2 Coniferous Tree Planting
Scale: NTS

NOTES:

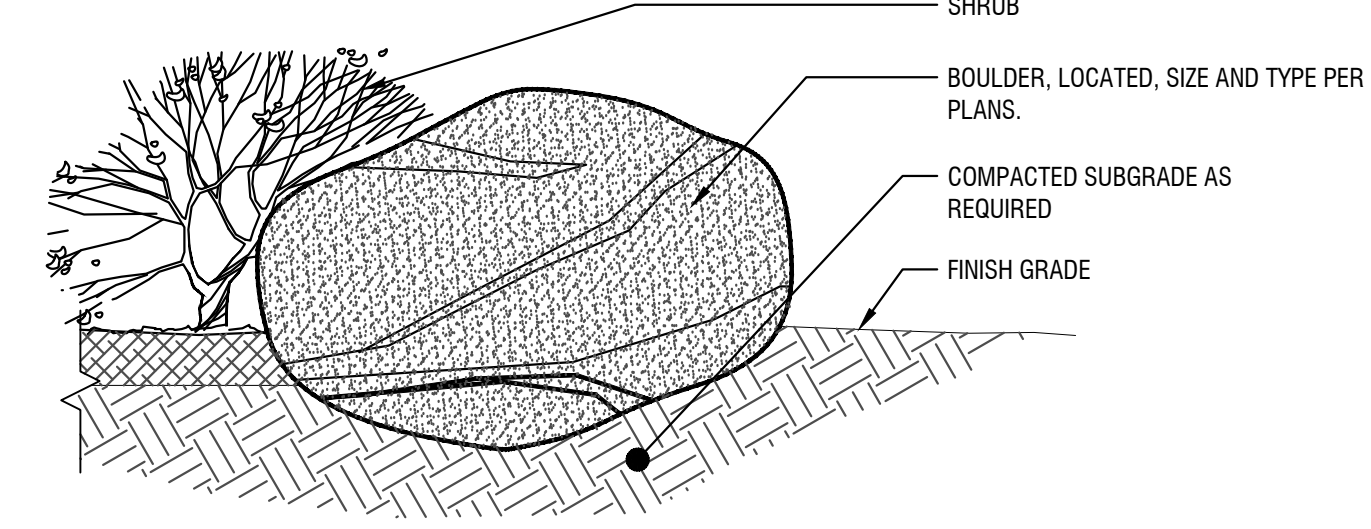
1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
5. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.



3 Deciduous Tree Planting
Scale: NTS



4 Shrub Planting
Scale: NTS



- NOTES:**
1. NOTIFY LANDSCAPE ARCHITECT WHEN PLACING BOULDERS FOR APPROVAL.
 2. PLACE BOULDERS PRIOR TO INSTALLATION OF IRRIGATION SYSTEM.
 3. CLEAN ALL BOULDERS OF DIRT AND LOOSE DEBRIS.
 4. WHEN PLACING BOULDERS, BURY 1/4 TO 1/3 OF BOULDER BELOW FINISH GRADE.
 5. DO NOT SCAR OR DAMAGE BOULDERS.

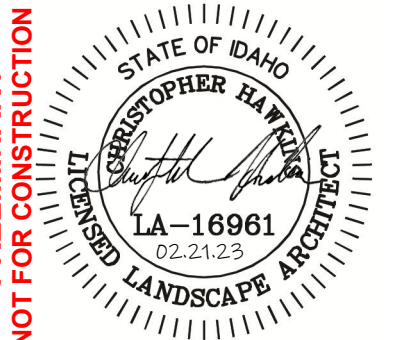
5 Boulder Installation
Scale: NTS

**MDS Multi-Family Teacher Housing
McCall-Donnelly Joint School District #421**

McCall, ID 83638

Revisions

1.	



Project No.: 122079
Date of Issuance: 2.21.2023
Project Milestone: Design Review

**Landscape Plan
DETAILS**

L1.50

File Path: C:\Users\jgibson\OneDrive\Documents\122079\122079-150 Landscape Details.dwg
Date Plotted: 2/21/2023 10:58:00 AM
Plotter: HP DesignJet T1100e PCL6
Scale: 1/8" = 1'-0"



Valley County Transmittal
Division of Community and Environmental Health

Return to:

- Cascade
- Donnelly
- McCall
- McCall Impact
- Valley County

Rezone # _____

Conditional Use # DR 23-04

Preliminary / Final / Short Plat _____

Sec 16
Stiburne St.

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
 - high seasonal ground water
 - bedrock from original grade
 - waste flow characteristics
 - other _____
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approvals from appropriate entities are submitted, we can approve this proposal for:
 - central sewage
 - interim sewage
 - individual sewage
 - community sewage system
 - central water
 - individual water
 - community water well
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
 - central sewage
 - sewage dry lines
 - community sewage system
 - central water
 - community water
- 10. Run-off is not to create a mosquito breeding problem
- 11. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 12. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 13. We will require plans be submitted for a plan review for any:
 - food establishment
 - beverage establishment
 - swimming pools or spas
 - grocery store
 - child care center
- 14. _____

Reviewed By: [Signature]
Date: 3 / 13 / 23



PAYETTE LAKES RECREATIONAL WATER AND SEWER DISTRICT

201 Jacob Street • McCall, Idaho 83638 • office 208-634-4111 • fax 208-634-7613

March 14, 2023

Brian Parker
City of McCall
216 East Park Street
McCall, Idaho 83638

Dr-23-04 Stibnite Street

Brian:

Payette Lakes Recreational Water and Sewer District (District) has reviewed the proposed project at the above referenced address, and has the following comments.

1. "Owner" shall perform all construction following the current ISPWS and the latest PLRWSD Standard Revision to ISPWC and Supplemental Specifications, and in accordance with that certain Sewer Improvements Agreement to be entered into by and between the owner and the Payette Lakes Recreational Water and Sewer District.
2. "Owner" Shall replace 25-foot-long section of 12-inch diameter pipe between manhole 9A102-120 and manhole 9A103-010 on Stibnite street before the development construction commences.
3. "Owner" will be responsible for 100% of the project's total cost.
4. Purchase of a sewer connection permit will be required before a building permit is issued and construction begins.
5. Inflows of surface water and excessive infiltration are prohibited. Such prohibited sources of inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day, storm water connections, sub-water drains, floor drains located within garages, foundation drains, roof drains, swimming pools, street drains, basement drains, sump pumps and abandoned sewer lines.
6. The owner/contractor shall notify the District two (2) business days before connection to the sewer stub.

Please contact me should you have any questions.

Best Regards,

A handwritten signature in blue ink, appearing to read "Jeff Bateman".

Jeff Bateman
Manager, Payette Lakes Recreational Water and Sewer District
Email: jbateman@plrwsd.org

From: [Emily Hart](#)
To: [Brian Parker](#)
Cc: [Meredith Todd](#)
Subject: RE: City of McCall Request for Comment - April 4th Applications
Date: Wednesday, March 15, 2023 2:20:31 PM
Attachments: [image001.png](#)
[image002.png](#)

Brian,

See Airport comments below:

From: Brian Parker <barker@mccall.id.us>
Sent: Friday, March 10, 2023 3:28 PM
To: Andrew Marini <Andrew.Marini@itd.idaho.gov>; Chip Bowers <chip@bowerslandsurveys.com>; Chris Curtin <ccurtin@mccall.id.us>; Cynda Herrick <cherrick@co.valley.id.us>; Dale Caza <dcaza@plrwsd.org>; Dallas Palmer <palmerd@mccall.id.us>; Dave Bingaman <dbingaman@co.valley.id.us>; David Simmonds <dsimmonds50@gmail.com>; Delta James <djames@mccall.id.us>; Emily Hart <ehart@mccall.id.us>; Garrett de Jong (garrett@mccallfire.com) <garrett@mccallfire.com>; IDL Jurisdictional Inbox <IDL_jurisdictional@idl.idaho.gov>; ITD Development Services <D3Development.Services@itd.idaho.gov>; ITD District 3 Permits <ITDD3Permits@itd.idaho.gov>; Jasen King, IDL <jking@idl.idaho.gov>; Jeff Bateman <jbateman@plrwsd.org>; Jeff Mcfadden (jmcfadden@co.valley.id.us) <jmcfadden@co.valley.id.us>; jennifer.schildgen@itd.idaho.gov; John Powell <jpowell@mccall.id.us>; Jordan Messner <jordan.messner@idfg.idaho.gov>; Kathy Riffie (kriffie@co.valley.id.us) <kriffie@co.valley.id.us>; Krystal Giessen <giessenk@mccall.id.us>; Kurt Wolf <kwolf@mccall.id.us>; Lance Holloway, DEQ <lance.holloway@deq.idaho.gov>; Laura Shealy BPLWQAC <idchik5@gmail.com>; Laurie Frederick, Valley Co Cartographer <lfr frederick@co.valley.id.us>; Levi Brinkley <lbrinkley@mccall.id.us>; Linda Stokes <lstokes@mccall.id.us>; Lori Hunter (lhunter@co.valley.id.us) <lhunter@co.valley.id.us>; Lorraine Brush <lbrush@plrwsd.org>; Mark Wasdahl, ITD <mark.wasdahl@itd.idaho.gov>; Meredith Todd <mtodd@mccall.id.us>; Michelle Groenevelt <mgroenevelt@mccall.id.us>; Mike Reno <mreno@cdh.idaho.gov>; Morgan Stroud <mstroud@mccall.id.us>; Nathan Stewart <nstewart@mccall.id.us>; Rachel Santiago-Govier <rsantiago-govier@mccall.id.us>; Regan Berkley <regan.berkley@idfg.idaho.gov>; Sabrina Sims <ssims@mccall.id.us>; Scott Corkill, IDL <scorkill@idl.idaho.gov>; Sheri Staley - Idaho Power <sstaley@idahopower.com>; Steve Moser, Idaho Power <smoser@idahopower.com>; Valley County Road Dept <roaddept@co.valley.id.us>; Vincent Tromboli <Vincent.Tromboli@itd.idaho.gov>
Subject: City of McCall Request for Comment - April 4th Applications

All,

Please provide comment on the following items prior to the due date indicated on the cover memo.

[CUP-23-01 – 1755 Warren Wagon Rd – Clare Dreyer \(IMPACT AREA\)](#) NO AIRPORT REQUIREMENTS

[DR-23-03 – 651 Stockton Dr – Leo Stoddard \(IMPACT AREA\)](#) IN HORIZONTAL SURFACE. FAA FORM 7460-1 REQUIRED.

[DR-23-04 – TBD Stibnite St – The Land Group for MDSD](#) IN APPROACH AND TRANSITIONAL SURFACES. FAA FORM 7460-1 REQUIRED. NOTIFICATION TO RESIDENTS OF AIRPORT PROXIMITY AND ASSOCIATED RISK, NOISE, AND FUMES IN CCRS.

Thank you,

Brian Parker, AICP | City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4256 | Fax: 208.634.3038



City of McCall

Web: mccall.id.us

Blog: mccallcitysource.com

Social: [Facebook.com/cityofmccall](https://www.facebook.com/cityofmccall)



Keeping citizens informed.

[Please click to sign up for CodeRED!](#)

From: [Garrett de Jong](#)
To: [Brian Parker](#)
Subject: Re: DR-23-04 – TBD Stibnite St – The Land Group for MDS - McCall Fire Comments
Date: Wednesday, March 22, 2023 9:54:24 AM
Attachments: [image002.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Brian,

I have the following comments regarding DR-23-04 – TBD Stibnite St – The Land Group for MDS:

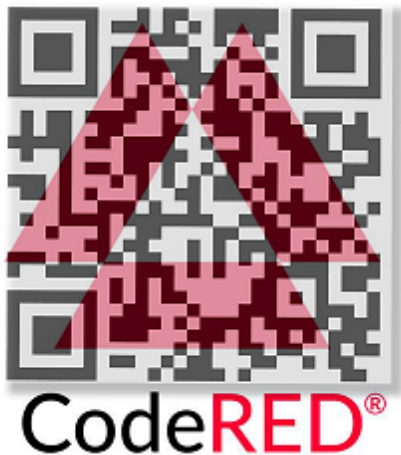
1. A fire hydrant will need to be added in the area of the first intersection within the development.
2. The multi-family units will likely need to have automatic fire sprinklers installed as determined by the building official during building plan review.
3. Knox Boxes will be required on any buildings with fire protection systems.

Thank you,

Garrett de Jong
Fire Chief - McCall Fire & EMS



[Scan QR code below or click here to sign up for CodeRED!](#)



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directly for confirmation, either by telephone or separate e-mail. Unencrypted e-mail is inherently insecure and should be treated with caution.

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McCall Area Planning & Zoning Commission

Staff Report

DR-23-03

Stoddard Residence

651 Stockton Drive

April 4, 2023

Applicant: Leo Stoddard
Representative: None
Applications: Design Review
Zoning District: R1 - Residential
Jurisdictional Area: Area of Impact

Description

An application for Design Review to construct a new single-family residence/barndominium totaling 7,738 square feet with an attached garage and covered wrap-around porch.

Project Summary

Project Information

Zoning District: R1 - Residential
Comprehensive Plan Designation: Residential
Project Acreage: 2.4 acres
Proposed Use: Single Family Residential

Dimensional Standards

	Proposed	Required
Front Setback	55-feet, 3-inches	Greater than 25-feet
Rear Setback	76-feet, 6-inches	Greater than 20-feet
Side Yard Setback 1	32-feet, 8-inches	Greater than 15-feet, 0-inches
Side Yard Setback 2	150-feet, 6-inches	Greater than 15-feet, 0-inches
Eave Height 1	11-feet, 3-inches	Less than 35-feet, 0-inches
Eave Height 2	11-feet, 3-inches	Less than 35-feet, 0-inches
Both Side Setbacks must add up to:	183-feet, 2-inches	Greater than 103-feet, 2-inches
Lot Coverage (square-feet)	10,262 square-feet	Less than 14,859 square-feet
Lot Coverage (percent)	9.7%	Less than 14.1%
Snow Storage	5,187 square-feet	Greater than 1,732 square-feet
Building Height	30-feet, 9-inches	Less than 35-feet
Structure Size	7,738 square-feet	Less than 10,000 square-feet

Code Sections of Interest

- McCall Code Section 3.3.0: Residential Zone Design Review Standards:
 - (A) Purpose: To ensure that the McCall area's built environment complements McCall's natural environment, scenic mountain setting, and historic, small town character.
 1. To support development that is residential in character and compatible with its surrounding neighborhood.
 2. To preserve natural features, including waterways, open space, trees, native vegetation, and wildlife habitat and corridors.
 3. To promote active and safe streetscapes in residential neighborhoods that are conducive to walking and biking.
 - (B) Applicability: The design standards apply to accessory dwelling units, multifamily residential developments of three (3) or more units and single-family residential dwelling units greater than three thousand five hundred (3,500) square feet.
 - (C) Residential Design Standards:
 1. Building Scale: The building shall be in scale with the site conditions and surrounding structures. Appropriate scale can be accomplished through the following:
 - a. The principal structure on the site is the dominant element.
 - b. Building massing and scale is responsive to the site conditions, including views through and of the site, and existing vegetation. Development that is designed to complement rather than dominate the natural landscape.
 - c. Variations in wall planes and roof lines are incorporated to minimize the apparent scale of the building.
 - d. Porches, balconies, decks and terraces that strengthen the residential scale and character of the building.
 2. Building Design: Building designs shall enhance and/or continue the styles found in the McCall area with allowance for new interpretations of historic details. Local natural building materials, roof overhangs, covered porches and entrances, simplicity of design, and segmented windows are elements of the McCall style. Building designs that are in keeping with the McCall style include the following:
 - a. Materials:

- i. Natural looking exterior materials looking siding and decking materials that resist heat and flames, including: composite decking, cement, plaster, stucco, masonry (such as stone brick or blocks) and fiber-cement siding, soffit, and trim products.
 - ii. Use of stones that convey the appearance of a structural element rather than a veneer facing.
 - iii. Metal when used in combination with natural materials.
 - b. Roofs:
 - i. Roofs that compliment and respond to the mountain setting and heavy snow environment.
 - ii. Hipped, pitched, shed and gabled roofs.
 - iii. Roofs designed to prevent snow or ice from shedding directly onto a pedestrian walkway, access or adjacent property.
 - iv. Class A fire rated roof assemblies.
 - c. Exterior Color:
 - i. Exterior wall colors that tend toward earthy warm hues, with accent colors kept to a minimum of two (2) and used to highlight entrances.
 - ii. No harshly contrasted color combinations, brilliant, luminescent or day-glow colors on exterior finishes.
 - d. No blank walls shall face street frontages, including blank or unarticulated garage doors.
 - e. Decks and balconies shall be designed to handle snow and drift loads including snow shedding from roof overhangs above.
- McCall Code Section 3.8.15: Snow Storage And Drainage:
 - (A) Where snow removal and storage may pose a problem to traffic circulation or reduce the amount of adequate parking for winter business, the developer of the property shall designate a snow storage area and remove snow as necessary.
 - (B) Required Area: Snow storage areas not less than thirty-three percent (33%) of the parking, sidewalk and driveway areas shall be incorporated into the site design.
 - (C) Location:
 - 1. Snow storage may only use landscape areas that are planted with salt tolerant and resilient plant materials that can tolerate the weight of stacked snow.
 - 2. Snow storage may use up to thirty-three percent (33%) of the required parking areas.
 - 3. Snow storage areas shall be located to avoid piling of snow against existing significant trees.
 - (D) See also the requirements of sections 3.3.041 and 9.3.08 of this code. (Ord. 821, 2-23-2006, eff. 3-16-2006; amd. Ord. 998, 1-14-2021)
- McCall Code Section 3.16.07: Design Review Criteria:

The commission or administrator shall determine the following before approval is given:

 - (A) The project is in general conformance with the comprehensive plan.
 - (B) The project does not jeopardize the health, safety or welfare of the public.
 - (C) The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance as enumerated in section 3.16.01 of this chapter.
 - (D) The project will have no substantial impact on adjacent properties or on the community at large.
 - (E) If applicable, a subdivision design review document has been reviewed and approved by the commission in lieu of the design guidelines.
 - (F) For projects in the shoreline and river environs zone, the project will not have an unreasonable and adverse impact on the visual quality of its setting or the water quality.
 - (G) For projects in the scenic route zone, the project will preserve and enhance the scenic quality of the street or highway. (Ord. 821, 2-23-2006, eff. 3-16-2006; amd. Ord. 998, 1-14-2021)

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:
McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.
- Deep Dive – Future Land Use Designations – Low Density Residential:
This land use designation is intended to provide for the development of low density single-family residential neighborhoods. These neighborhoods consist of larger home sites. Implementing *Zoning Districts: R-4*

Staff Discussion

- The applicant is proposing to construct a 7,738 square foot structure. The applicant is proposing to utilize vertical standing seam metal and horizontal lap cement fiber board siding, with standing seam metal roofing and a stone façade chimney. The roof is proposed to be standing seam metal.
- The structure is very large, and few efforts are proposed to minimize the scale. The building is rectangular with no variation in rooflines other than at the patios, positioned at an angle to the street near the front of the parcel, with little concern existing tree retention, or proposals to install additional landscaping.
- The site plan legend includes “Existing tree to remain” and “existing tree to be removed” icons, however no existing trees to be removed are shown on the plans. As the structure and driveway are proposed to be placed on areas with existing trees shown, it is unclear which trees will remain. Since no sizes or species are identified, it is unclear which trees are significant. Prior to the issuance of a building permit, the applicant should provide a revised site plan identifying all trees to be removed, the size and species of all existing trees to remain, and a tree protection plan in conformance with the McCall Tree Protection Guidelines.

Comments

Agency Comments:

- City of McCall Public Works
In an email dated March 29, 2023, the McCall Staff Engineer provided the following comments:

The Public Works Department has reviewed the documents submitted for review for **DR23-03** and have the following comments and concerns.

Public Works preliminary review indicates a final civil design for this project will likely conform to the City and State of Idaho’s design standards. The following comments elaborate on information that is needed to show compliance with these standards.

1. Please show sight triangles on your plans for the proposed driveway. It appears that the driveway may be hidden by existing trees east of the driveway in combination with the existing curvature of the roadway.
2. From the plans submitted, it appears that a roadside swale is existing along Stockton Drive. Please identify the culvert sizing and material for the driveway to cross the roadside swale.
3. As a note, the shown driveway is currently larger than what is allowed by City Standards and would be asked to be reduced to 20 feet or less if Stockton Drive was maintained by the City.

4. Thank you for the preliminary drainage plan. With the size of this project in comparison to the size of the property, it seems likely that the project will likely meet our drainage requirements. A few more items will be required to be submitted prior to approval. Those items include:
 - a. Stormwater requirements **over 5,000 square feet but less than 15,000 square feet** of impervious area remains, must be put together by an Idaho licensed Professional Engineer:
 - i. Stormwater drainage report that covers sections A,B,C,D, and F of the Stormwater Management Checklist
 - ii. A site/grading plan showing temporary and permanent BMP's
 - iii. Detention area and design calculations verifying adequate are for the 1st flush storm (2yr-design storm)
 - b. Supporting links for Stormwater items above:
 - i. Stormwater
Application: <https://evogov.s3.amazonaws.com/141/media/115535.pdf>
 - ii. Drainage Management Guidelines:
<https://evogov.s3.amazonaws.com/141/media/115536.pdf>
 - iii. Stormwater Design Criteria Resolution 16-10: <https://evogov.s3.amazonaws.com/141/media/115537.pdf>
 - iv. DEQ BMP Catalog:
<https://www2.deq.idaho.gov/admin/LEIA/api/document/download/14968>
 - v. GIS Application with 2ft contours as optional layer for site/grading plan -
<https://mccall.maps.arcgis.com/apps/webappviewer/index.html?id=3ecba344abc24c7a8018307dd72f71ab>

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

- City of McCall Airport

In an email dated March 15, 2023, the McCall Airport manager provided the following comments:

IN HORIZONTAL SURFACE. FAA FORM 7460-1 REQUIRED.

- Central District Health

See attached letter dated March 13, 2023.

- Valley County Road and Bridge

In an email dated March 14, 2023, the Valley County Road and Bridge Supervisor provided the following comments:

DR23-03 Approach permit was approved by previous owner on 9-10-2020.

Public Comments:

No public comments received to date.

Potential Motions

Potential Motions Regarding DR-23-03:

1. "I move to approve DR-23-03 with the staff recommended conditions of approval."
2. "I move to approve DR-23-03 with the staff recommended conditions of approval with the following modifications: _____."
3. "I move to continue DR-23-03 to the _____ meeting to allow time for staff and the applicant to provide more information on the following: _____."
4. "I move to remand DR-23-03 back to staff and more information on _____ prior to reschedule the application for a new public hearing."
5. "I move to continue DR-23-03 to the May 2, 2023 meeting and direct staff to prepare findings of fact and conclusions of law documents denying the subject application for the reasons identified in the Commission's deliberations."

Conditions of Approval

1. Prior to the issuance of a building permit, the applicant shall receive final engineering approval.
2. Prior to the issuance of a building permit, the applicant shall provide a revised site plan identifying all trees to be removed, the size and species of all existing trees to remain, and a tree protection plan in conformance with the McCall Tree Protection Guidelines.
3. Prior to the issuance of a building permit, the applicant shall provide the City with a copy of a submitted FAA Form 7460-1.
4. Proof of adequate septic permits shall be required prior to the issuance of a building permit.
5. Prior to the issuance of a certificate of occupancy, the applicant shall reseed all disturbed areas with native grasses or wildflowers.
6. Pursuant to McCall Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Prepared By:



Brian Parker
City Planner



Distribution Memorandum

Date: March 10, 2023

To: City of McCall

Airport

Community and Economic Development

Finance

Information Systems

Parks and Recreation

Police

Public Works

Valley County

Assessor's Office

County Surveyor

Parks and Recreation

Planning and Zoning

Road & Bridge

State

Central District Health Department

Idaho Department of Environmental Quality

Idaho Department of Lands

Idaho Fish and Game

Idaho Transportation Department

Idaho Transportation Department, Division of
Aeronautics

Other

Big Payette Lake Water Quality Council

Idaho Power Company

McCall Fire Protection District

Payette Lakes Recreational Water and Sewer
District

A complete list of individual recipients is available upon request.

From: Brian Parker, City Planner

DR-23-03 – 651 Stockton Dr – Leo Stoddard (IMPACT AREA)

An application for Design Review to construct a new single-family residence/barndominium totaling 6,229 square feet with an attached garage and covered wrap-around porch.. The property is zoned R1 – Residential 1 Acre; and is more particularly described as:

Tax No. 43, Lot 15 of Block 1 of the West Place Subdivision, Situate in the NE ¼ of the SW ¼ of Section 15, T18N, R3E, B.M., Valley County, Idaho.

Planning and Zoning Meeting Date: April 4, 2023

Comments Deadline: **March 24, 2023**

Your comments are appreciated and the applicant will be required to satisfy all comments prior to approval. If you would like your comments incorporated to any Planning and Zoning documents please send me your comments by the date indicated above. If you have questions or concerns regarding the application, please contact the City Planner at 208-634-4256.



City of McCall

Design Review Application

Date: 02/20/2023

Applicant / Additional Billing Contact / Owner

Applicant Name: Leo Stoddard
 Address:
 City, State, Zip:
 Phone:
 Email:

Addl Billing Contact: Leo Stoddard
 Address: 57133 Hazen Road
 City, State, Zip: Warren, OR 97053
 Phone: 5039397863
 Email: leostoddard@gmail.com

Owner of Record Name: Leo Stoddard
 Address: 57133 hazen rd
 City: Warren
 State: OR
 Zip: 97053
 Phone: 5039397863
 Email: leostoddard@gmail.com
 Invoice Email:

Owner of Record 2:
 Address: 57133 hazen rd
 City: Warren
 State: OR
 Zip: 97053
 Phone: 5039397863
 Email: leostoddard@gmail.com
 Invoice Email:

Property

Site Address: 641 Stockton Drive
 Legal Desc.: S1/2 of the SW1/4 of section
 15, T18N,R,3E,BM
 Zoning District: R1

Area: Impact Area
 Sewer: Septic System
 Square Footage: 105415

Contractor

Contact Name: Leo Stoddard
 Business Name:
 McCall License #:
 Mailing Address:

Email: leostoddard@gmail.com
 Phone: 5039397863
 Idaho #:

Annexation Information

Annex Request:
 Adjoining Land Use:
 Parcel Split:
 Parcel Adjoin:

Valley County:
 Conditional Use:
 Project Type: Residential
 Water: Well
 Neighbor Meeting:

Description: New construction single family home

Companion Applications

- | | | | |
|--------------------------------------|--------------------------|-----------------------------------|--------------------------|
| Record of Survey: | <input type="checkbox"/> | Subdivision (Final Plat): | <input type="checkbox"/> |
| Design Review: | <input type="checkbox"/> | Subdivision Minor Plat Amendment: | <input type="checkbox"/> |
| Scenic Route View: | <input type="checkbox"/> | Variance: | <input type="checkbox"/> |
| Shoreline and River Environs Review: | <input type="checkbox"/> | Rezone/Future Land/Comprehensive: | <input type="checkbox"/> |
| Conditional Use: | <input type="checkbox"/> | Zoning Code Amendment: | <input type="checkbox"/> |
| Development Agreement: | <input type="checkbox"/> | Annexation: | <input type="checkbox"/> |
| Planned Unit Develop (Prelim Plat): | <input type="checkbox"/> | Vacation: | <input type="checkbox"/> |
| Planned Unit Develop (Final Plat): | <input type="checkbox"/> | Land Use: | <input type="checkbox"/> |
| Subdivision (Prelim Plat): | <input type="checkbox"/> | | |

Details

- | | | | |
|---------------------|--------|---------------------|--|
| Existing Cover: | 0 | Res Parcels: | |
| Proposed Cover: | 4 | Comm Parcels: | |
| Open Space Sq.Ft.: | 100097 | Engineer Name: | |
| # of Parking: | 6 | Engineer Email: | |
| Max Grade %: | 4 | Engineer Phone: | |
| Average Grade %: | 3 | Pre-App Date: | |
| Total Acreage: | 2 | Condominiums: | |
| Zoned Density: | 0 | Townhomes: | |
| Proposed Density: | 0 | PUD Name: | |
| Total Exist Lot: | 0 | Architect Name: | |
| Total Proposed Lot: | 0 | Architect Email: | |
| Min Lot Frontage: | 0 | Architect Phone: | |
| Min Lot Size: | 0 | Proposed Uses: | |
| Surveyor Name: | | Scenic Frontage: | |
| Surveyor Email: | | # of New Trees: | |
| Surveyor Phone: | | # of New Shrubs: | |
| Subdivision Name: | | Floodplain: | |
| Existing Parcels: | 0 | Shoreline Frontage: | |
| Proposed Parcels: | 0 | High Water Mark: | |
| New Construction | 7738 | | |
| Sq Ft: | | | |

Sign

- Proposed color palette:
 Total signage area existing:
 Total signage area proposed:
 Length of street facing wall in linear feet:
 Length of property frontage in linear feet:
 If multiple frontages, please add lengths from street 2:
 Sign Company:
 Proposed Lighting:

I do hereby certify that the information contained herein is true and correct.

Leo Stoddard

02/20/2023

Name

Date

ALLOWABLE LOT COVERAGE CALCULATOR



Lot Area in square feet:	<input type="text" value="105415"/>	<----Input lot area here
Number of Units	<input type="text" value="1"/>	
Lot Coverage % Allowed:	<input type="text" value="14%"/>	
Lot Coverage Allowed:	14,859	

Proposed Lot Coverage

Footprint of existing structures	<input type="text" value="0"/>	<--- Input sf into boxes
Footprint of proposed structures	<input type="text" value="6380"/>	
Total Structure Footprint	6380 at 100% of actual =	6380 sf
Area of Existing Uncovered Decks, Patios, Walkways, Plazas, etc.	<input type="text" value="0"/>	
Area of New Uncovered Decks, Patios, Walkways, Plazas, etc.	<input type="text" value="0"/>	
Total decks, etc. size	0 at 50% of actual =	0 sf
Existing Driveways, surface parking, etc.	<input type="text" value="0"/>	
New Driveways, surface parking, etc.	<input type="text" value="4000"/>	
Total driveway size	4000 at 35% of actual =	1400 sf
Total Proposed Lot Coverage		7780 sf

Proposed Building Size

Occupied space (existing)	<input type="text" value="0"/>	<--- Input sf into boxes
Unoccupied space (existing garage)	<input type="text" value="0"/>	
Covered exterior space (existing)	<input type="text" value="0"/>	
Occupied space (new)	<input type="text" value="2096"/>	
Unoccupied space (new garage)	<input type="text" value="1879"/>	
Covered exterior space (new)	<input type="text" value="2254"/>	
Total Proposed Structure Size	6229 sf	

Project Requires Design Review and Architect Stamp, Contact

SIDEYARD SETBACK CALCULATOR



Lot Width:	<input type="text" value="344"/>	<----Input Lot Width here
Minimum Side Setback:	15	15'-0"
Both side setbacks must add up to:	103.2	103'-2"

Note: Building may be no closer to side lot line than 1/2 the height of any building element. See city code.







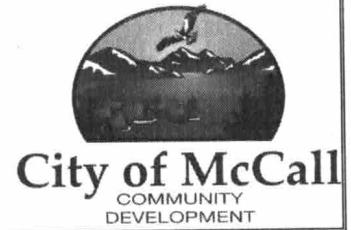


SN 215
B 75

City of McCall

216 East Park Street
McCall, Idaho 83638
P: (208) 634-7142
F: (208) 634-3038

**DESIGN REVIEW
APPLICATION
SUPPLEMENT**



APPLICATION SUBMISSION

The applicant is required to provide the following application materials (PDF preferred, attached to online application, or via USB or CD to City Hall)

APPLICATION CHECKLIST & INFORMATION

Each application must include the following, unless shown and explained otherwise and approved by the administrator:

- Application Form ([available online through the Citizen Portal](#), Hard Copy or PDF available upon request, contact mtodd@mccall.id.us)
- Owner Authorization
- Project Description: Staff and Planning and Zoning Commissioners review many applications; to fully understand the proposed project a comprehensive written explanation of all aspects of the project is necessary. A thorough description provides sufficient detail so that potential questions are answered in advance; a Project **Description lacking depth will invite more comments and concerns due to uncertainty.** The Project Description provides the necessary background from which the specifics of the proposed project can be considered. A Project Description should include:

- General project description:

Single family home 2.4 acres
 3,605 SF Living area
 2,254 SF outdoor porch/patio
 1,879 SF garage/shop

- Overview of any important numbers/calculations (setbacks, lot coverage, significant grade...):

see plans

- Overview of any perceived or actual outstanding issues:

- the garage doors will be angled & not directly facing road. 40°
 - Heavily treed lot with much privacy
 - Septic installed permitted approval, Power installed & service agreement
 - This is not like the neighboring project.

- Plans, Elevations, and Maps – Plans including a structure size greater than 3,500 square feet must be stamped by an Architect licensed in Idaho or a state that has an agreement with Idaho. (MCC 3.16.06D)
 - Site Plan, a one-page overview of the project showing existing/proposed building location, existing trees, setbacks, driveways, parking, loading areas, etc.). **The Site Plan must be to scale.** The Site Plan should also including relevant numbers and calculations including:
 - Lot Size (square footage and dimensions)
 - Setbacks (existing and proposed)
 - Property Frontage
 - Lot Coverage Calculations
 - Project Square Footage
 - Maximum Building Height(s)
 - Landscaping (existing and proposed)
 - Snow Storage
 - General Plans, providing the following details:
 - Elevations & Floor Plans
 - Exterior Lighting
 - Utilities
 - Grading (existing and proposed)
 - Material Descriptions and Colors
 - Vicinity Map: a map, showing the project's general location within McCall
 - Site Photos: 4 photos (one looking at each side of the project: north, south, east, west). The photos should provide ample evidence of the proposed project location.
 - Drainage/Stormwater Plans (Contact the City Engineer for details)
- 3D Rendering of Proposed Project (**Required for Shoreline Zone Applications**, Recommended for Others)
- Floodplain Development Permit for site work or construction activities occurring within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency (FEMA)
- The applicant or designated representative is expected to attend the McCall Area Planning and Zoning meeting and present the application to the Commission. If no representative is present, the application will be continued to the following P&Z Commission Meeting.

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission.

NA

HOW LONG IS DESIGN REVIEW APPROVAL VALID?

A design review approval shall lapse and become void whenever the building permit either lapses or is revoked, or whenever the applicant has not applied for a building permit within **one year** from the date of initial design review approval.

Applicant Agreement:

The Applicant agrees, to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall Zoning Code. I give permission for City representatives and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.



 Signature of Owner or Authorized Representative

2-17-23

 Date

STORMWATER APPLICATION
City of McCall

Fill in all information. Submit one copy of signed application and three copies of Stormwater Management Plan/Report to the City Engineer.

1. Project Name: Leo Stoddard - Single Family Home 2.4 acres
Location: 651 Steadman Drive McCall Idaho

2. Owner's Name: Leo Stoddard
Street: 57133 Hazen Road City: Warren
State: OK Zip Code: 97053 Phone: 503 939 7863

3. Project Description: Single family home on 2.4 acres
Roof top - 4,440 SF

a. Total property area, in acres. 2.42
b. Proposed impervious surface (asphalt, rooftop, concrete, sidewalk, etc.) in square feet.
Roof top - 95'6" x 46'6" = 4,440 SF
Asphalt - 5,000 SF +/-


c. Describe existing vegetation present on site. Pine trees, grass - see map plan attached top o
landscape natural

d. Start date of construction. 5-2023
e. Estimated length of time to complete improvements. NA

4. Stormwater Management Plan/Report attached? Yes No

5. Circle the section of the Stormwater Management Plan/Report Checklist which are applicable to project.
A B C D E F ?

6. Party responsible for operation and maintenance of project, including maintenance of temporary and permanent Best Management Practices:

<u>Leo Stoddard</u>			<u>2-17-23</u>
Name	Title	Signature	Date
<u>57133 Hazen Road Warren OK</u>		<u>503 939 7863</u>	
Address		Daytime Phone	After Hours Phone

Do not write below this line.

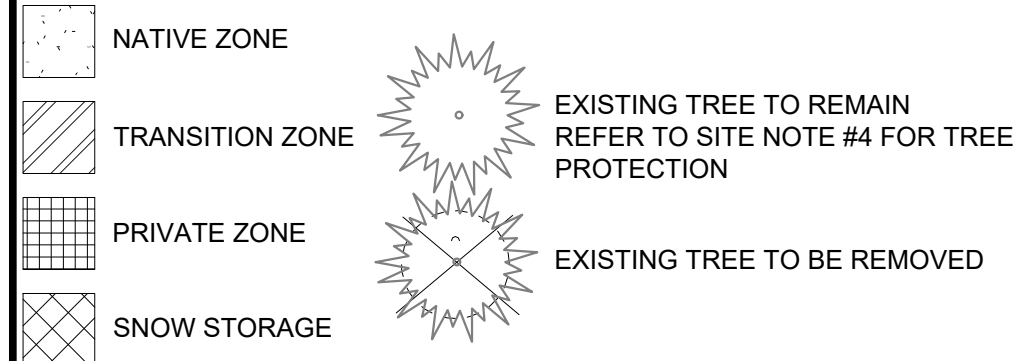
This Stormwater Management Plan/Report is:

Approved: _____
Not Approved: _____
Approved, with conditions: _____

By The City of McCall

_____	_____	_____	_____
Representative	Title	Signature	Date

LOT STUDY LEGEND



ABBREVIATIONS

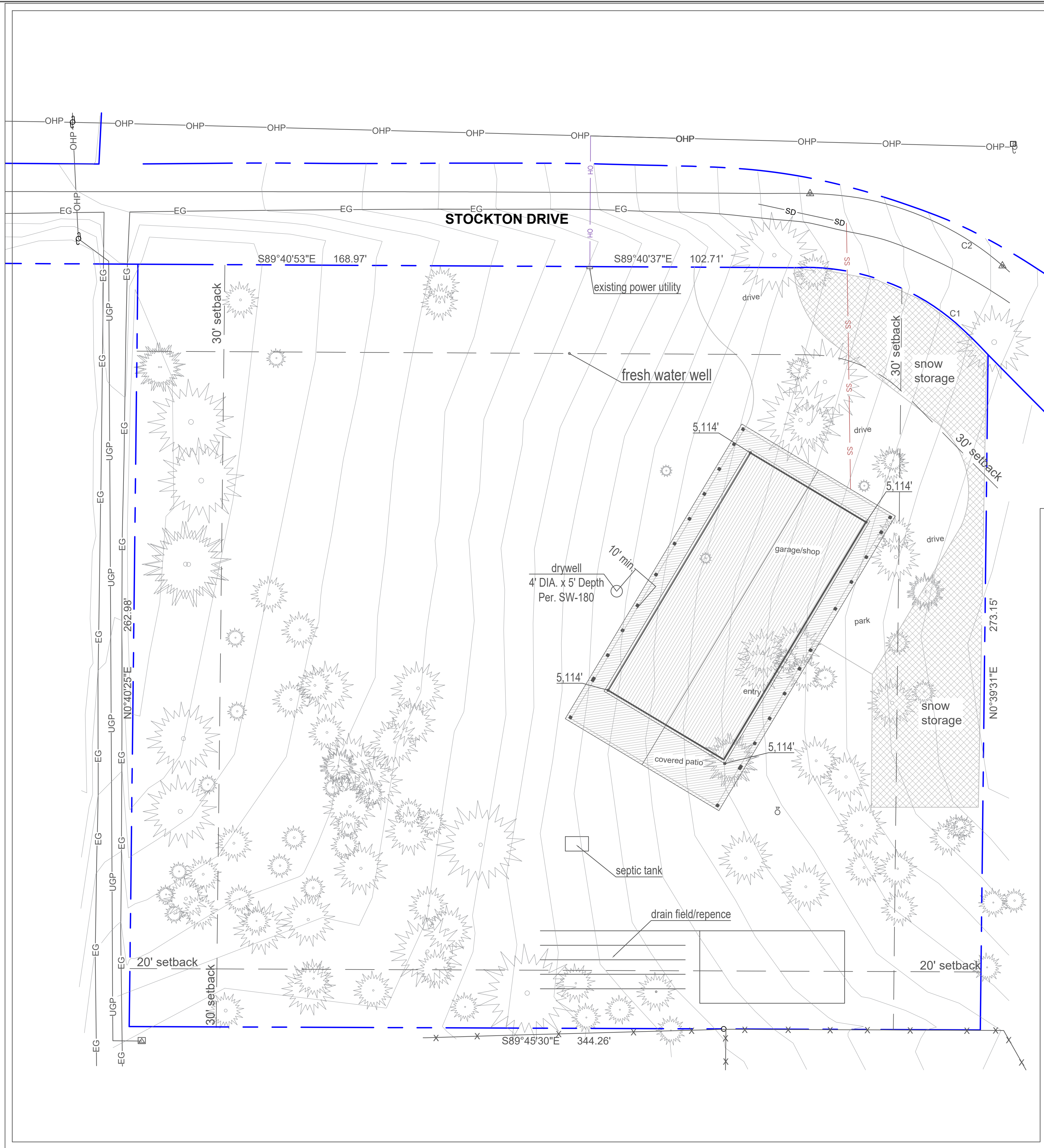
&	AND	LAU.	LAUNDRY
@	AT	LAV.	LAVATORY
CL	CENTERLINE	LKR.	LOCKER
#	POUND OR NUMBER	LVP.	LAMINATE VINYL PLANK
PL	PROPERTY LINE	MAX.	MAXIMUM
A.B.	ANCHOR BOLT	M.B.	MACHINE BOLT
A.C.	ASPHALTIC CONCRETE	MECH.	MECHANICAL
ACOUS.	ACOUSTICAL	MEMB.	MEMBRANE
ADJ.	ADJUSTABLE	MTL.	METAL
A.F.F.	ABOVE FINISH FLOOR	MFR.	MANUFACTURER
ARCH.	ARCHITECTURAL	MIN.	MINIMUM
BD.	BOARD	MIR.	MIRROR
BLDG.	BUILDING	MISC.	MISCELLANEOUS
B.O.	BOTTOM OF	M.O.	MASONRY OPENING
BTWN.	BETWEEN	MUL.	MULLION
CLG.	CLEAR	MW.	MICROWAVE
CLR.	COLUMN	N.	NORTH
CONC.	CONCRETE	(N)	NEW
CONT.	CONTINUOUS	N.A.	NOT APPLICABLE
C.T.	CERAMIC TILE	NAT.	NATURAL
CTSK.	COUNTERSINK	NOM.	NOMINAL
CNTR.	COUNTER	N.T.S.	NOT TO SCALE
CTR.	CENTER	O.C.	ON CENTER
CU.	CUBIC	O.D.	OUTSIDE DIAMETER
DBL.	DOUBLE	PL.	PLATE
DECO.	DECORATIVE	P.LAM.	PLASTIC LAMINATE
DEG.	DEGREE	PLWD.	PLYWOOD
DR.	DOOR	PR.	PAIR
DS	DOWN SPOUT	PREFAB.	PREFABRICATED
DWG.	DRAWING	PT.	PAINT
EA.	EACH	P.T.	PRESERVATIVE TREATED
ELEC.	ELECTRICAL	R.B.	RUBBER BASE
EQ.	EQUAL	R.D.	ROOF DRAIN
EQUIP.	EQUIPMENT	RE.	REFER TO, REFERENCE FROM
EXIST.	EXISTING	REC.	RECESSED
EXT.	EXTERIOR	RECEP.	RECEPTACLE
EQUIV.	EQUIVALENT	REF.	REFRIGERATOR
F.A.	FIRA ALARM	REQ'D	REQUIRED
F.D.	FLOOR DRAIN	RM.	ROOM
FIN.	FINISH	R.O.	ROUGH OPENING
FLR.	FLOOR	R.S.	ROUGH SAWN
F.O.C.	FACE OF CONCRETE	S.	SOUTH
F.O.F.	FACE OF FINISH	S.C.	SOLID CORE
F.O.M.	FACE OF MASONRY	SF	SQUARE FEET
F.O.S.	FACE OF STUD	SHT.	SHEET
FT.	FOOT OR FEET	SHM.	SIMILAR
FTG.	FOOTING	SPEC.	SPECIFICATIONS
FURR.	FURRING	SQ.	SQUARE
G.A.	GAUGE	S.S.	STAINLESS STEEL
GAL.	GALLON	S.S.D.	SEE STRUCTURAL DWGS.
GALV.	GALVANIZED	STD.	STANDARD
G.L.B.	GLULAM BEAM	STL.	STEEL
GND.	GROUND	STOR.	STORAGE
G.S.M.	GALVANIZED SHEET METAL	ST.	STREET
GR.	GRADE	STR.	STRUCTURAL
GYP.	GYP SUM	SUSP.	SUSPENDED
H.B.	HOSE BIBB	T.O.C.	TOP OF CURB
H.C.	HOLLOW CORE	T&G	TONGUE AND GROOVE
HDWD.	HARDWOOD	THK.	THICK
H.M.	HOLLOW METAL	T.O.	TOP OF
HORIZ.	HORIZONTAL	TYP.	TYPICAL
HR.	HOUR	U.N.O.	UNLESS NOTED OTHERWISE
HT.	HEIGHT	VERT.	VERTICAL
INCL.	INCLUDING	V.C.T.	VINYL COMPOSITION TILE
I.D.	INSIDE DIAMETER	V.I.F.	VERIFY IN FIELD
INSUL.	INSULATION	W.	WEST
INT.	INTERIOR	W.	WITH
LIN.	LINEN	WD.	WOOD
LAM.	LAMINATE	W.H.	WATER HEATER
		W.P.	WATER PROTECTED
		WT.	WEIGHT

SITE PLAN NOTES

1. MAIN LEVEL FINISH FLOOR IS 0'.
 2. ADJACENT LOTS ARE UNIMPROVED.
 3. EXISTING TREES TRUNKS TO BE SURROUNDED WITH TEMPORARY CONSTRUCTION
- BUILDING FOOTPRINT: 5,484 SF
 PORTION OF CONCRETE WALK: 2,254 SF
 BUILDING & IMPROVEMENT ENVELOPE: 7,738 SF (10,000 SF ALLOWED)

DRAWING INDEX

SHEET 1	SITE PLAN & COVER LETTER
SHEET 2	ELEVATIONS
SHEET 3	ELEVATIONS
SHEET 4	MAIN FLOOR PLAN
SHEET 5	UPPER FLOOR PLAN
SHEET 6	FOUNDATION PLAN
SHEET 7	UPPER FLOOR FRAMING AND LOWER ROOF FRAMING PLAN
SHEET 8	FOUNDATION PLAN DETAILS
SHEET 9	SECTIONS
SHEET 10	ROOF FRAMING PLAN



ridge line elev. 30'-9"
house floor line elev. 0'

entire house shall have continuous gutter rain gutter system
rain gutters shall be connected to 4" perforated drain pipe at foundation perimeter and drained to run-off collection areas

site plan

scale: 1" = 20' 0"
lot size: 1.4 Ac.



LICENSED ARCHITECT AR-984329
BYRON T. HILLS STATE OF IDAHO
02/20/2023

Cover Sheet

Project # Barndo 1

Custom home Design

date: 02/20/2023



NS Designs
(541) 390-4211
saarinen.nic@gmail.com
33787 NE Kern Ct. Scappoose OR, 97056

a new Barndominium for
Leo Stoddard
651 Stockton Drive
McCall Idaho

SITE LOCATION

651 Stockton
McCall Idaho
Valley, county
McCall, Idaho

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CORD BEARING	CORD LENGTH
C1	71.25'	90.71'	45°00'09"	N67°11'44"W	69.43'
C2	94.81'	120.71'	45°00'07"	N67°11'44"W	92.39'

Stoddard Residence

PROJECT DATA

BUILDING ADDRESS:	651 Stockton Drive McCall, Idaho 83638	APPLICABLE CODES:	2018 INTERNATIONAL RESIDENTIAL CODE 2017 IDAHO STATE PLUMBING CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2017 NATIONAL ELECTRICAL CODE
PARCEL NO:	RP005210050230	LOT SIZE:	1.40 ACRES
BUILDING ENVELOPE AREA:	10,000 SF MAX.	ALLOWABLE BUILDING HEIGHT:	35 FT MAX.
GROSS BUILDING AREA:	7,738 S.F.	GROSS GARAGE AREA:	1,879 S.F.
GROSS DECKS/ PATIO AREA:	2,254 S.F.	MAIN LEVEL HABITABLE AREA:	2,096 S.F.
UPPER FLOOR HABITABLE AREA:	1,509 S.F.	TOTAL HABITABLE AREA:	3,605 S.F.

CONTACTS

OWNER Blue Flag Realty 52640 NE 1st. Scappoose, OR 97056 Contact: Leo Stoddard 503-939-7863	STRUCTURAL ENGINEER Structural Edge Engineering 5509 N. Glenwood St. Garden City, Idaho 83714 Contact: David Sansotta 208-501-2289	DESIGNER NS Custom Home Design 33787 NE Kern Ct. Scappoose, OR 97056 Contact: Nic Saarinen 541-390-4211
ARCHITECT B.Hills Architecture PC 3156 South Bown Way Boise, Idaho 83706 Contact: Byron T. Hills 208-258-6151	TRUSS ENGINEER Builders FirstSource 400 Deinhard Ln. McCall, Idaho 83638 Contact: Russel Murdoch 208-469-2585	CONTRACTOR Matt Graham Construction 14002 Highway 55 McCall, Idaho 83638 Contact: Matt Graham 208-315-4432

PRESCRIPTIVE ENERGY CODE COMPLIANCE

2018 IECC INTERNATIONAL ENERGY CONSERVATION CODE (IECC) THIS PROJECT HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE IECC.

IECC TABLE R402.1.2						
MIN. INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT						
CLIMATE ZONE	WINDOW U-FACTOR	CEILING R-VALUE	FRAME WALL R-VALUE	FRAME FLOOR R-VALUE	SLAB R-VALUE & DEPTH	CRAWL WALL R-VALUE
6	30	49	22 OR 13+5	30	10.4 FT	15 CONT. OR 19 CAV.

Idaho power agreement and service installed utility easement on Stockton drive

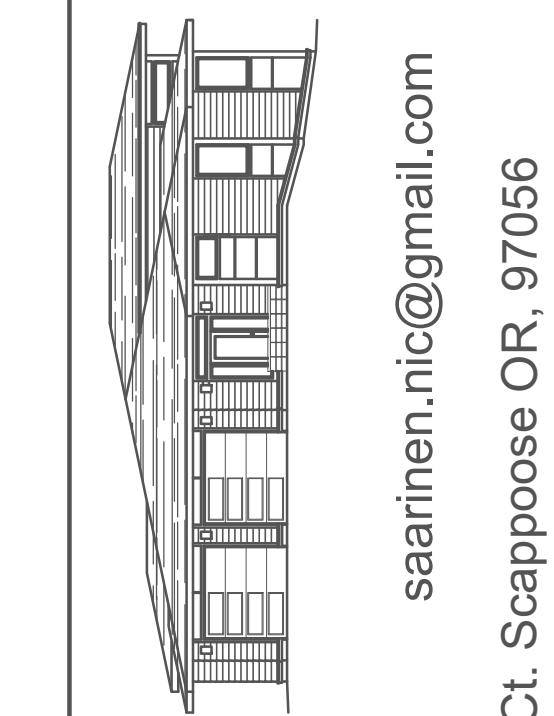
LICENSED ARCHITECT
AF-984329
Byron T. Hills
BYRON T. HILLS
STATE OF IDAHO
02/20/2023

1 of 10

Project # Barndo 1

Custom home Design

date: 02/20/2023



NS Designs

saarinen.nic@gmail.com
(541) 390-4211
33787 NE Kern Ct. Scappoose OR, 97056

a new Barndominium for
Leo Stoddard
651 Stockton Drive
McCall Idaho

SITE LOCATION
651 stockton drive

Valley, county
McCall, Idaho

site location



vicinity map

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CORD BEARING	CORD LENGTH
C1	71.25'	90.71'	45°00'09"	N67°11'44"W	69.43'
C2	94.81'	120.71'	45°00'07"	N67°11'44"W	92.39'

SIMPLIFIED DESIGN APPROACH

- Sizing: See adjacent table to size the drywell(s) based on impervious area.
- Siting Criteria: The base of the drywell must be at least 5' above seasonal high groundwater.
- Setbacks: Measured from the center, the drywell must be 10' from foundations and 5' from property lines except next to the right-of-way where no setback is required between the edge of the drywell drain rock and the property line. The foundation setback is 8' for plastic mini-drywells.
- Piping: Conform with Oregon Plumbing Specialty Code (OPSC) requirements.
- Access: In residential settings, an access cleanout is optional but highly recommended.
- Pre-Treatment: A trapped silt basin such as a sumped catch basin is required except for drywells managing roof runoff and runoff from pedestrian-only areas.
- The top of the perforated drywell sections must be lower than neighboring foundations.
- Inspections: Call BOS IFR inspection law, (503) 833-7000. Request 487.3 inspection required.

Drywell Depth	Maximum Catchment Area (Maximum Imp. Area)
24" diameter x 48" depth	2500 sf
36" diameter x 48" depth	4500 sf
48" diameter x 48" depth	6500 sf

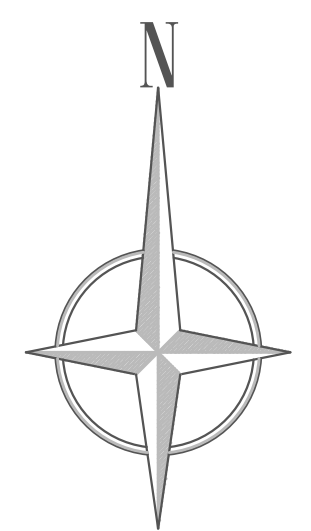
3x3 plastic mini-drywell (maximum of 3 drywells per lot) 900 sf

CONSTRUCTION REQUIREMENTS
Smearing the soil surface during excavation can limit infiltration rates. If smooth excavation tools are used, roughen the sides and bottom of the excavation with a sharp pointed tool. Remove loose material from the bottom of the excavation.

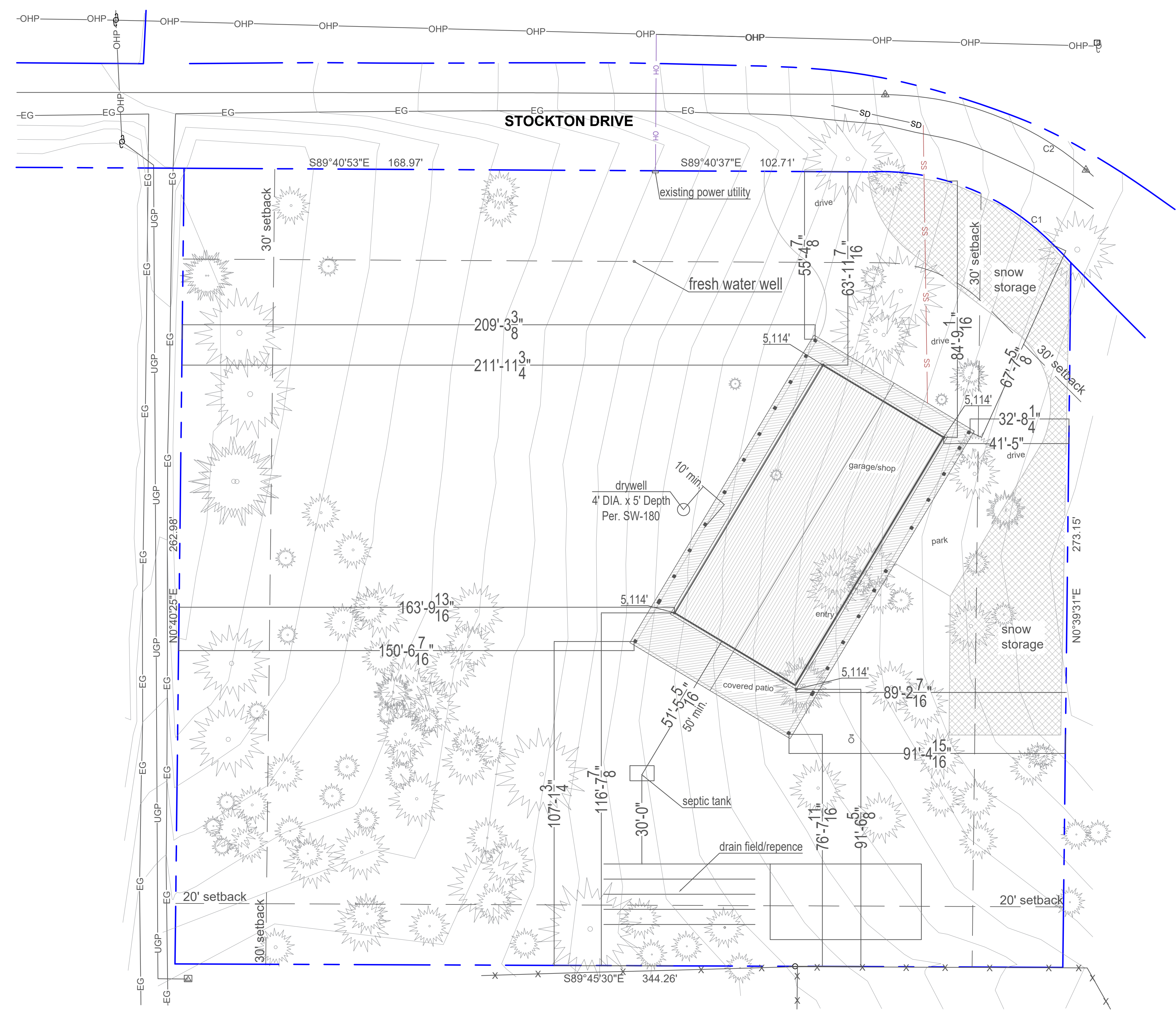
— DRAWING NOT TO SCALE —

Bureau of Environmental Services | STORMWATER MANAGEMENT TYPICAL DETAILS FOR PRIVATE PROPERTY | DRYWELL SW-180 | 8-3-22

entire house shall have continuous gutter rain gutter system
rain gutters shall be connected to 4" perforated drain pipe at
foundation perimeter and drained to run-off collection areas



SITE PLAN



total living area: 3,605 sf.
porch/patio: 2,254 sf.
garage: 1,879 sf.
total: 7,738 sf.

ridge line elev. 5,144.75"
house floor line elev. 5,114"

scale: 1" = 20' 0"
lot size: 2.42 Acres

LICENSED ARCHITECT
AR-984329
Byron T. Hills
BYRON T. HILLS
STATE OF IDAHO
02/20/2023

2 of 10

Project # Barndo1

Custom home Design

date: 02/20/2023

NS Custom Home Design

(541) 390-4211

email: saarinen.nic@gmail.com

33787 NE Kern Ct. Scappoose OR, 97056

a new Barndominium for
Leo Stoddard
McCall Idaho

SITE LOCATION

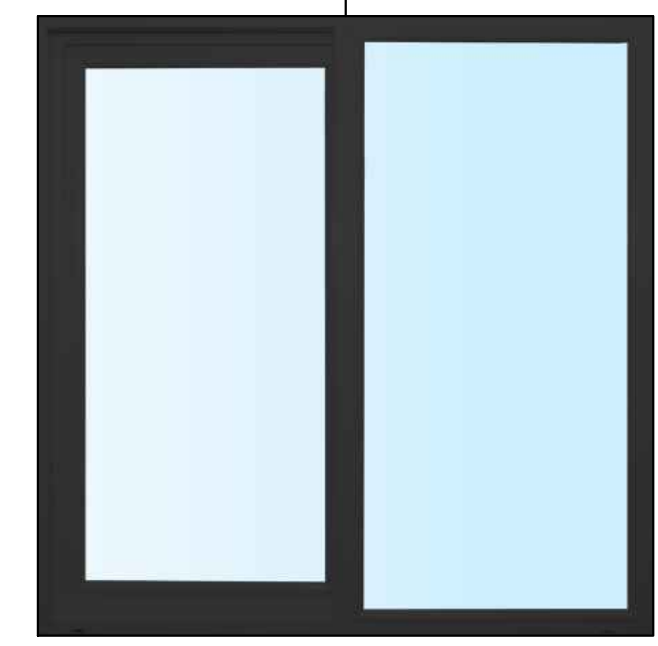
Barndo1
McCall Idaho

Valley, county
McCall, Idaho

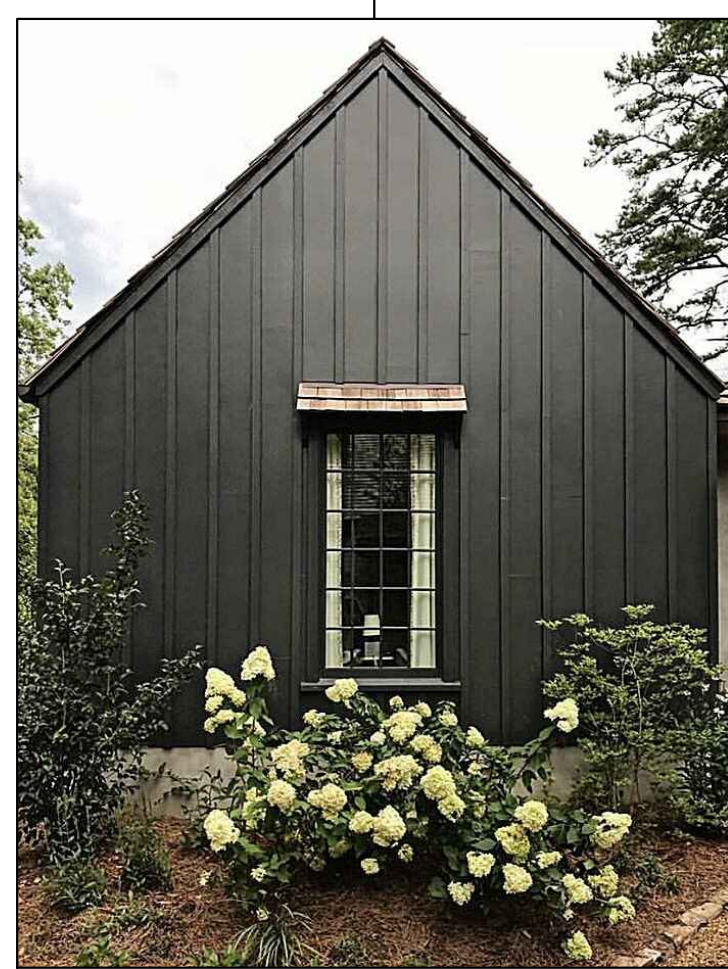


right elevation

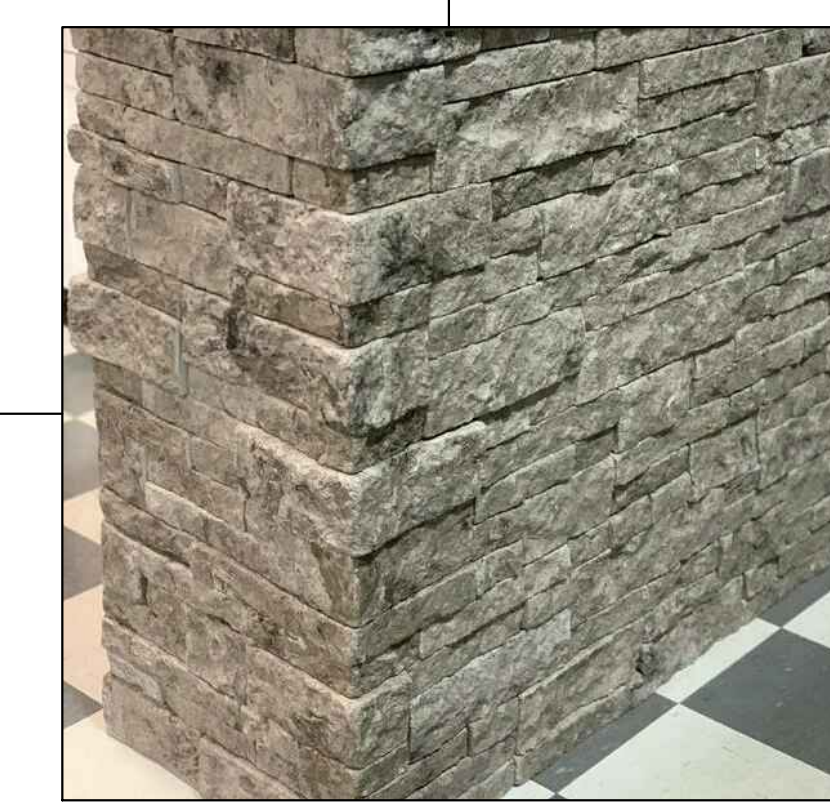
1/4"=1'0"



Cascade Windows
"Black cap stock" finish



Urban Bronze SW7048 Exterior
Paint finish



Phantom Shadow Color flat stone facade



rear elevation

1/4"=1'0"

LICENSED ARCHITECT
AR-984329
Byron T. Hills
BYRON T. HILLS
STATE OF IDAHO
02/20/2023

3 of 10

Project # Barndo1

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33787 NE Kern Ct. Scappoose OR, 97056

a new Barndominium for

Leo Stoddard
McCall Idaho

SITE LOCATION

Barndo1
McCall Idaho

Valley, county
McCall, Idaho



left elevation

1/4"=1'0"



Standing seam metal roof olive black finish



Vertical batten board siding



Hardi Plank lap siding



olive black finish for all trim



front elevation

1/4"=1'0"

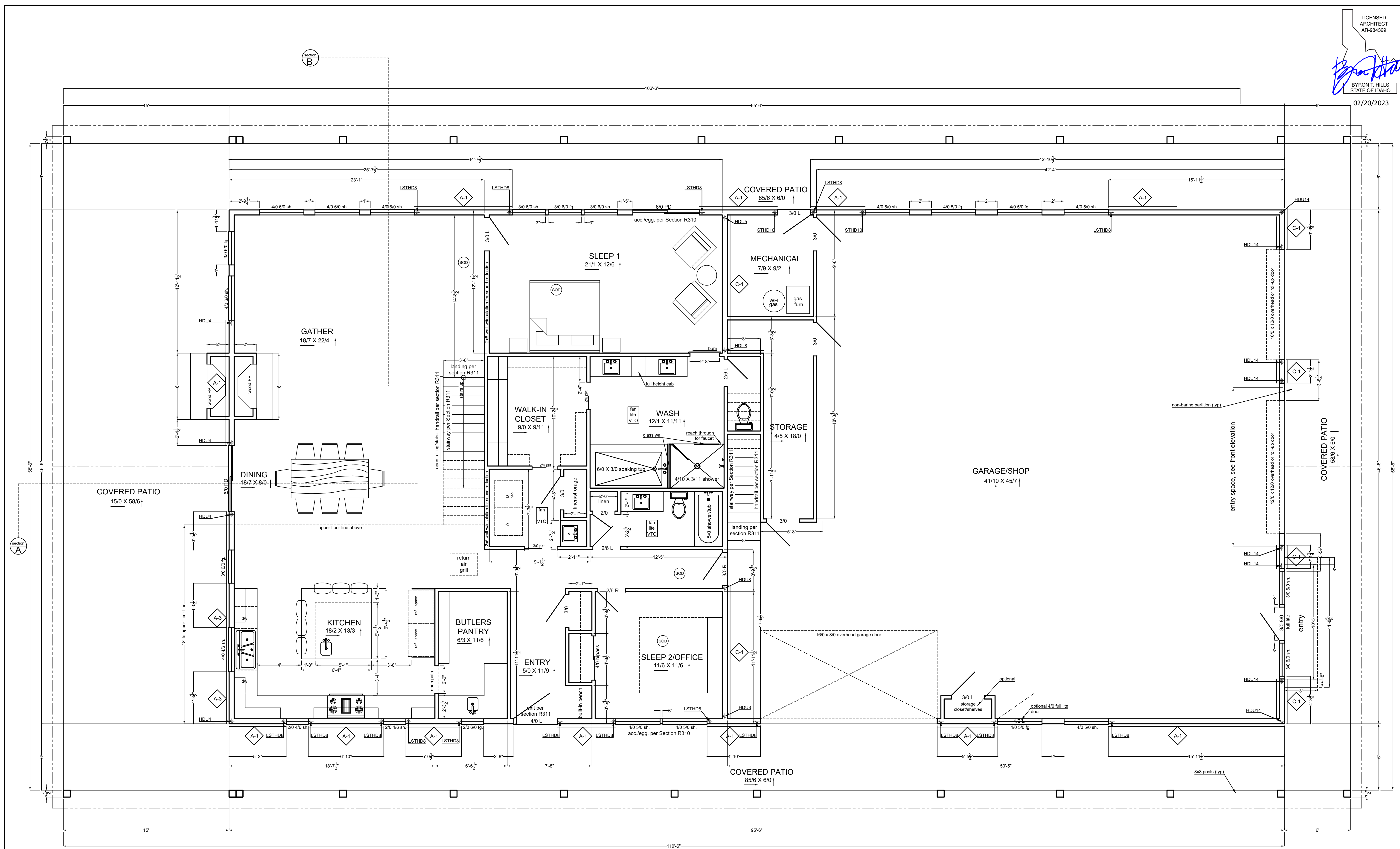
LICENSED ARCHITECT
AR-884329
Byron T. Hills
BYRON T. HILLS
STATE OF IDAHO
02/20/2023

Project # Barndo1
Custom home Design
date: 02/20/2023

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email: saarinen.nic@gmail.com
33787 NE Kern Ct. Scappoose OR, 97056

a new Barndominium for
Leo Stoddard
McCall Idaho

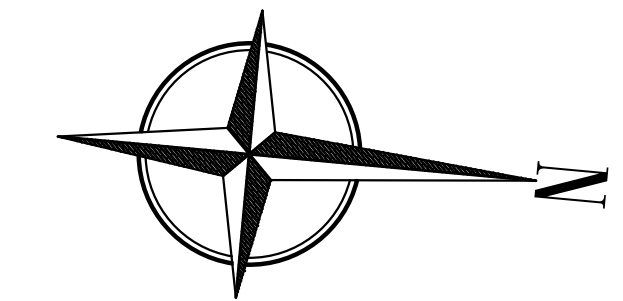
SITE LOCATION
Barndo1
McCall Idaho
Valley, county
McCall, Idaho



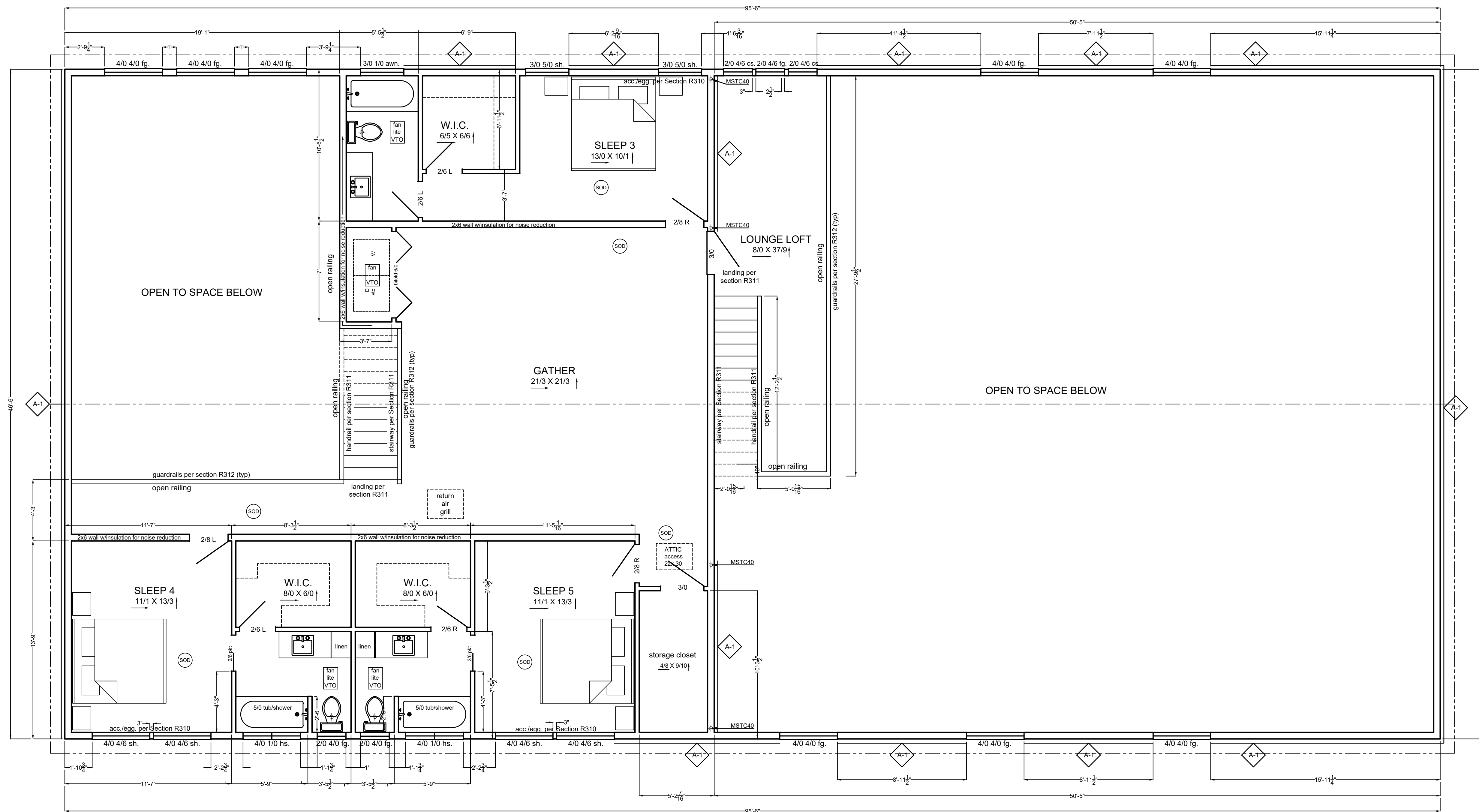
continuous sheathing method
entire house sheathed in 7/16" o.s.b.
exterior sheathing/lateral shear wall fastening
all exterior wall are continuously sheathed
wall per chapter 6 of 2017 ORSC
otherwise noted on plan
7/16" O.S.B. w/ 8d 6" o.c. boundary, 12" o.c. field
1 1/2" dia. anchor bolts 6" o.c. (UNO)
block all joints
sheath all walls with 7/16" O.S.B. w/ 8d at 6" boundary & 12" o.c. field unless otherwise noted on plan
name as above w/ 8d 3" o.c. boundary
8d 3" o.c. to full plate
1/2" dia. anchor bolts 40" o.c. (UNO)
block all joints
use 1/2" dia. anchor bolts at 60" o.c. unless noted otherwise on plan
1/2" gwb both sides w/ 6d nails 7" o.c. or 5/8" S" or "W" 1-1/4" drywall screws 6" o.c. fastener spacing is both edges & field

drywall at interior shear wall shall be applied vertical or all joints shall be blocked

main floor plan
1/4" = 1'0"
2,463 sf.



2,096 sf. living main floor
1,509 sf. living upper floor
1,879 sf. garage/shop
2,254 sf. porches/patios
7,738 sf. total



continuous sheathing method
entire house sheathed in 7/16" o.s.b.

exterior sheathing/lateral shear wall fastening
all exterior wall are continuously sheathed
wall per chapter 6 of 2017 ORBC
otherwise noted on plan

△	7/16" O.S.B. w/ 8d 4" o.c. boundary 12" dia. anchor bolts 6" o.c. (UNO) block all joints
▲	same as above w/ 8d 4" o.c. boundary 6d 3" o.c. to all plate 12" dia. anchor bolts 4" o.c. (UNO)
▲	12" wide both sides w/ 8d nails 7" o.c. or type "S" or "W" 1-1/4" drywall screws 6" o.c. fastener spacing in both edges & field

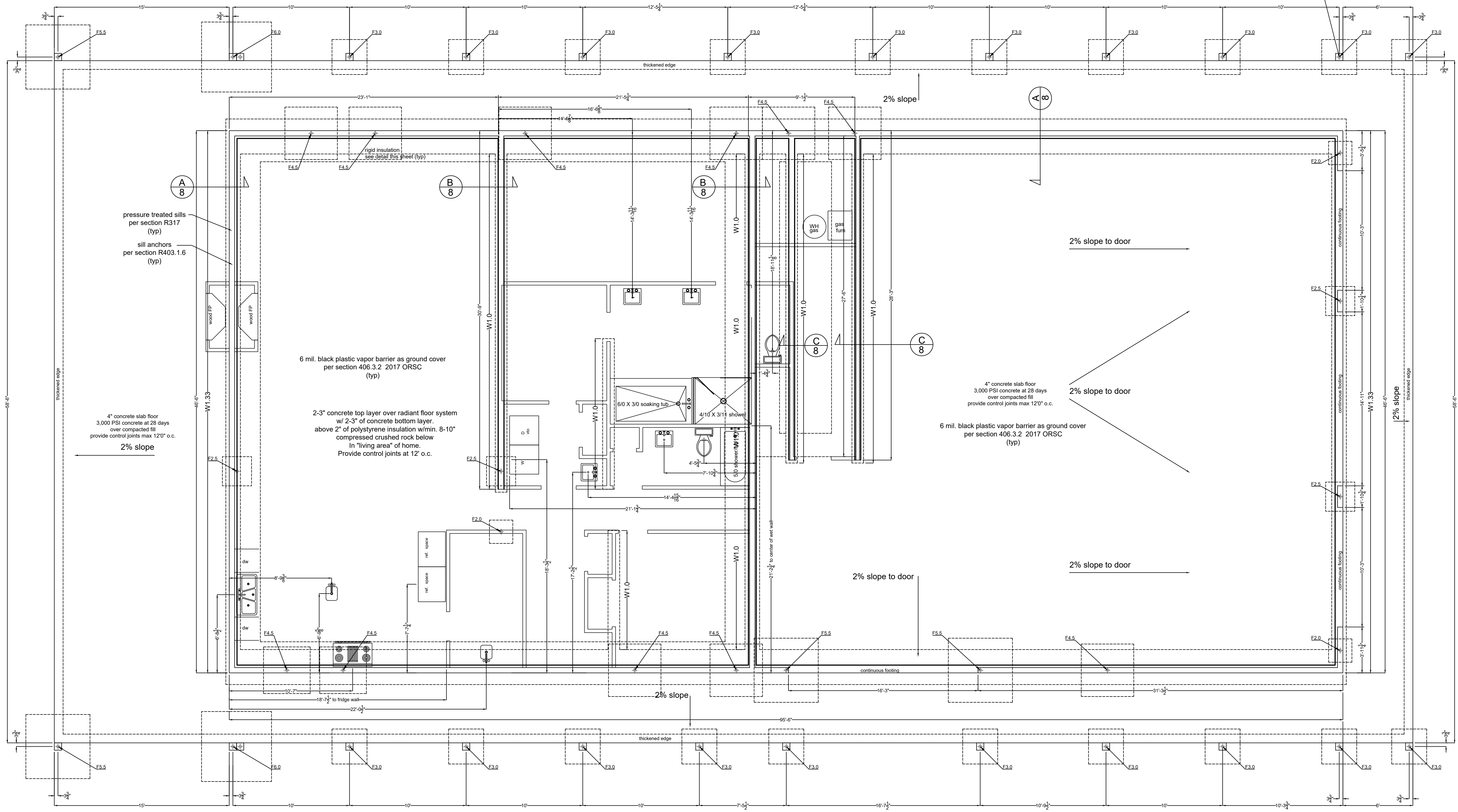
drywall at interior shear wall shall be applied vertical or all joints shall be blocked

upper floor plan

1/4" = 1'0" 1,759 sf.

FOOTING SCHEDULE					
MARK	SIZE	REINFORCING	CONTINUOUS FOOTINGS		
F2.0	2'-0" X 2'-0" X 8" DP.	(2) #4 EA. WAY	W1.0	1'-0" XCONT. X8" DP.	#4 @ 9" O.C.
F2.5	2'-6" X 2'-6" X 8" DP.	(3) #4 EA. WAY	W1.33	1'-4" XCONT. X8" DP.	#4 @ 9" O.C.
F3.0	3'-0" X 3'-0" X 10" DP.	(4) #4 EA. WAY	W3.	3'-0" XCONT. X10" DP.	#4 @ 9" O.C.
F3.5	3'-6" X 3'-6" X 10" DP.	(4) #4 EA. WAY			
F4.0	4'-0" X 4'-0" X 10" DP.	(5) #4 EA. WAY			
F4.5	4'-6" X 4'-6" X 10" DP.	(6) #4 EA. WAY			
F5.0	5'-0" X 5'-0" X 10" DP.	(8) #4 EA. WAY			
F5.5	5'-6" X 5'-6" X 10" DP.	(9) #4 EA. WAY			
F6.0	6'-0" X 6'-0" X 10" DP.	(10) #4 EA. WAY			

36"x36"x54" post hole
w/3" concrete footing
8x8 post with #4 rebar set @ 8" o.c.
alternating direction set in hole
remaining 48" of hole to be filled
w/ concrete or compacted 3/4" minus
rock
(typ)
see detail this page (sheet 8)



foundation plan

1/4" = 1'0"

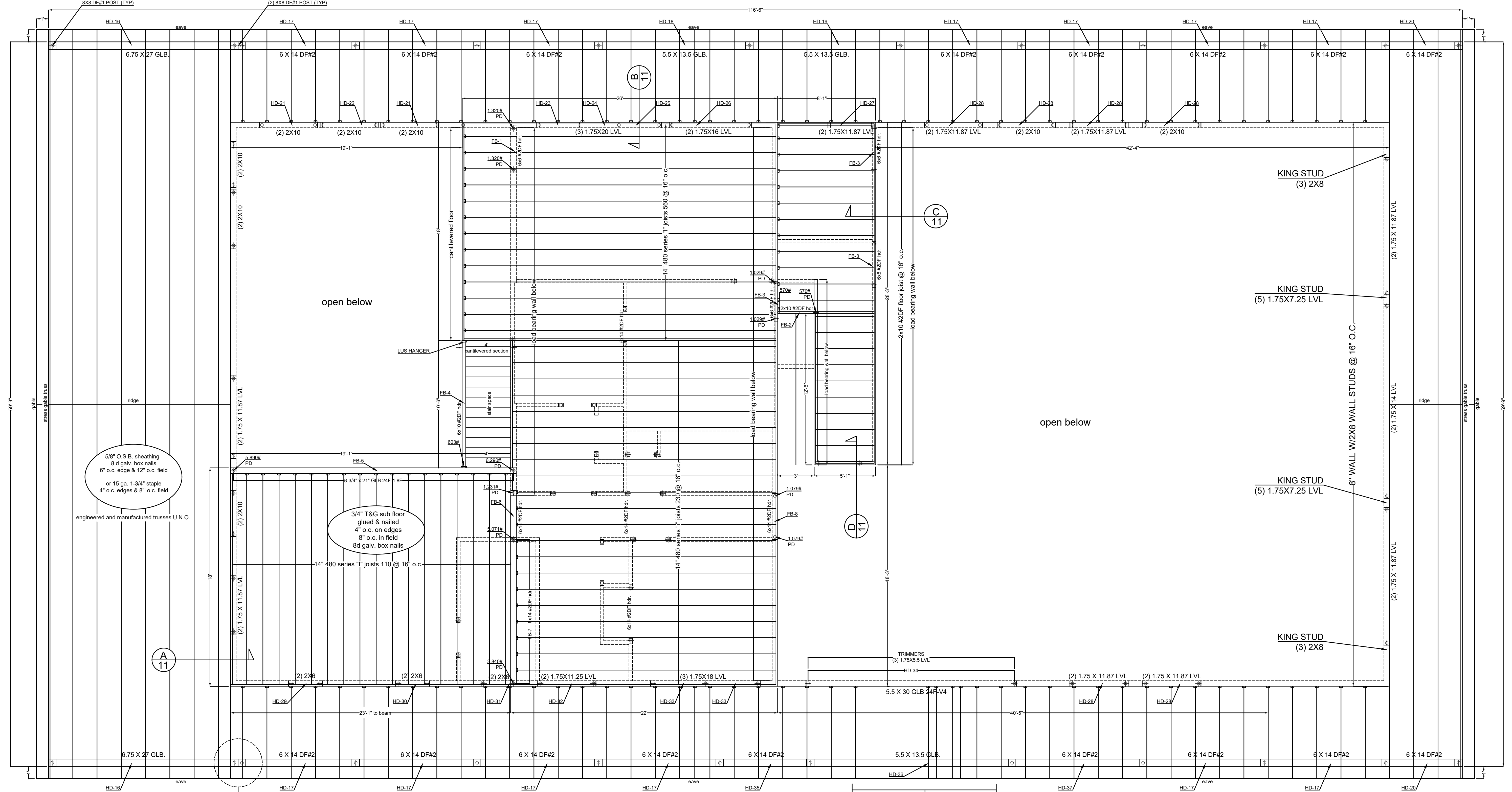
HEADER SCHEDULE		
MARK	HEADER	TRIMMER STUDS
H1	(2) 2X14	2X6
H2	(2) 1.75X11.25 LVL	(2) 2X6
H3	(3) 1.75X16 LVL	(3) 2X6
H4	(3) 1.75X18 LVL	(4) 2X6
H5	(3) 1.75X20 LVL	(4) 2X6

WALL STUD SCHEDULE	
WALL HT.	STUD SIZE AND SPACING
12'-0"	2X6 @ 12" O.C.
21'-0"	1.5X5.5 LSL @ 12" O.C.

KING STUD SCHEDULE: WALL HT. <= 10'-0"		
OPENING WIDTH	KING STUDS	TRIMMER STUDS
<= 5'-0"	2X6	2X6
<= 9'-0"	(2) 2X6	2X6
<= 22'-0"	(3) 2X6	2X6

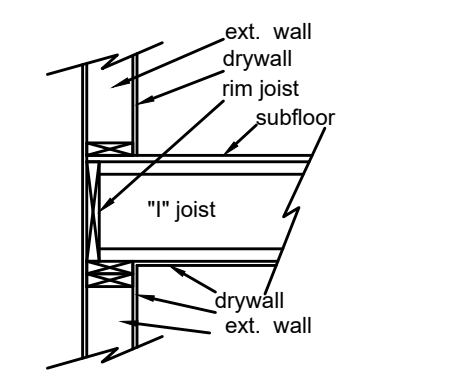
NOTES:
 1. PROVIDE KING STUDS PER SCHEDULE, U.N.O. ON PLAN.
 2. COMPARE KING STUDS TO SHEARWALL HOLDDOWN/STRAP TIE POST REQUIREMENTS, LARGER SIZE SHALL BE PROVIDED.
 3. WHERE WALL STUDS ARE LVL, PROVIDE LVL TRIMMER AND KING STUDS PER SCHEDULE.

KING STUD SCHEDULE: WALL HT. <= 14'-0"		
OPENING WIDTH	KING STUDS	TRIMMER STUDS
<= 8'-0"	2X6	2X6
<= 16'-0"	(2) 2X6	2X6
<= 22'-0"	(3) 2X6	2X6

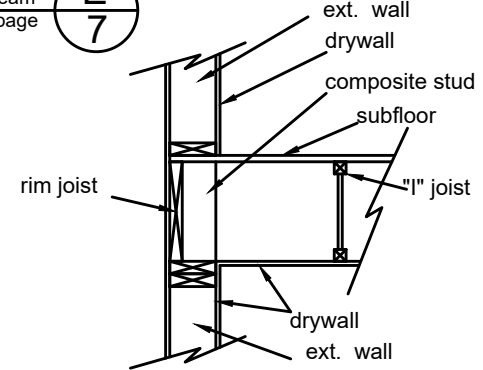


5/8" O.S.B. sheathing
 8 d galv. box nails
 6" o.c. edge & 12" o.c. field
 or 15 ga. 1-3/4" staple
 4" o.c. edges & 8" o.c. field
 engineered and manufactured trusses U.N.O.

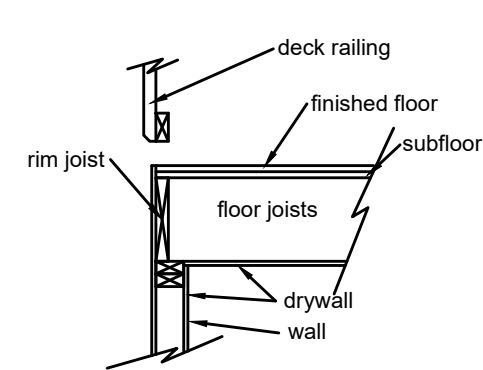
3/4" T&G sub floor
 glued & nailed
 4" o.c. on edges
 8" o.c. in field
 8d galv. box nails



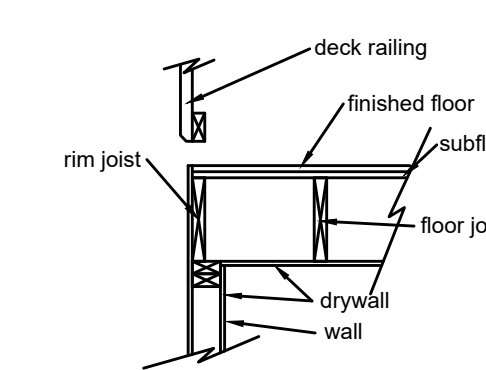
floor joist perpendicular to rim
 1/2"=1'0"



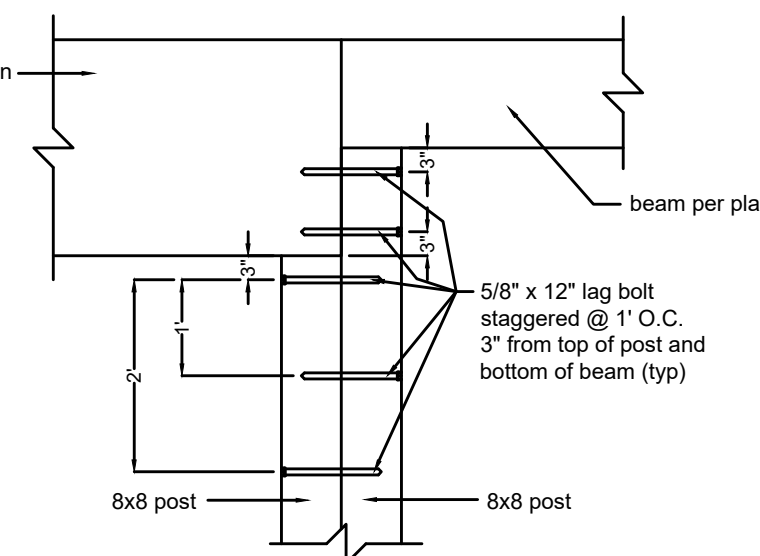
floor joist parallel to rim
 1/2"=1'0"



floor joist perpendicular to rim
 1/2"=1'0"



floor joist perpendicular to rim
 1/2"=1'0"

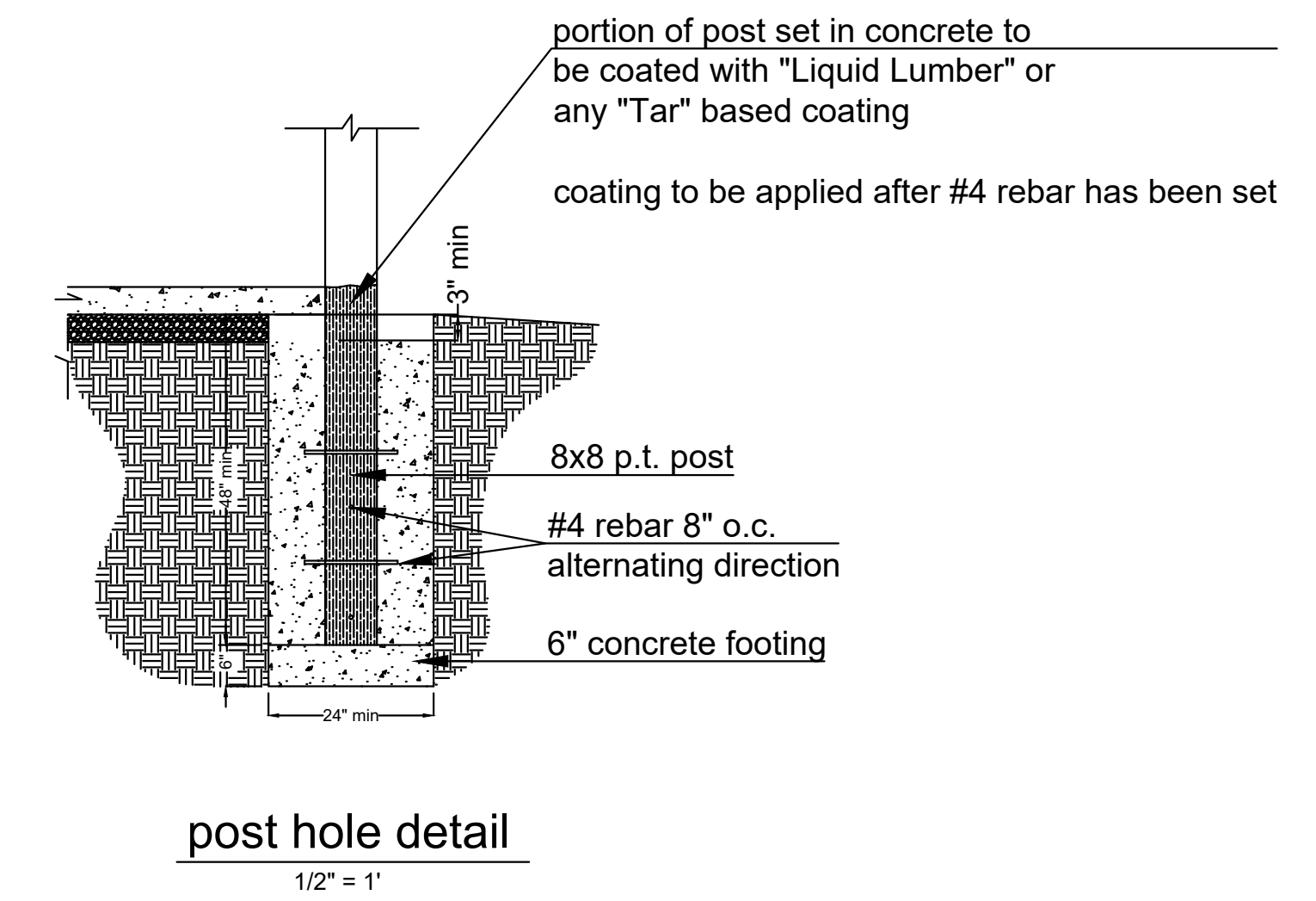
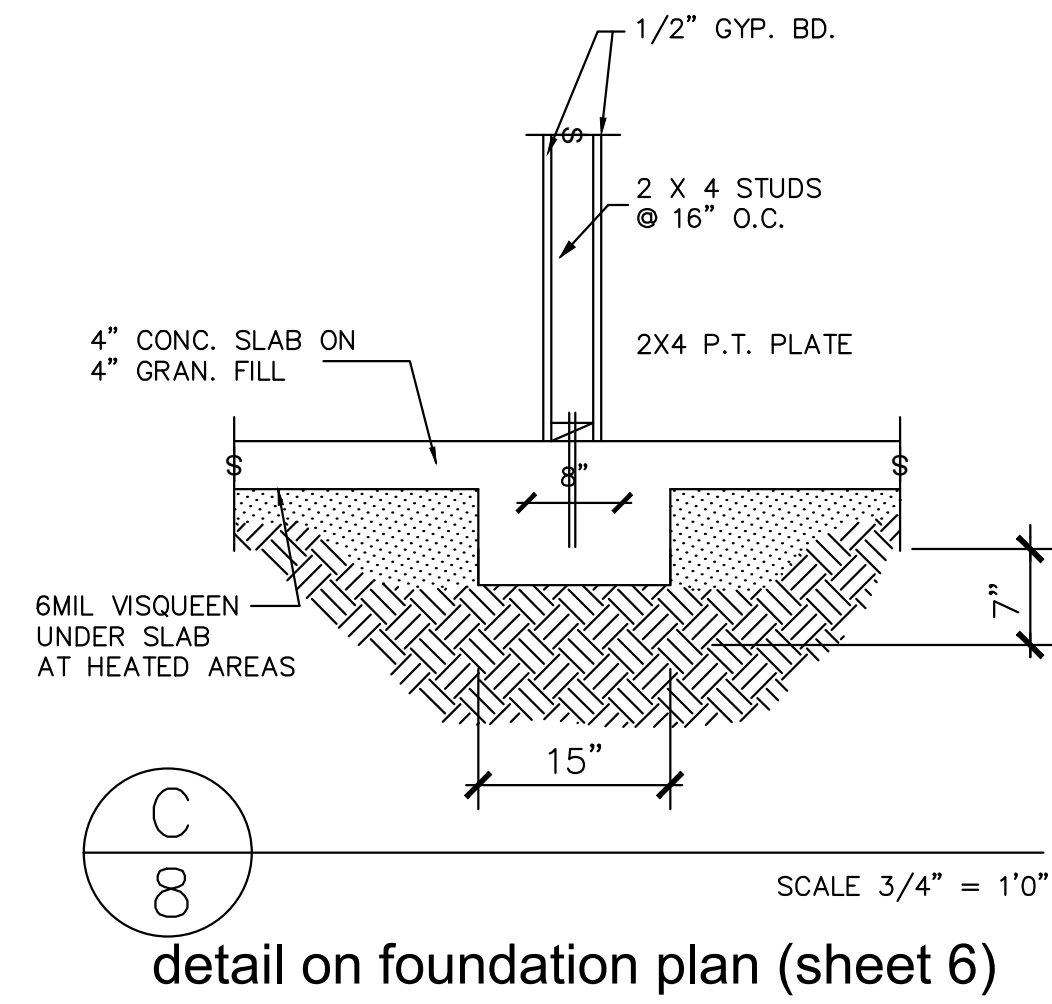
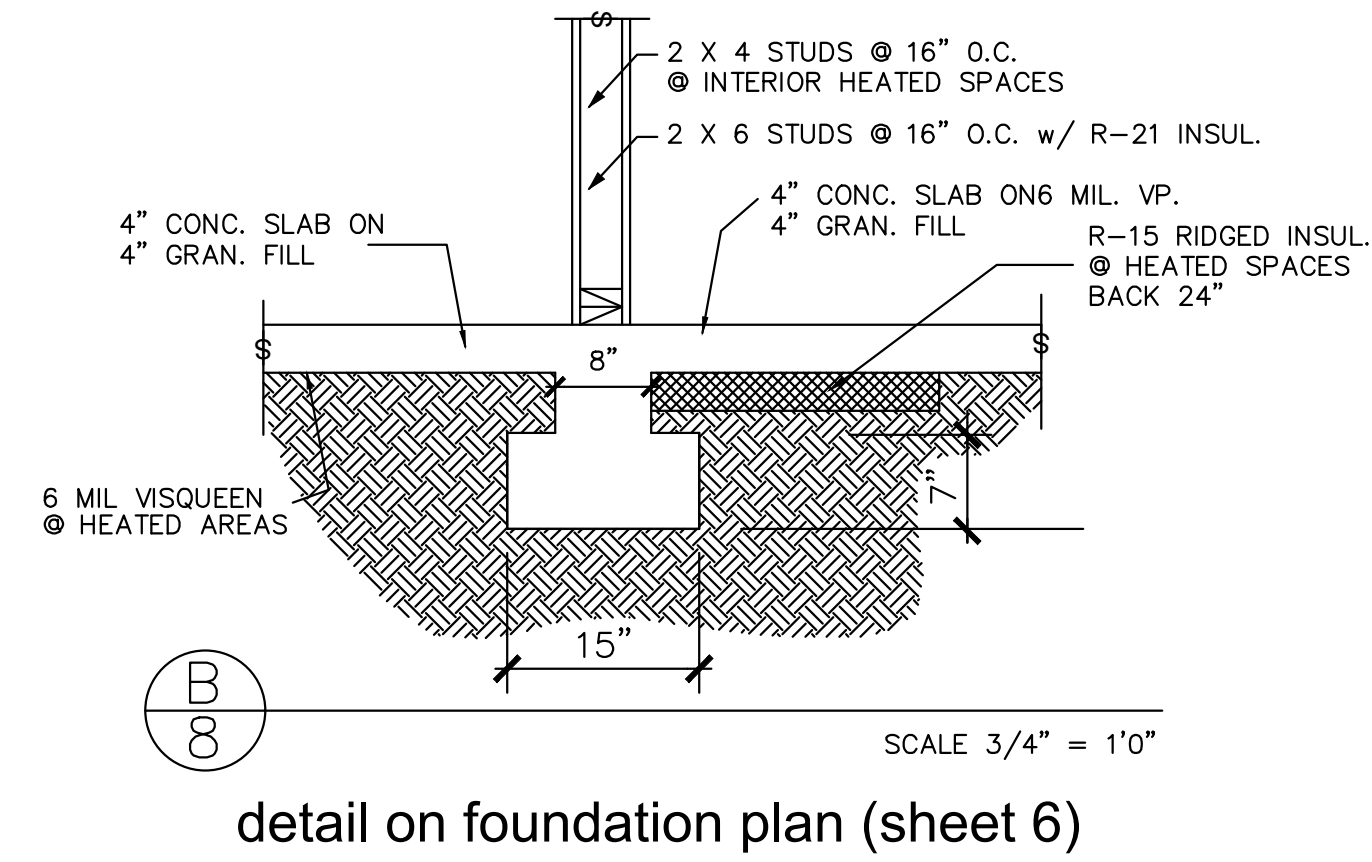
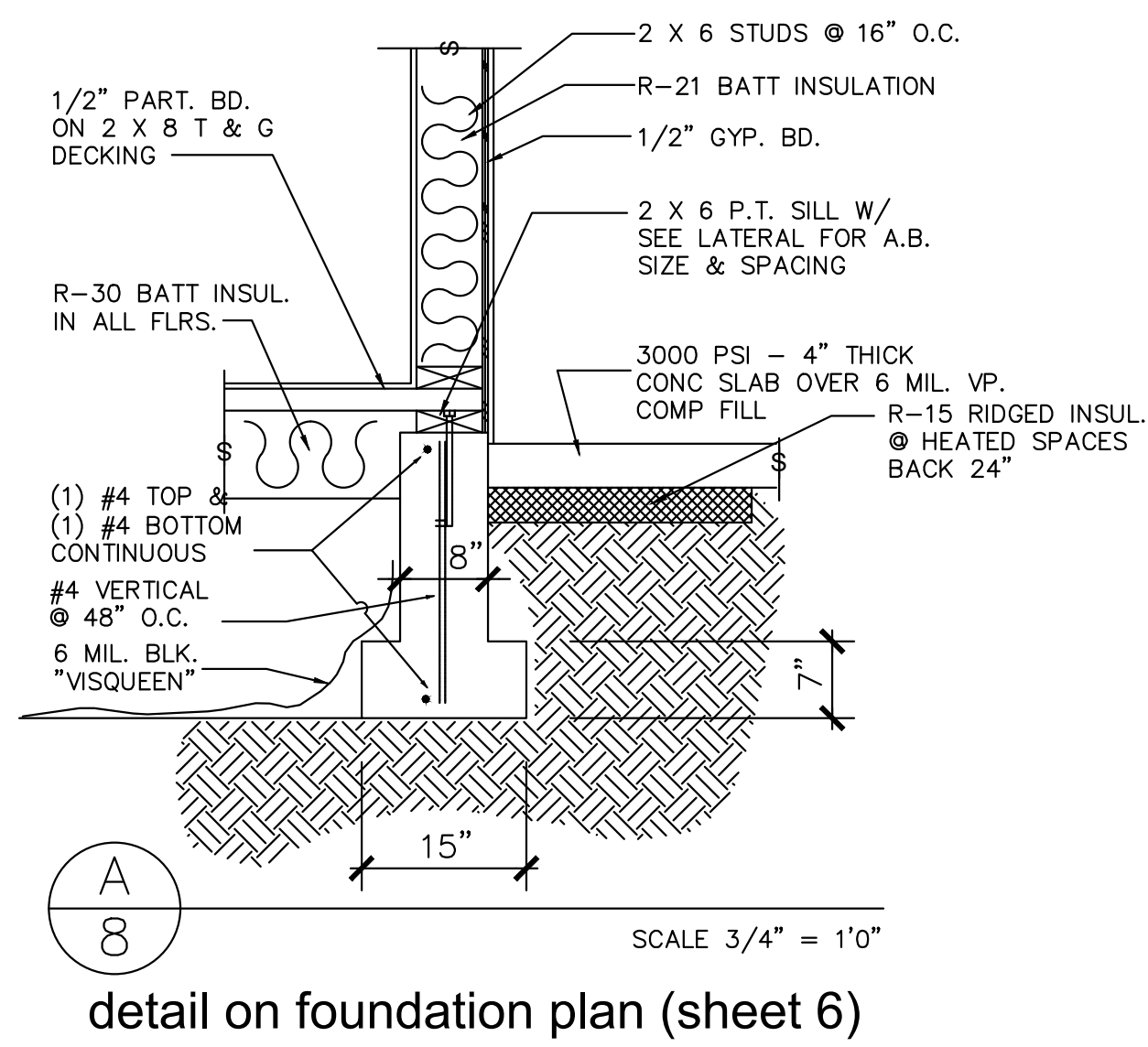


pole and beam detail
 1/2"=1'0"

LICENSED ARCHITECT
 AR-984329
 BYRON T. HILLS
 STATE OF IDAHO
 02/20/2023

upper floor framing
 and
 lower roof framing plan

1/4" = 1'0"



foundation plan details

1/4" = 1'0"

Project # Barndo1

Custom home Design

date: 02/20/2023

NS Custom Home Design

(541) 390-4211

email: saarinen.nic@gmail.com

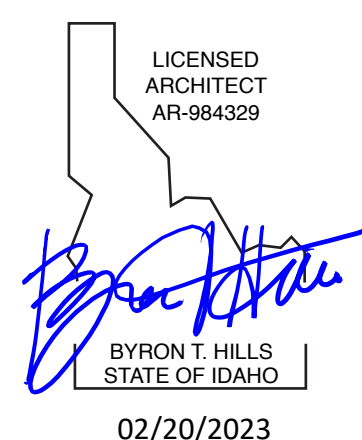
33787 NE Kern Ct. Scappoose OR, 97056

a new Barndominium for
Leo Stoddard
McCall Idaho

SITE LOCATION

Barndo1
McCall Idaho

Valley, county
McCall, Idaho



02/20/2023

LICENSED ARCHITECT
ARI-864329
BYRON T. HILLS
STATE OF IDAHO
02/20/2023

Project # Barndo1

Custom home Design

date: 02/20/2023

NS Custom Home Design

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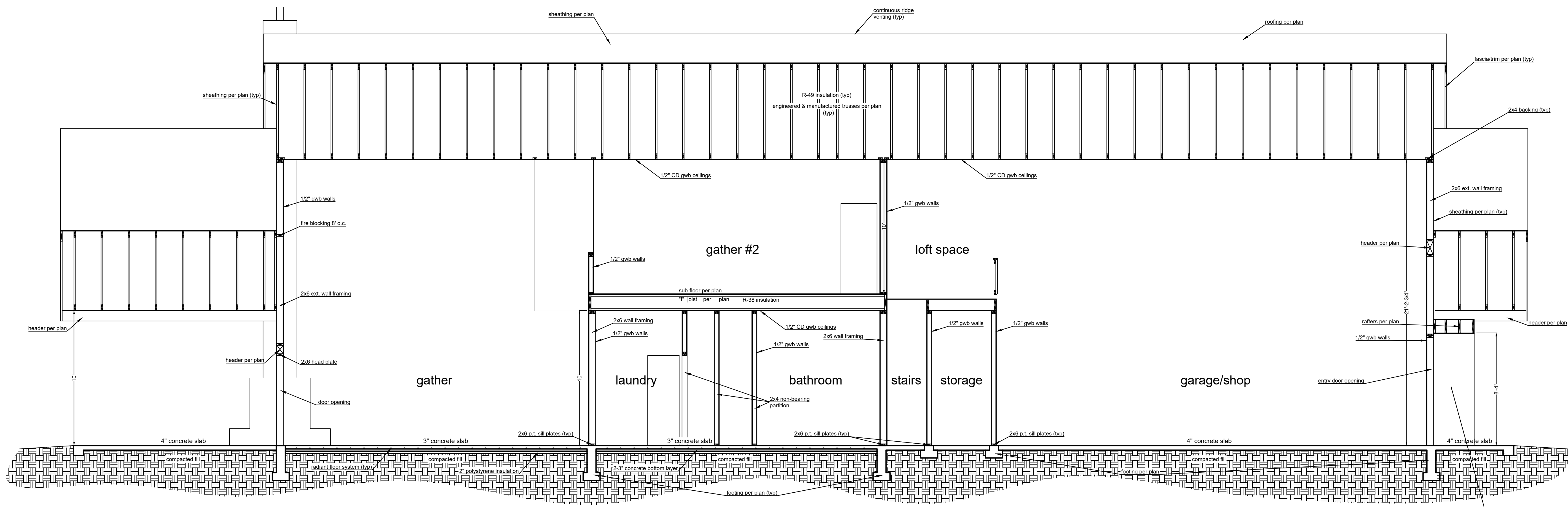
33787 NE Kern Ct. Scappoose OR, 97056

a new Barndominium for
Leo Stoddard
McCall Idaho

SITE LOCATION

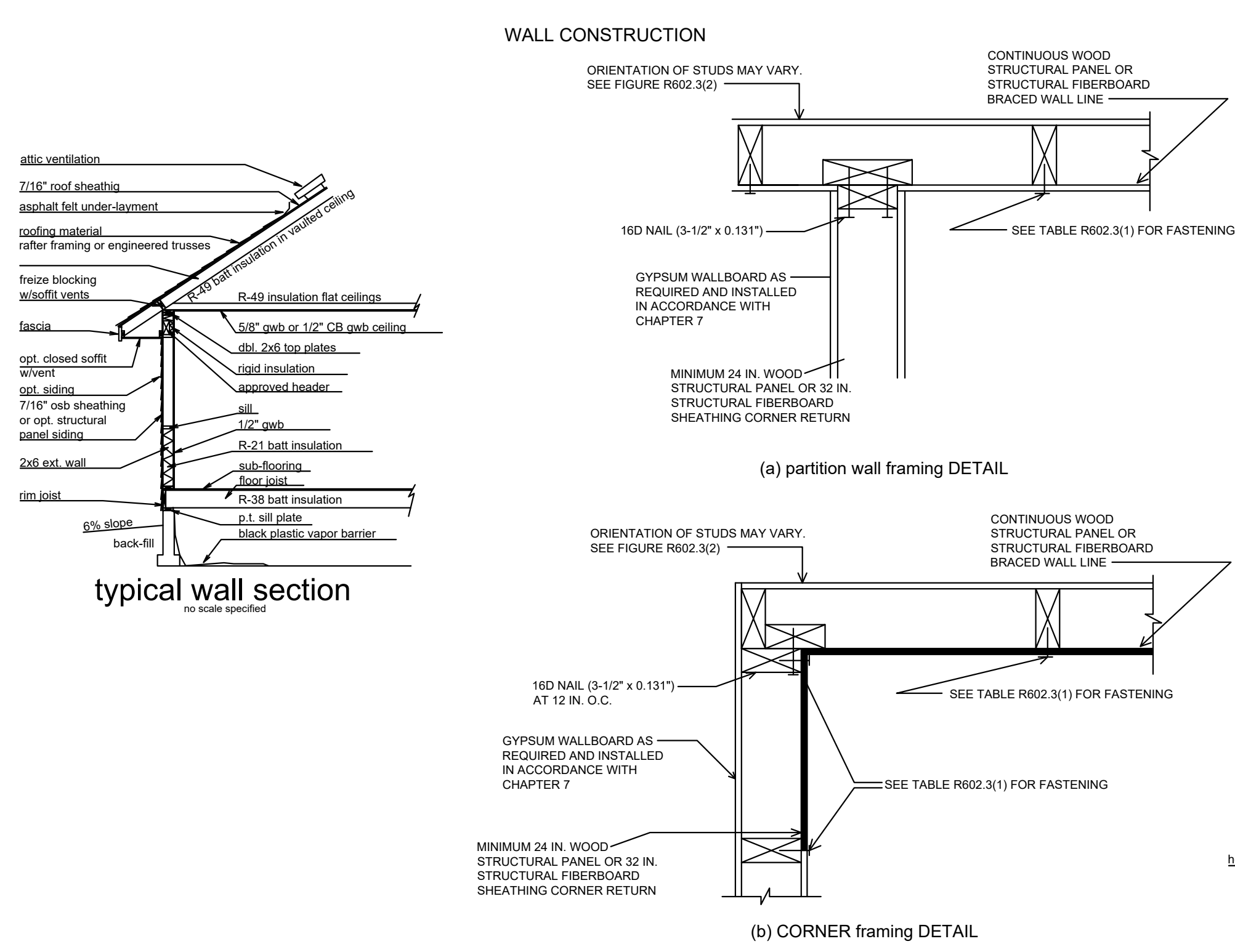
Barndo1
McCall Idaho

Valley, county
McCall, Idaho



section "A"
1/4" x 1/0"

contractor to verify wall heights on site



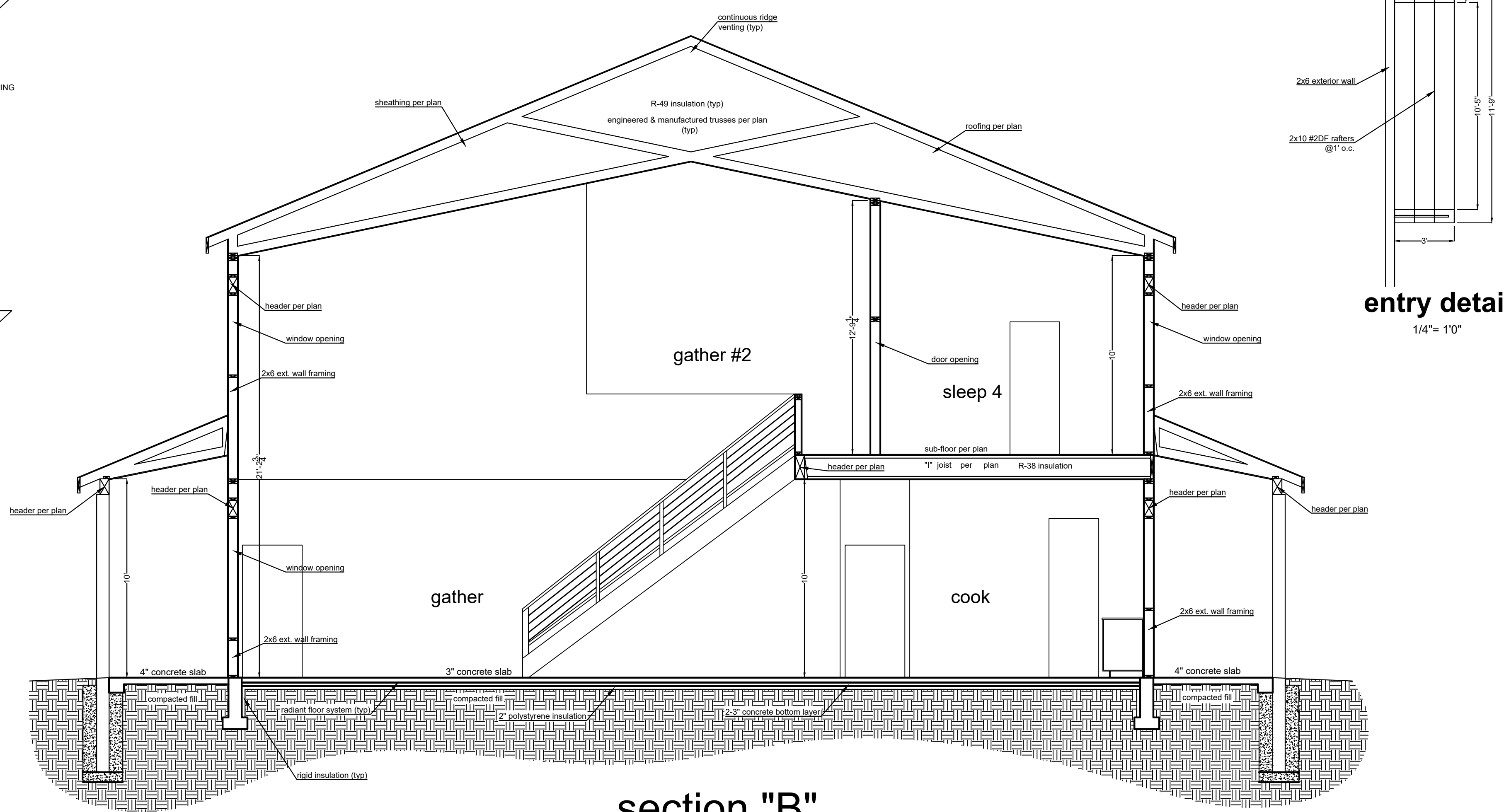
prescriptive energy code compliance

2018 IECC international energy conservation code (IECC) this project has been designed to meet or exceed the requirements of the IECC.

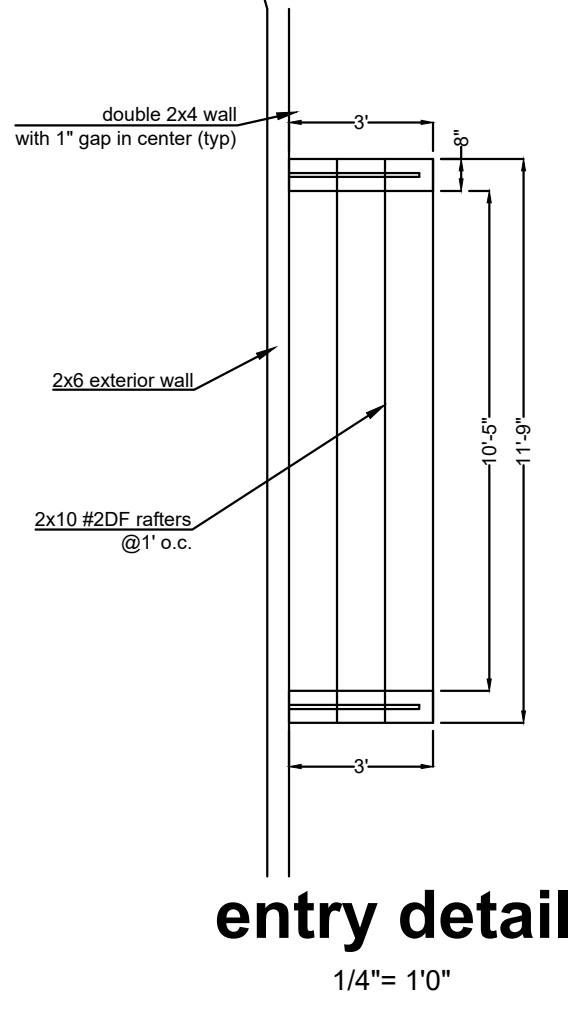
IECC table R402.1.2

min. insulation and fenestration requirements by component

climate zone	window u-factor	ceiling R-value	frame wall R-value	frame floor R-value	slab R-value & depth	crawl wall R-value
6	30	49	22 or 13+5	30	10, 4ft	15 cont. or 19 cav.



section "B"
1/4" x 1/0"



entry detail
1/4" = 1/0"

HEADER SCHEDULE		
MARK	HEADER	TRIMMER STUDS
H1	(2) 2X14	2X6
H2	(2) 1.75X11.25 LVL	(2) 2X6
H3	(3) 1.75X16 LVL	(3) 2X6

KING STUD SCHEDULE: WALL HT.=<10'-0"	
OPENING WIDTH	KING STUDS
<= 7'-0"	2X6
<= 16'-0"	(2) 2X6
<= 22'-0"	(3) 2X6

- NOTES:
1. PROVIDE KING STUDS PER SCHEDULE, U.N.O. ON PLAN.
 2. COMPARE KING STUDS TO SHEARWALL HOLDOWN/STRAP TIE POST REQUIREMENTS, LARGER SIZE SHALL BE PROVIDED.
 3. WHERE WALL STUDS ARE LVL, PROVIDED LVL TRIMMER AND KING STUDS PER SCHEDULE.

note: see engineered truss package for all truss designs/details and placement/location of roof trusses.

LICENSED ARCHITECT
AR-984329
[Signature]
BYRON T. HILLS
STATE OF IDAHO
02/20/2023

10 of 10

Project # Barndo1

Custom home Design

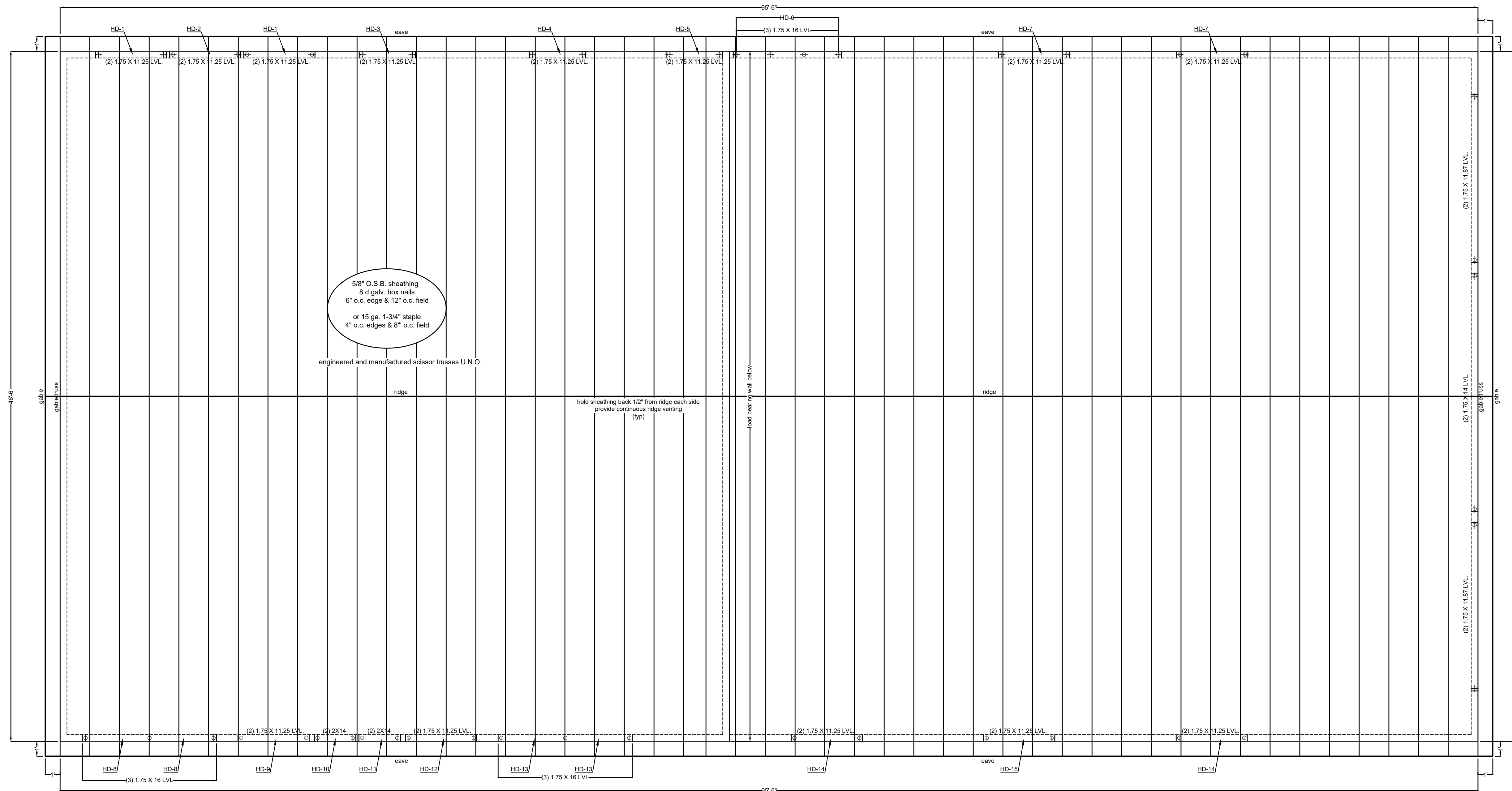
date: 02/20/2023

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email: saarinen.nic@gmail.com

33787 NE Kern Ct. Scappoose OR, 97056



Note:
provide positive rafter/truss connection to top plate with pressure blocking nailed to plate w/ min. (2) 16d box nails & rafter/truss nailed to pressure blocking w/ min. (2) 16d box nails or use manufactured roof clips such as Simpson H1 or H2.5

entire main roof shall be sheathed prior to over-framing or framer shall provide rafter ties to prevent lateral thrust and blocking to support rafters at roof to roof connections

all bearing headers are 4x8 #2DF or better unless noted (see roof & floor plan/s)

provide bearing to all point loads per plans

PD= post down provide full beam width bearing provide minimum bearing per beam calcs.

attic ventilation per Section R806

785 sf. attic area/300= 2.62/2= 1.31
1.31 sf. eave line venting required
1.31 sf. ridge line venting required
provided soffit venting w/ frieze blocks w/2" screened holes or continuous soffit venting in soffit panel or screened vented sections or closed soffit panel.
provide roof jack vents 1' from ridge line evenly spaced or continuous ridge venting or gable vents totaling required venting

all roof areas shall be ventilated including porch roofs with closed ceilings

optional roof ventilation method
spray 3 inches foam insulation
on underside of roof sheathing
eliminate all attic ventilation

roof framing plan

1/4" = 10"

a new Barndominium for
Leo Stoddard
McCall Idaho

SITE LOCATION

Barndo1
McCall Idaho

Valley, county
McCall, Idaho

From: [Morgan Stroud](#)
To: [Leo Stoddard](#)
Cc: [Brian Parker](#); [Meredith Todd](#)
Subject: DR 23-03 - 651 Stockton Dr - Engineering Review
Date: Wednesday, March 29, 2023 2:10:54 PM
Attachments: [image001.png](#)

The Public Works Department has reviewed the documents submitted for review for **DR23-03** and have the following comments and concerns.

Public Works preliminary review indicates a final civil design for this project will likely conform to the City and State of Idaho's design standards. The following comments elaborate on information that is needed to show compliance with these standards.

1. Please show sight triangles on your plans for the proposed driveway. It appears that the driveway may be hidden by existing trees east of the driveway in combination with the existing curvature of the roadway.
2. From the plans submitted, it appears that a roadside swale is existing along Stockton Drive. Please identify the culvert sizing and material for the driveway to cross the roadside swale.
3. As a note, the shown driveway is currently larger than what is allowed by City Standards and would be asked to be reduced to 20 feet or less if Stockton Drive was maintained by the City.
4. Thank you for the preliminary drainage plan. With the size of this project in comparison to the size of the property, it seems likely that the project will likely meet our drainage requirements. A few more items will be required to be submitted prior to approval. Those items include:
 - a. Stormwater requirements **over 5,000 square feet but less than 15,000 square feet** of impervious area remains, must be put together by an Idaho licensed Professional Engineer:
 - i. Stormwater drainage report that covers sections A,B,C,D, and F of the Stormwater Management Checklist
 - ii. A site/grading plan showing temporary and permanent BMP's
 - iii. Detention area and design calculations verifying adequate are for the 1st flush storm (2yr-design storm)
 - b. Supporting links for Stormwater items above:
 - i. Stormwater Application:
<https://evogov.s3.amazonaws.com/141/media/115535.pdf>
 - ii. Drainage Management Guidelines:
<https://evogov.s3.amazonaws.com/141/media/115536.pdf>
 - iii. Stormwater Design Criteria Resolution 16-10:
<https://evogov.s3.amazonaws.com/141/media/115537.pdf>
 - iv. DEQ BMP Catalog:
<https://www2.deq.idaho.gov/admin/LEIA/api/document/download/14968>
 - v. GIS Application with 2ft contours as optional layer for site/grading plan -
<https://mccall.maps.arcgis.com/apps/webappviewer/index.html?id=3ecba344abc24c7a8018307dd72f71ab>

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Thank you,



McCall Public Works

Morgan Stroud, E.I.T.

Staff Engineer

(D) 208.634.3458

(C) 208.315.2299

www.mccall.id.us/engineering



Valley County Transmittal
Division of Community and Environmental Health

Return to:

- Cascade
- Donnelly
- McCall
- McCall Impact
- Valley County

Rezone # _____

Conditional Use # DR 23-03

Preliminary / Final / Short Plat _____

Lot 15 Blk 1 West Place Sub
657 Stockton OR

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
 - high seasonal ground water
 - bedrock from original grade
 - waste flow characteristics
 - other _____
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approvals from appropriate entities are submitted, we can approve this proposal for:
 - central sewage
 - interim sewage
 - individual sewage
 - community sewage system
 - central water
 - individual water
 - community water well
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
 - central sewage
 - sewage dry lines
 - community sewage system
 - central water
 - community water
- 10. Run-off is not to create a mosquito breeding problem
- 11. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 12. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 13. We will require plans be submitted for a plan review for any:
 - food establishment
 - beverage establishment
 - swimming pools or spas
 - grocery store
 - child care center

14. A septic system for a 5 bedroom home was installed and approved on 10/11/22. Applicant will need to submit a new necessary use application for approval to connect Reviewed By: [Signature]

Date: 3 / 13 / 23

From: [Jeff Bateman](#)
To: [Brian Parker](#)
Subject: DR23-03/ 651 Stockton DR.
Date: Tuesday, March 14, 2023 9:17:57 AM
Attachments: [image001.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brian,
Payette Lakes Recreational Water and Sewer District has reviewed the above referenced projects, and we do not have any comments at this time.

Jeff Bateman
Manager, Payette Lakes Recreational Water and Sewer District
(208) 634-4111



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From: [Jeff Mcfadden](#)
To: [Brian Parker](#); [Andrew Marini](#); [Chip Bowers](#); [Chris Curtin](#); [Cynda Herrick](#); [Dale Caza](#); [Dallas Palmer](#); [Dave Bingaman](#); [David Simmonds](#); [Delta James](#); [Emily Hart](#); [Garrett de Jong \(garrett@mccallfire.com\)](#); [IDL Jurisdictional Inbox](#); [ITD Development Services](#); [ITD District 3 Permits](#); [Jasen King, IDL](#); [Jeff Bateman](#); [jennifer.schildgen@itd.idaho.gov](#); [John Powell](#); [Jordan Messner](#); [Kathy Riffie](#); [Krystal Giessen](#); [Kurt Wolf](#); [Lance Holloway, DEQ](#); [Laura Shealy BPLWOAC](#); [Laurie Frederick](#); [Levi Brinkley](#); [Linda Stokes](#); [Lori Hunter](#); [Lorraine Brush](#); [Mark Wasdahl, ITD](#); [Meredith Todd](#); [Michelle Groenevelt](#); [Mike Reno](#); [Morgan Stroud](#); [Nathan Stewart](#); [Rachel Santiago-Govier](#); [Regan Berkley](#); [Sabrina Sims](#); [Scott Corkill](#); [Sheri Staley - Idaho Power](#); [Steve Moser, Idaho Power](#); [Valley County Road Department](#); [Vincent Tromboli](#)
Subject: Re: City of McCall Request for Comment - April 4th Applications
Date: Tuesday, March 14, 2023 7:28:35 AM
Attachments: [image001.png](#)
[image002.png](#)

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DR23-03 Approach permit was approved by previous owner on 9-10-2020

From: Brian Parker <barker@mccall.id.us>
Sent: Friday, March 10, 2023 3:28 PM
To: Andrew Marini <Andrew.Marini@itd.idaho.gov>; Chip Bowers <chip@bowerslandsurveys.com>; Chris Curtin <ccurtin@mccall.id.us>; Cynda Herrick <cherrick@co.valley.id.us>; Dale Caza <dcaza@plrwsd.org>; Dallas Palmer <palmerd@mccall.id.us>; Dave Bingaman <dbingaman@co.valley.id.us>; David Simmonds <dsimmonds50@gmail.com>; djames@mccall.id.us <djames@mccall.id.us>; Emily Hart <ehart@mccall.id.us>; Garrett de Jong (garrett@mccallfire.com) <garrett@mccallfire.com>; IDL Jurisdictional Inbox <IDL_jurisdictional@idl.idaho.gov>; ITD Development Services <D3Development.Services@itd.idaho.gov>; ITD District 3 Permits <ITDD3Permits@itd.idaho.gov>; Jasen King, IDL <jking@idl.idaho.gov>; Jeff Bateman <jbateman@plrwsd.org>; Jeff Mcfadden <jmcfadden@co.valley.id.us>; jennifer.schildgen@itd.idaho.gov <jennifer.schildgen@itd.idaho.gov>; John Powell <jpowell@mccall.id.us>; Jordan Messner <jordan.messner@idfg.idaho.gov>; Kathy Riffie <kriffie@co.valley.id.us>; giessenk@mccall.id.us <giessenk@mccall.id.us>; Kurt Wolf <kwolf@mccall.id.us>; Lance Holloway, DEQ <lance.holloway@deq.idaho.gov>; Laura Shealy BPLWOAC <idchik5@gmail.com>; Laurie Frederick <lfr frederick@co.valley.id.us>; Levi Brinkley <lbrinkley@mccall.id.us>; Linda Stokes <lstokes@mccall.id.us>; Lori Hunter <lhunter@co.valley.id.us>; Lorraine Brush <lbrush@plrwsd.org>; Mark Wasdahl, ITD <mark.wasdahl@itd.idaho.gov>; Meredith Todd <mtodd@mccall.id.us>; Michelle Groenevelt <mgroenevelt@mccall.id.us>; Mike Reno <mreno@cdh.idaho.gov>; Morgan Stroud <mstroud@mccall.id.us>; Nathan Stewart <nstewart@mccall.id.us>; Rachel Santiago-Govier <rsantiago-govier@mccall.id.us>; Regan Berkley <regan.berkley@idfg.idaho.gov>; Sabrina Sims <ssims@mccall.id.us>; Scott Corkill <scorkill@idl.idaho.gov>; Sheri Staley - Idaho Power <sstaley@idahopower.com>; Steve Moser, Idaho Power <smoser@idahopower.com>; Valley County Road Department <roaddept@co.valley.id.us>; Vincent Tromboli <Vincent.Trimboli@itd.idaho.gov>
Subject: City of McCall Request for Comment - April 4th Applications

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

All,

From: [Emily Hart](#)
To: [Brian Parker](#)
Cc: [Meredith Todd](#)
Subject: RE: City of McCall Request for Comment - April 4th Applications
Date: Wednesday, March 15, 2023 2:20:31 PM
Attachments: [image001.png](#)
[image002.png](#)

Brian,



See Airport comments below:

From: Brian Parker <barker@mccall.id.us>
Sent: Friday, March 10, 2023 3:28 PM
To: Andrew Marini <Andrew.Marini@itd.idaho.gov>; Chip Bowers <chip@bowerslandsurveys.com>; Chris Curtin <ccurtin@mccall.id.us>; Cynda Herrick <cherrick@co.valley.id.us>; Dale Caza <dcaza@plrwsd.org>; Dallas Palmer <palmerd@mccall.id.us>; Dave Bingaman <dbingaman@co.valley.id.us>; David Simmonds <dsimmonds50@gmail.com>; Delta James <djames@mccall.id.us>; Emily Hart <ehart@mccall.id.us>; Garrett de Jong (garrett@mccallfire.com) <garrett@mccallfire.com>; IDL Jurisdictional Inbox <IDL_jurisdictional@idl.idaho.gov>; ITD Development Services <D3Development.Services@itd.idaho.gov>; ITD District 3 Permits <ITDD3Permits@itd.idaho.gov>; Jasen King, IDL <jking@idl.idaho.gov>; Jeff Bateman <jbateman@plrwsd.org>; Jeff Mcfadden (jmcfadden@co.valley.id.us) <jmcfadden@co.valley.id.us>; jennifer.schildgen@itd.idaho.gov; John Powell <jpowell@mccall.id.us>; Jordan Messner <jordan.messner@idfg.idaho.gov>; Kathy Riffie (kriffie@co.valley.id.us) <kriffie@co.valley.id.us>; Krystal Giessen <giessenk@mccall.id.us>; Kurt Wolf <kwolf@mccall.id.us>; Lance Holloway, DEQ <lance.holloway@deq.idaho.gov>; Laura Shealy BPLWQAC <idchik5@gmail.com>; Laurie Frederick, Valley Co Cartographer <lfrick@co.valley.id.us>; Levi Brinkley <lbrinkley@mccall.id.us>; Linda Stokes <lstokes@mccall.id.us>; Lori Hunter (lhunter@co.valley.id.us) <lhunter@co.valley.id.us>; Lorraine Brush <lbrush@plrwsd.org>; Mark Wasdahl, ITD <mark.wasdahl@itd.idaho.gov>; Meredith Todd <mtodd@mccall.id.us>; Michelle Groenevelt <mgroenevelt@mccall.id.us>; Mike Reno <mreno@cdh.idaho.gov>; Morgan Stroud <mstroud@mccall.id.us>; Nathan Stewart <nstewart@mccall.id.us>; Rachel Santiago-Govier <rsantiago-govier@mccall.id.us>; Regan Berkley <regan.berkley@idfg.idaho.gov>; Sabrina Sims <ssims@mccall.id.us>; Scott Corkill, IDL <scorkill@idl.idaho.gov>; Sheri Staley - Idaho Power <sstaley@idahopower.com>; Steve Moser, Idaho Power <smoser@idahopower.com>; Valley County Road Dept <roaddept@co.valley.id.us>; Vincent Tromboli <Vincent.Tromboli@itd.idaho.gov>
Subject: City of McCall Request for Comment - April 4th Applications

All,

Please provide comment on the following items prior to the due date indicated on the cover memo.

[CUP-23-01 – 1755 Warren Wagon Rd – Clare Dreyer \(IMPACT AREA\)](#) NO AIRPORT REQUIREMENTS

 [CUP-23-03 – 651 Stockton Dr – Leo Stoddard \(IMPACT AREA\)](#) IN HORIZONTAL SURFACE. FAA FORM  7460-1 REQUIRED.

[DR-23-04 – TBD Stibnite St – The Land Group for MDSD](#) IN APPROACH AND TRANSITIONAL SURFACES. FAA FORM 7460-1 REQUIRED. NOTIFICATION TO RESIDENTS OF AIRPORT PROXIMITY AND ASSOCIATED RISK, NOISE, AND FUMES IN CCRS.

Thank you,

Brian Parker, AICP | City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4256 | Fax: 208.634.3038



City of McCall

Web: mccall.id.us

Blog: mccallcitysource.com

Social: [Facebook.com/cityofmccall](https://www.facebook.com/cityofmccall)



Keeping citizens informed.

[Please click to sign up for CodeRED!](#)

From: [Garrett de Jong](#)
To: [Brian Parker](#)
Subject: Re: DR-23-03 – 651 Stockton Dr – Leo Stoddard (IMPACT AREA) - McCall Fire Comments
Date: Wednesday, March 22, 2023 9:54:25 AM
Attachments: [image002.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Brian,

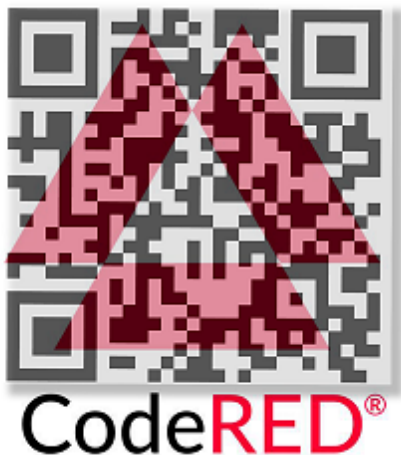
I do not have any comments regarding DR-23-03 – 651 Stockton Dr – Leo Stoddard (IMPACT AREA).

Thank you,

Garrett de Jong
Fire Chief - McCall Fire & EMS



[Scan QR code below or click here to sign up for CodeRED!](#)



This message has been sent to you as official business of the McCall Fire Protection District. If you have a concern about the authenticity of this communication, including any attachments, please contact the sender directly for confirmation, either by telephone or separate e-mail. Unencrypted e-mail is inherently insecure and should be treated with caution.

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McCall Area Planning and Zoning Commission
Staff Report
CUP-23-01

Salon and Shop Conditional Use Permit

1755 Warren Wagon Road

April 4, 2023

Applicant:	Clare Dreyer
Representative:	None
Application:	Conditional Use Permit and Design Review
Zoning District:	R4 - Low Density Residential
Jurisdictional Area:	Area of Impact

Description

An application for a Conditional Use Permit Application for a CUP to entitle a commercial business (Salon & Retail) in a residential zone.

Project Summary

Project Information

Zoning District: R4 - Low Density Residential

Comprehensive Plan Designation: Low Density Residential

Project Acreage: 0.55 acres

Proposed Use: Existing salon and retail space

Code Sections of Interest

- McCall Code Section 3.2.02: Meanings of Terms or Words:
BUSINESS: Any retail or wholesale store, professional office, or similar kind of commercial establishment. See also, definition of Home Occupation.

HOME OCCUPATION: A business conducted within a dwelling unit, which activity is clearly incidental to the use of the residence as a dwelling and does not change the residential character thereof, is conducted in such a manner as to not give any outward appearance of a business in the ordinary meaning of the term, and does not infringe upon the right of neighboring residents to enjoy a peaceful occupancy of their homes for which purpose the residential zone was created and primarily intended.

RETAIL BUSINESS: A business which sells goods to the public at a price normally greater than the wholesale price.

SERVICE RETAIL BUSINESS: A business which sells a service to the public at a price normally greater than the wholesale price.

- McCall Code Section 3.3.02: Residential Use Regulations:
Table 3.2.02 identifies “Retail business” and “Service retail business” as conditional uses in the R4 – Low Density Residential zone.
- McCall Code Section 3.7.031: Lands Included
The scenic route zone includes:
 - (A) One hundred fifty foot (150') wide strips of land bounded by the right of way lines of the following named streets, and by lines parallel to and one hundred fifty feet (150') away from such right of way lines, together with any right of way not part of the roadway:
 - 3. Warren Wagon Road to the northern boundary of the area of city impact.
- McCall Code Section 3.7.032(G): Requirements for Development:
For Sale: Along the scenic route, vehicles and other personal property shall not be displayed for sale outside of a building unless the occupant of the property is an authorized dealer of merchandise that is consistent with the primary business and has obtained approval from the administrator. The owner or occupant of property along the scenic route may display his or her own vehicle or other personal property for sale on his or her own premises.
- McCall Code Section 3.13.03(B): Findings for Granting Permit:
A conditional use permit shall be granted only if the commission finds that the use, as applied for, in fact will:
 - 1. Constitute a conditional use authorized in the zone involved.
 - 2. Be harmonious with and in accord with the general objectives and with any specific objectives of the comprehensive plan and/or this title.
 - 3. Be designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or likely character of the neighborhood, and that such use will not change the essential character of the surrounding area.
 - 4. Not be detrimental to the health, safety and general welfare of persons residing or working in the neighborhood of such proposed use.
 - 5. Not cause any substantially harmful environmental consequences to any land or waters within the planning jurisdiction.
 - 6. Not create excessive additional public cost for public facilities and services, and will not be detrimental to the economic welfare of the community.
 - 7. Be served adequately by essential public facilities and services including highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools. The applicant may be required, as a condition of approval, to mitigate any deficient public service.

8. Not involve uses, activities, processes, materials, equipment or conditions of operation that will cause unreasonable production of traffic, noise, smoke, fumes, glare, odors or other forms of pollution.
9. Have vehicular approaches to the property so designed as not to create a detrimental interference with traffic on surrounding public or private thoroughfares, or adversely affect the pedestrian environment.
10. Not result in the destruction, loss or damage of an important natural, scenic or historic feature.
11. Be on a site of sufficient size to accommodate the proposed use, including the yards, open spaces, snow storage, walls, fences, parking areas, loading zones and design standards applicable.
12. Have a minimal negative economic impact on the neighborhood or surrounding community.

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:
McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.
- Deep Dive – Future Land Use Designations – Low Density Residential:
This land use designation is intended to provide for the development of low-density single-family residential neighborhoods. These neighborhoods consist of larger home sites.
- Our Economy – Population Policy 3.1:
Encourage young adults to stay in McCall and seek to attract young families and retirees by providing quality of life amenities, work opportunities, transportation choices, recreation opportunities, convenient healthcare, broadband, and a vibrant downtown.
- Our Economy – Economic Development Policy 2.4:
Provide a flexible, efficient, innovative, responsive regulatory environment.

Staff Discussion

- The applicant is proposing to continue operating a hair salon and retail store.
- The business was originally approved as a home occupation associated with the residence located on the property. The residential structure was destroyed in 2015, but the business remained in operation. As there is no residence for the business to be subordinate to, it no longer qualifies as a home occupation and is thus required to submit a conditional use permit.
- The site has recently contained outdoor displays of merchandise, non-permitted temporary signage, and similar violations of McCall Code.

Comments

Agency –

- City of McCall Public Works

In an email dated March 28, 2023, the McCall Staff Engineer provided the following comments:

The Public Works Department has reviewed the documents submitted for review for **CUP23-01** and have the following comments and concerns.

Public Works preliminary review indicates a final civil design for this project will likely conform to the City and State of Idaho's design standards. The following comments elaborate on information that is needed to show compliance with these standards.

1. A stormwater application was received for this project. In a preliminary meeting with Public Works, a drainage report detailing sections A,B,F of the Drainage Management Guidelines was requested. Please submit that information for review.
 - a. Drainage Management Guidelines:
<https://evogov.s3.amazonaws.com/141/media/115536.pdf>
2. This portion of Warren Wagon Rd is in Valley County. The driveway would exceed maximum widths on a City maintained roadway. If any proposed changes are made to the existing driveway, the applicant will need to obtain necessary permits from the County prior to changes being made.

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Public –

No public comments have been received to date.

Potential Motions

Potential Motions Regarding CUP-23-01:

1. "I move to recommend approval of CUP-23-01 to the Valley County Board of Commissioners with the staff recommended conditions of approval."
2. "I move to recommend approval of CUP-23-01 to the Valley County Board of Commissioners with the staff recommended conditions of approval with the following modifications: _____."
3. "I move to continue CUP-23-01 to the _____ meeting to allow time for staff and the applicant to provide more information on the following: _____."
4. "I move to remand CUP-23-01 back to staff and more information on _____ prior to reschedule the application for a new public hearing."
5. "I move to continue CUP-23-01 to the May 2, 2023 meeting and direct staff to prepare findings of fact and conclusions of law documents recommending denial the subject application to the Valley County Board of Commissioners for the reasons identified in the Commission's deliberations."

Conditions of Approval

1. Prior to the issuance of a building permit, the applicant shall receive final engineering approval.
2. No merchandise shall be displayed outside of the existing structures on the subject property.
3. No signage is permitted with this application. All existing and any future signage on the property is required to be in conformance with Title III, Chapter 9 of McCall Code. All existing signage must be either permitted or removed within 60 days of approval of this Conditional Use Permit.

4. Business hours shall be limited to 7 AM to 8 PM.
5. All parking shall occur on private property.

Prepared By:



Brian Parker
City Planner



Distribution Memorandum

Date: March 10, 2023

To: City of McCall

Airport

Community and Economic Development

Finance

Information Systems

Parks and Recreation

Police

Public Works

Valley County

Assessor's Office

County Surveyor

Parks and Recreation

Planning and Zoning

Road & Bridge

State

Central District Health Department

Idaho Department of Environmental Quality

Idaho Department of Lands

Idaho Fish and Game

Idaho Transportation Department

Idaho Transportation Department, Division of
Aeronautics

Other

Big Payette Lake Water Quality Council

Idaho Power Company

McCall Fire Protection District

Payette Lakes Recreational Water and Sewer
District

A complete list of individual recipients is available upon request.

From: Brian Parker, City Planner

CUP-23-01– 1755 Warren Wagon Rd – Clare Dreyer IMPACT AREA

An application for a Conditional Use Permit Application for a CUP to entitle a commercial business (Salon & Retail) in a residential zone. The property is zoned R4, is located along the Warren Wagon Rd Scenic Route, and is more particularly described as:

Tax No. 28 in Gov't Lot 2, situate in Section 5, T18N, R3E, B.M., Valley County, Idaho.

Planning and Zoning Meeting Date: April 4, 2023

Comments Deadline: **March 24, 2023**

Your comments are appreciated and the applicant will be required to satisfy all comments prior to approval. If you would like your comments incorporated to any Planning and Zoning documents please send me your comments by the date indicated above. If you have questions or concerns regarding the application, please contact the City Planner at 208-634-4256.

City of McCall
216 East Park Street
McCall, ID 83638
Phone (208) 634-7142
Email mtodd@mccall.id.us



PLRWSD
201 Jacob St
McCall, ID 83638
Phone (208) 634 4111
Email info@plrwsd.org

UTILITY DUE DILIGENCE FORM

Prior to scheduling an application for a Preliminary Development Plan Review, or, "Pre-App" before the McCall Area Planning & Zoning Commission, the Applicant will present to the McCall Area Planning Administrator, City of McCall Public Works Administrator, and Payette Lakes Recreational Water & Sewer District Administrator, a **preliminary development plan** for review and discussion. These required meetings are intended to determine what opportunities, challenges, and logistics would be applied to the Preliminary Plan, such as Planning and Zoning Standards, Water Meter Sizing, Sewage Hookup and Improvement Requirements, and other infrastructural standards as they apply to large-scale development projects in the McCall Area. All materials to be reviewed and discussed shall be provided, or be available, to each of the agency representatives identified, and proof of all meetings having been conducted must be provided with the [Preliminary Development Plan Review Application Form](#).

Please check all that apply:

- Annexation or Rezone (ZON)
- Conditional Use Permit (CUP)
- Planned Unit Development (PUD) General Plan
- Planned Unit Development (PUD) Final Plan
- Street Vacation (VAC)
- Subdivision (SUB) Preliminary Plat
- Subdivision (SUB) Final Plat
- Variance (VAR)

Recommended Documents

- Project Description
- Estimated Project Timeline
- Site Plan
- Vicinity Map

Applicant Information: To be filled by applicant

Applicant: Clare Dreyer Phone/Email: 406-461-5764 clare.dreyer@gmail.com

Applicant's Mailing Address: PO Box 2081 McCall ID 83638

Agent/Representative: _____ Phone/Fax/Email: _____

Agent/Representative's Mailing Address: _____

Address of Subject Property: 1755 Warren Wagon Rd McCall ID 83638

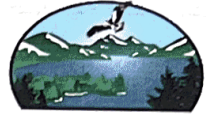
Legal Description of Property: Lot 2, section 5, Township 18 N, Range 3 E, Boise Meridian

Zoning District of Property: R4 Valley County, Idaho

Explain the general nature of what is proposed:

Existing business

McCall Area Planning & Zoning Due Diligence Report:
To be completed by City Staff



City of McCall
COMMUNITY
DEVELOPMENT

Staff Member: _____

Staff Signature: _____ Date: _____

Agent Present: _____ Phone/Fax/Email: _____

Address/Parcel # of Subject Property: _____

Legal Description of Property: _____

Zoning District of Property: _____

Proposed Use: _____ # Permitted Res Units _____

Property Size: _____ Allowable Lot Coverage % _____

All Planning & Zoning Applications Required: _____

General Comments/Attachments: _____

City of McCall Public Works Due Diligence Report:
To be completed by City Staff



City of McCall
PUBLIC WORKS

Staff Member: Morgan Strand

Staff Signature: Morgan Strand Date: 09/28/22

Agent Present: Clair Phone/Fax/Email: _____

Address of Subject Property: 1755 Warren Wagen

Water Meter Sizing (ERUs): N/A Fire Flow Analysis Required: (yes / no)

Property Size: 0.56 acres Max Grade: 12.9% Avg Grade: 7.5% Impervious Area: 3680
Mean

Public Infrastructure Improvements Expected: N/A

Traffic Study: (yes / no) If yes, general scope: _____

General Comments:

County maintained roadway. If any changes to driveway, will need to talk to County.

See stormwater hand-out for requirements on report and plans.



**Payette Lakes Recreational Water & Sewer District Due Diligence Report:
To be completed by Sewer District Staff**

Staff Member: Lorraine Brush

Staff Signature: Lorraine Brush Date: 2/21/2023

Agent Present: Clare Dreyer Phone/Fax/Email: _____

Address of Subject Property: 1755 Warren Wagon Rd

Eligible EDUs: _____

Consistent w/ Sewer Density Map?: (yes / no) Sewage Model Required: (yes / no)

Property Size: .56 acre Max Grade: _____ Avg Grade: _____

Sewage Improvements Expected: _____

General Comments:
Converted sewer account from residential to Commercial
to reflect usage.

CRITERIA OF APPROVAL RESPONSES

The following questions relate to the criteria of approval for a Conditional Use Permit. The Commission must assess compliance with these criteria to act upon the CUP application. To allow the Commission to understand the proposed use, the applicant shall provide, on a separate sheet, typed responses to the following in their application:

1. Is the use a conditional use in the zone?

Impact zone - Small business
• landscaped
• open 8-6pm
• off street parking

2. Explain the relationship of the proposed use to the Comprehensive Plan.

Serving the permanent year-round population in less dense neighborhoods in a more traditional manner

3. Explain how the application meets the general and specific objectives of Title 3.

Existing small town buildings with landscaping in less dense neighborhoods in a more traditional manner

4. How is the proposed use harmonious with the character of the existing neighborhood?

Existing buildings from 1950's cleaned up and landscaped to add character and visual appeal

5. How is the proposed use harmonious with the appearance of the existing neighborhood?

Existing buildings from 1950's cleaned up and landscaped

6. How will the proposed use NOT be detrimental to the general welfare, health, and safety of the neighborhood?

Existing since 1950's, maintained clean property with landscaping, plenty of space for vehicles, no additional noise

7. How will the proposed use NOT harm the land or water of the subject property and adjacent properties?

Using existing well and PLRWSD
Managed landscaping

8. What public services and facilities will serve the proposed use? Police? School? Streets? Fire? Water? Sewer? Other?

Existing since 1950's
Police, Fire, County roads, Sewer

- a. Explain how the proposed project will NOT add incremental costs to each of these services or facilities? If additional cost will be incurred, how will that cost be mitigated?

No additional cost above previous use

- b. Explain how the proposed project will be served by the above services and facilities.

County plows roads EMS as needed
PLRWSD sewer

9. How will the proposed use NOT cause unreasonable traffic, noise, glare, and other forms of pollution?

No significant traffic increase on Warner Wagon Rd
Buildings contain any sound made
No additional pollution or glare

10. How will the proposed use NOT adversely affect the pedestrian environment?

There is no existing pedestrian path

11. How will the proposed use NOT be a detriment to traffic on surrounding streets?

Distance from surrounding streets is over 200 ft

12. How will the proposed use NOT affect scenic features?

Northwest side of Warren Wagon, not obstructing scenery

13. How will the proposed use NOT affect historic features?

No historic features in proximity to affect

14. Explain how the subject property is of sufficient size to accommodate the proposed use in relation to snow storage, open space requirements, parking areas, landscaping, etc.

Less than 1/4 of property is developed
3/4 of property for snow storage, parking, landscaping etc.

15. Explain how the proposed use will NOT have a negative economic impact on the surrounding neighborhood or community?

One of the only full time residents in the area, from neighborhood meeting there is no one to impact and positive response from the neighbors who did attend & contact me

PROJECT DESCRIPTION

In addition to the above responses, the applicant shall provide answers to the following questions in their application.

1. Explain, in detail, the proposed use.

Existing Salon

2. What is the relationship of the proposed use to the surrounding properties?

Minimal contact if any with surrounding properties except when neighbors come for a visit

3. How does the proposed landscaping plan comply with the [requirements of Title 3?](#)

Existing single storage on half acre with majority of lot undeveloped
Landscaped and maintained around the year

4. How does the lighting comply with the [requirements of Title 3, Chapter 14?](#)

Uniform, safe, within property lines, on building and complimentary style
lighting entrances, directed downward, fully shielded with no glare

Dear Resident :

I'm hosting a neighborhood meeting as the applicant of a Conditional Use Permit for the residents of the neighborhood in which my existing business operates. The meeting is required prior to formal submittal of the Conditional Use Permit to the city of McCall.

This letter is notice of an opportunity to review and discuss the Conditional Use for my existing salon shop space located at 1755 Warren Wagon Rd., in McCall, Idaho. This is not a public hearing; public officials will not be present. If you have any questions regarding this City of McCall neighborhood meeting requirement, please contact the Planning Department at 208-634-4168.

If you have questions about this Conditional Use, please contact the representative listed below.

PURPOSE :

To review and provide comments regarding the Conditional Use for existing salon and shop space located at 1755 Warren Wagon Rd., McCall, ID 83638.

WHEN :

Tuesday, Oct 18, at 6:00pm

WHERE:

1755 Warren Wagon Rd., McCall, Idaho

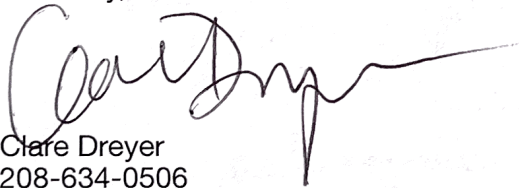
PROJECT DESCRIPTION:

Review of existing salon and shop

If you have questions about the meeting, please contact Clare Dreyer by phone 208-634-0506.

Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read 'Clare Dreyer', with a long horizontal flourish extending to the right.

Clare Dreyer
208-634-0506

EDDIE GARCIA
1770 WARREN WAGON RD
MCCALL ID 83638
7601 W Bearcreek Ct
Boise ID 83704

RICHARD RODRIGUEZ
ID 83638
11890 Ginger Creek Dr
Boise ID 83713

ELIZABETH KEIM
1736 WARREN WAGON RD
MCCALL ID 83638
1927 W Bearcreek Dr
Nampa ID 83686

JAN REEVES
1720 WHITEBARK RD
MCCALL ID 83638
PO Box 1645
Mccall ID

WILLIAM MORGAN
1750 WHITEBARK RD
MCCALL ID 83638
PO Box 212
Mccall

KATHLEEN BERG
1725 WHITEBARK RD
MCCALL ID 83638
3869 N Garden Center Way
Boise ID 83703

SEAN ROCKE
1785 WARREN WAGON RD
MCCALL ID 83638
2630 N Duane Dr
Meridian ID 83646

NATALIE DYRUD
1735 WARREN WAGON RD
MCCALL ID 83638
PO Box 3026
Mccall

DENNIS PECAROVICH
1764 WARREN WAGON RD
MCCALL ID 83638
90 Sleepy Ln
Grangerville ID 83530

CATHERINE SKIDMORE
1748 WARREN WAGON RD
MCCALL ID 83638
136 S W Elias Dr
Meridian ID 83642

DIANNE JUDD-WADE
1730 WARREN WAGON RD
MCCALL ID 83638
PO Box 274
Mccall

DARYAH PROPERTIES LLC
1730 WHITEBARK RD
MCCALL ID 83638
PO Box ~~2477~~ 2477
Mccall Eagle ID 83616

DONALD WOLVERTON
1745 WHITEBARK RD
MCCALL ID 83638
10584 N Sagrest bl
Boise ID 83714

HARDWICK YOUNG
1775 WARREN WAGON RD
MCCALL ID 83638
3527 Columbia Ct
Walnut Creek CA 94598

DAVANIS GEORGE M & NADINE M
REV TRUST
1745 WARREN WAGON RD
MCCALL ID 83638
9 Anchor Ln
San Carlos, CA 94070

BARCLAY HAUBER
1742 WARREN WAGON RD
MCCALL ID 83638
160 Old Pollock Rd
Pollock ID 83547

JOE WEBER
1720 GLADYS RD
MCCALL ID 83638
PO Box 3110
Mccall

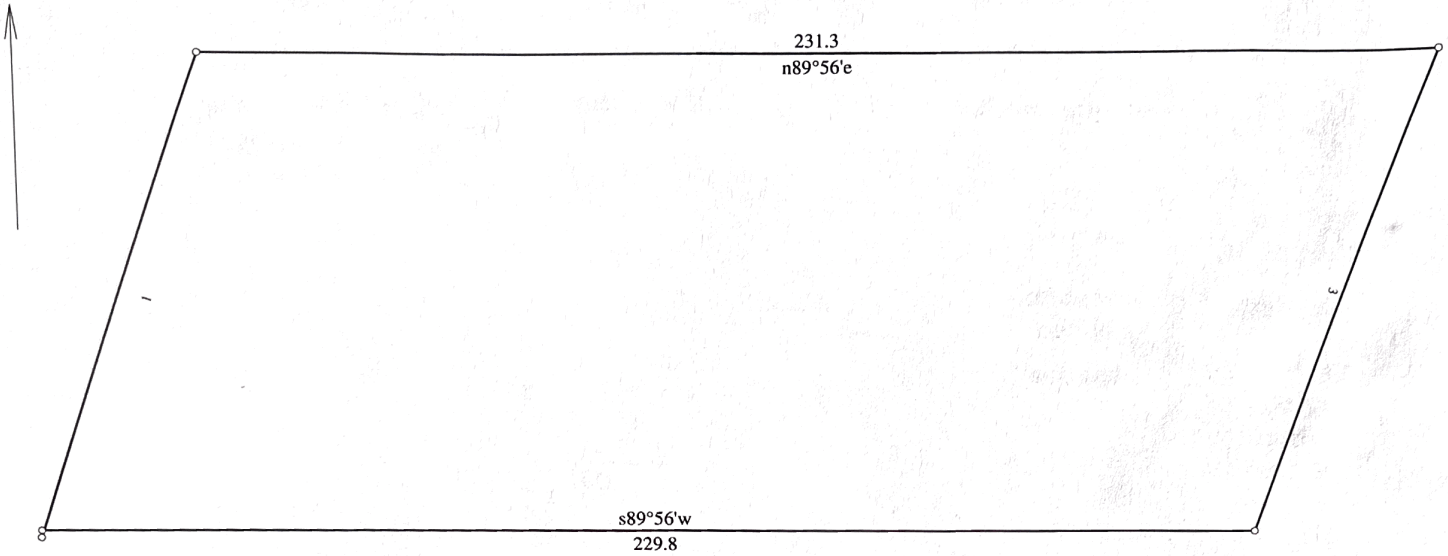
JARED HENDEE
1740 WHITEBARK RD
MCCALL ID 83638
PO Box 2081
Mccall

SHANE HINSON
1735 WHITEBARK RD
MCCALL ID 83638
PO Box 2067
Mccall

SEAN ROCKE
1781 WARREN WAGON RD
MCCALL ID 83638
2630 N Duane Dr
Meridian ID 83646

RONALD PAULSEN
1737 WARREN WAGON RD
MCCALL ID 83638

613 Heritage Cove
Hutto TX 78634



Title:

Date: 09-21-2022

Scale: 1 inch = 35 feet

File:

Tract 1: 0.504 Acres: 21971 Sq Feet: Closure = s02.3347w 1.43 Feet: Precision = 1/464: Perimeter = 662 Feet

001: Rt, R=4089
Bng=n17.50e, Chd=100.9
002=n89.56e 231.3

003: Lt, R=3869.7
Bng=s18.52w, Chd=100
004=s89.56w 229.8



Instrument # 388435
 VALLEY COUNTY, CASCADE, IDAHO
 11-12-2014 16:57:56 No. of Pages: 1
 Recorded for: AMERITITLE CASCADE
 DOUGLAS A. MILLER Fee: \$10.00
 Ex-Officio Recorder Deputy: JLP
 Electronically Recorded by Simplifile

WARRANTY DEED

Order No.:24061AM

FOR VALUE RECEIVED

Jack David Spiegelman, Successor Trustee
~~Jack Spiegelman and Ann Spiegelman as Trustees~~ U/T/A dated 5/30/89
 known as The Spiegelman Family Trust

the grantor(s), do(es) hereby grant, bargain, sell and convey unto

Jared Hende and Clare Dreyer, husband and wife

whose current address is:

507 1st Street, McCall, ID 83638

the grantee(s), the following described premises, in Valley County, Idaho, TO WIT:

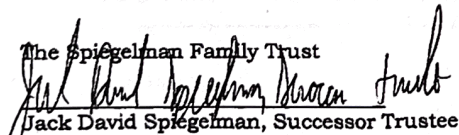
A parcel of land in Lot 2, Section 5, Township 18 North, Range 3 East, Boise Meridian, Valley County, Idaho, more particularly described as follows:

Commencing at the quarter corner between Sections 5 and 6, Township 18 North, thence along the section line between Sections 5 and 6, North 0°40' West 645.1 feet; thence on the arc of a curve of radius 4089.0 feet, the long chord of which bears North 16°26' East 100.8 feet the real point of beginning; thence on the arc of a curve of radius 4089.0 feet the long chord of which bears North 17°50' East 100.9 feet; Thence North 89°56' East 231.3 feet; thence on the arc of a curve of radius 3869.7 feet the long chord of which bears South 18°52' West 100.0 feet; Thence South 89° 56' West 229.8 feet to the point of beginning.

TO HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee, heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee(s), that (s)he is/are the owner(s) in fee simple of said premises; that they are free from all encumbrances Except: Current Year Taxes, conditions, covenants, restrictions, reservations, easements, rights and rights of way, apparent or of record.

And that (s)he will warrant and defend the same from all lawful claims whatsoever.

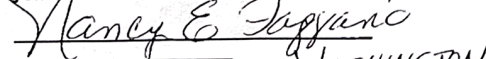
Dated: November 10, 2014

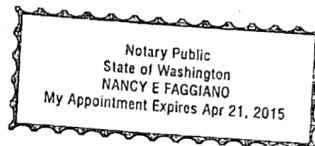
The Spiegelman Family Trust

 Jack David Spiegelman, Successor Trustee

State of WASHINGTON } ss.
 County of THURSTON }

On this 10th day of November, 2014, before me, NANCY E FAGGIANO, a Notary Public in and for said state, personally appeared JACK DAVID SPIEGELMAN, SUCCESSOR TO known or identified to me to be the person whose name is subscribed to the foregoing instrument as trustee of the Spiegelman Family Trust, and acknowledged to me that he/she/they executed the same as Trustee.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.


 Notary Public for the State of WASHINGTON
 Residing at: TACOMA
 Commission Expires: 04-21-2015





General Stormwater Checklist for Development Projects

The chart below provides a reference of items required to be addressed by projects based on information found in the City's Drainage Management Guidelines.

For more information or questions regarding these items please contact: Morgan Stroud, mstroud@mccall.id.us, (208) 634-3458

Property Address: 1755 Warren Wagen Rd
 Date Completed: 09/28/2022

Requirements for Stormwater Report	Property Size (acres)			Unique Conditions Pipe or Ditch install/modification
	0 - 2	< 2 - 5	< 5 - ∞	
	Amount of Impervious Area (sqft.)			
	0 - 5,000	5,001 - 15,000	15,001 - ∞	
Stormwater Mangement Plan Checklist Items				
Idaho Professional Engineer Stamp		x	x	x
Section A	x	x	x	
Section B	x	x	x	
Section C		x	x	x
Section D		x	x	
Section E			x	
Section F	x	x	x	
Description of:				
Temporary BMP's	x	x	x	
Permanent BMP's		x	x	
Description of:				
Plan for 1 st flush storm (2 year design storm)		x	x	
Plan for detention of increased runoff			x	
Exhibits in Report:				
Calculations validating plan for 1 st flush storm (2 year design storm)		x	x	
Calculations validating plan for detention of increased runoff			x	
Calculations to validate pipe sizing				x
Grading Plan with temporary/permanent BMP's	x	x	x	x

Additional Comments:

STORMWATER APPLICATION
City of McCall

Fill in all information. Submit one copy of signed application and three copies of Stormwater Management Plan/Report to the City Engineer.

1. Project Name: Conditional Use Permit
Location: 1755 Warren Wagon Rd McCall ID 83638

2. Owner's Name: Clare Dreyer
Street: PO Box 2081 City: McCall
State: ID Zip Code: 83638 Phone: 406 461-5764

3. Project Description: Existing Business Conditional Use

- a. Total property area, in acres. .504
- b. Proposed impervious surface (asphalt, rooftop, concrete, sidewalk, etc.) in square feet. Existing asphalt
- c. Describe existing vegetation present on site. flowers on 3 sides of north structure
Mature trees and grass on west 50% of lot
- d. Start date of construction. n/a
- e. Estimated length of time to complete improvements. n/a

4. Stormwater Management Plan/Report attached? Yes No

5. Circle the section of the Stormwater Management Plan/Report Checklist which are applicable to project.

A B C D E F

6. Party responsible for operation and maintenance of project, including maintenance of temporary and permanent Best Management Practices:

Clare Dreyer owner Clare Dreyer Sept 26 2022
Name Title Signature Date
PO Box 2081 406-461-5764
Address Daytime Phone After Hours Phone

Do not write below this line.

This Stormwater Management Plan/Report is:

Approved: _____

Not Approved: _____

Approved, with conditions: _____

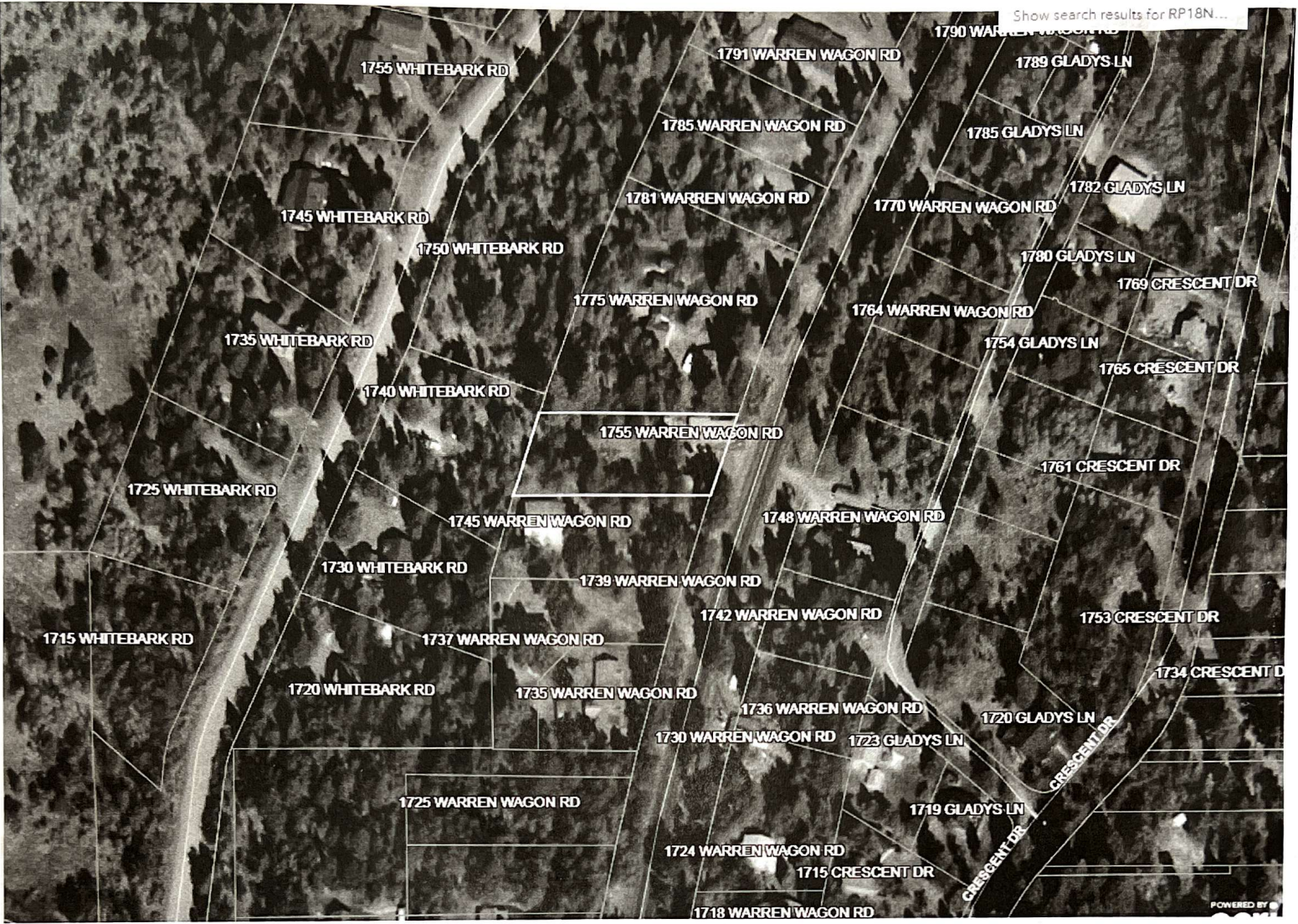
By The City of McCall

Representative

Title

Signature

Date



1755 WHITEBARK RD

1791 WARREN WAGON RD

1790 WARREN WAGON RD

1789 GLADYS LN

1745 WHITEBARK RD

1785 WARREN WAGON RD

1785 GLADYS LN

1750 WHITEBARK RD

1781 WARREN WAGON RD

1770 WARREN WAGON RD

1782 GLADYS LN

1735 WHITEBARK RD

1775 WARREN WAGON RD

1764 WARREN WAGON RD

1780 GLADYS LN

1769 CRESCENT DR

1740 WHITEBARK RD

1755 WARREN WAGON RD

1754 GLADYS LN

1765 CRESCENT DR

1725 WHITEBARK RD

1745 WARREN WAGON RD

1748 WARREN WAGON RD

1761 CRESCENT DR

1730 WHITEBARK RD

1739 WARREN WAGON RD

1753 CRESCENT DR

1715 WHITEBARK RD

1737 WARREN WAGON RD

1742 WARREN WAGON RD

1734 CRESCENT DR

1720 WHITEBARK RD

1735 WARREN WAGON RD

1736 WARREN WAGON RD

1720 GLADYS LN

1725 WARREN WAGON RD

1730 WARREN WAGON RD

1723 GLADYS LN

CRESCENT DR

1724 WARREN WAGON RD

1715 CRESCENT DR

1719 GLADYS LN

1718 WARREN WAGON RD



Valley County Transmittal
Division of Community and Environmental Health

Return to:

- Cascade
- Donnelly
- McCall
- McCall Impact
- Valley County

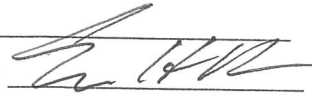
Rezone # _____

Conditional Use # CUP Z3-01

Preliminary / Final / Short Plat _____

Sec 5
1755 Warner Wagon

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
 - high seasonal ground water
 - bedrock from original grade
 - waste flow characteristics
 - other _____
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approvals from appropriate entities are submitted, we can approve this proposal for:
 - central sewage
 - interim sewage
 - individual sewage
 - community sewage system
 - central water
 - individual water
 - community water well
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
 - central sewage
 - sewage dry lines
 - community sewage system
 - central water
 - community water
- 10. Run-off is not to create a mosquito breeding problem
- 11. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 12. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 13. We will require plans be submitted for a plan review for any:
 - food establishment
 - beverage establishment
 - swimming pools or spas
 - grocery store
 - child care center
- 14. _____

Reviewed By: 

Date: 3 / 12 / 23

From: [Wendy Howell](#)
To: [Brian Parker](#)
Subject: RE: City of McCall Request for Comment - April 4th Applications
Date: Tuesday, March 14, 2023 10:57:52 AM
Attachments: [image004.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Brian,

Thank you for the opportunity to respond to the existing hair salon at 1755 Warren Wagon Rd., McCall, Idaho. This site does not abut the State Highway system. ITD does not have any objections to this project.

Thank you,

Wendy S Howell, PCED
Development Services Coordinator
Idaho Transportation Department, District 3
8150 W Chinden Blvd
Boise, ID 83714
Phone No: (208) 334-8338
Email: wendy.howell@itd.idaho.gov



YOUR Safety •••▶ YOUR Mobility •••▶ YOUR Economic Opportunity

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From: [Jeff Bateman](#)
To: [Brian Parker](#)
Subject: CUP-23-01/1755 Warren Wagon
Date: Tuesday, March 14, 2023 9:17:10 AM
Attachments: [image001.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brian,
Payette Lakes Recreational Water and Sewer District has reviewed the above referenced projects, and we do not have any comments at this time.

Jeff Bateman
Manager, Payette Lakes Recreational Water and Sewer District
(208) 634-4111



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From: [Garrett de Jong](#)
To: [Brian Parker](#)
Subject: Re: CUP-23-01 – 1755 Warren Wagon Rd – Clare Dreyer (IMPACT AREA) - McCall Fire Comments
Date: Wednesday, March 22, 2023 9:54:29 AM
Attachments: [image002.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Brian,

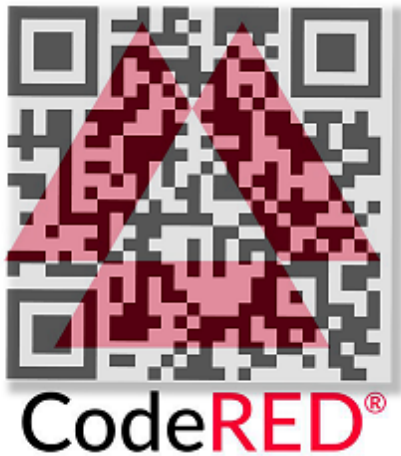
I do not have any comments regarding CUP-23-01 – 1755 Warren Wagon Rd – Clare Dreyer (IMPACT AREA).

Thank you,

Garrett de Jong
Fire Chief - McCall Fire & EMS



[Scan QR code below or click here to sign up for CodeRED!](#)



This message has been sent to you as official business of the McCall Fire Protection District. If you have a concern about the authenticity of this communication, including any attachments, please contact the sender directly for confirmation, either by telephone or separate e-mail. Unencrypted e-mail is inherently insecure and should be treated with caution.

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nature. If you are not the intended recipient, please be advised that you are legally prohibited from retaining, using, copying, distributing, or otherwise disclosing this information in any manner. Instead, please reply to the sender that you have received this communication in error, and then immediately delete it. Thank you in advance for your cooperation.

From: [Morgan Stroud](#)
To: clare.dreyer@gmail.com
Cc: [Brian Parker](#); [Meredith Todd](#)
Subject: CUP 23-01 - 1775 Warren Wagon Rd - Engineering Review
Date: Tuesday, March 28, 2023 11:41:02 AM
Attachments: [image001.png](#)

The Public Works Department has reviewed the documents submitted for review for **CUP23-01** and have the following comments and concerns.

Public Works preliminary review indicates a final civil design for this project will likely conform to the City and State of Idaho's design standards. The following comments elaborate on information that is needed to show compliance with these standards.

1. A stormwater application was received for this project. In a preliminary meeting with Public Works, a drainage report detailing sections A,B,F of the Drainage Management Guidelines was requested. Please submit that information for review.
 - a. Drainage Management Guidelines:
<https://evogov.s3.amazonaws.com/141/media/115536.pdf>
2. This portion of Warren Wagon Rd is in Valley County. The driveway would exceed maximum widths on a City maintained roadway. If any proposed changes are made to the existing driveway, the applicant will need to obtain necessary permits from the County prior to changes being made.

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Thank you,



Morgan Stroud, E.I.T.
Staff Engineer
(D) 208.634.3458
(C) 208.315.2299
www.mccall.id.us/engineering

McCall Area Planning and Zoning Commission
Staff Report
PUDF-23-01, FP-23-01

River Ranch Phase Final Development Plan and Plat

101 Headquarters Road

April 4, 2023

Applicant:	McCall River Ranch Company
Representative:	Devon M. Spickard
Application:	Final Development Plan and Subdivision Final Plat
Zoning District:	RE - Residential Estates
Jurisdictional Area:	City Limits

Description

An application for a final plat and final development plan for a 27 lot subdivision on a 126.67 acre parcel. 26 of the parcels are residential, and one (1) parcel is a non-buildable common lot.

Project Description

Project Information

Zoning District: RE - Residential Estates

Comprehensive Plan Designation: Large Residential

Project Acreage: 126.67-acres

Proposed Use: Single Family Residential

City Council Approval Date: December 19, 2019

Code Sections of Interest

- McCall City Code Section 3.10.09(G)-(I): Application Procedure:

(G) Final Development Plan: Within eighteen (18) months after approval of the preliminary development plan, the applicant shall submit to the city a final development plan for the entire PUD or a final development plan for the first phase of development if the PUD has been approved for phased development. The applicant shall submit final development plans for any subsequent phases within the time limit specified in the approval of the preliminary development plan. (Ord. 883, 11-4-2010)

1. The final development plan may be submitted to the commission upon approval by the city of detailed improvement plans, including private street construction, utility locations, drainage, dedications of easements and public facilities, along with a proposed schedule for

phasing. Any necessary agreements for maintenance, etc., shall be prepared and submitted for review and approval at this time.

2. Items that shall be included in the final development plan are:

(a) Drawings And Information: The final development plan shall be drawn in clear and legible form on good quality tracing paper or Mylar® drafting film at a reasonable size and scale to clearly show all required information. Ten (10) prints of the plan made from this drawing shall accompany the application.

(b) Information Required On The Plan: In addition to that required by the preliminary development plan, or otherwise specified by law, the following information shall be shown on the plan:

(1) Reference points of identified existing surveys related to the PUD plan by distances and bearings and referenced to field book or map, including stakes, monuments or other evidence found on the ground and used to determine the boundaries of the PUD.

(2) The location and width of streets and easements intercepting the boundary of the tract.

(3) Easements and stormwater drainage facilities clearly identified and, if already of record, their recorded reference. The width of the easement, its length and bearing, and sufficient ties to locate the easement with respect to the PUD shall be shown. If the easement is being dedicated by the plan, it shall be properly referenced in the owner's certificates of dedication.

(4) Identification of land to be dedicated for any purpose, public or private.

(5) Other plans and studies as required at preliminary approval such as a grading plan, soils engineer report, traffic study, detailed landscaping and buffering plans where required.

(c) Additional Certificates Or Drawings: The following may be combined where appropriate:

(1) A certificate signed and acknowledged by all parties having any recorded title interest in the land, consenting to the preparation and recording of the PUD.

(2) A certificate signed and acknowledged as above, dedicating the land intended for public use, if any.

(3) A certificate with the seal of and signed by the surveyor responsible for the survey.

(4) A title report issued by the title insurance company verifying ownership by the applicant of real property that is to be dedicated to the public.

(5) A copy of any deed restrictions applicable to the PUD.

(d) Design Plan: A detailed design plan for the PUD site including:

(1) The location of proposed buildings and structures, parking and maneuvering areas and/or the location of allowable building areas of individual lots, if any.

(2) Building setback lines, if any, that are to be made part of the PUD restrictions.

(3) The location and type of proposed buildings, structures or improvements in common open space areas.

(4) The location and detailed information for all proposed streets, with approval by the city for public streets and fire marshal for private streets.

(5) A plan for water mains approved by the city and fire hydrants approved by the fire chief.

(6) A plan for sanitary sewer approved by the city.

(7) A plan for stormwater drainage with approval by the city.

(8) Plans for additional improvements such as pedestrianways, street lighting, public utilities, street trees, etc. (Ord. 821, 2-23-2006, eff. 3-16-2006)

(9) The applicant shall provide the data as required by the digital data submittal standards policy. (Ord. 899, 5-24-2012)

(e) Landscaping And Buffering Plan: A landscaping and buffering plan for common open space areas, the periphery of the PUD and other required locations. The plan shall show area to remain in natural vegetation; and, in a clear manner, the area, sizes, numbers and general types of plant and other materials to be used. Revegetation of common open space areas and periphery areas disturbed during the construction of services, dwellings or other facilities proposed during the construction schedule, if cannot be completed prior to occupancy of dwellings or as otherwise required by the conditions of approval, an improvement guarantee of a sufficient amount shall be required to assure timely completion.

(f) Restrictive Covenants Or Conditions: The subdivider shall submit in final form any restrictive covenants or conditions that shall be applied to the subdivision, including architectural or design controls, organization of a homeowners' association, assessments, various homeowners' committees, easements, and a legal description of the property. Also to be submitted, if required, are the final bylaws and articles of incorporation of the homeowners' association.

(H) Commission Recommendations On Final Plan: The commission shall recommend to the council approval, approval with modifications, or disapproval of the final development plan. The commission shall base an approval on evidence that the final development plan fulfills the requirements of the preliminary PUD approval and all applicable requirements of this title and title IX of this code have been met.

(I) Council Action On Final Plan: The council shall approve, approve with modifications, or disapprove the final PUD plan and the final subdivision plat or phasing proposal, where applicable. Approval of the final plan shall constitute the requirements for the land in the PUD. Any subsequent changes from the final plan shall be subject to approval by the commission and the city council.

- McCall City Code Section 9.2.07(D)-(E): Final Plat:

(D) Procedure For Approval Of Final Plat:

1. Review By Administrator:

(a) Acceptance: Upon receipt of the final plat, and compliance with all other requirements as provided herein, the administrator shall certify the application as complete and shall affix the date of acceptance thereon.

(b) Resubmission Of Final Plat: The administrator shall review the final plat for compliance with the approved or conditionally approved preliminary plat. If the administrator determines that there is material change in the final plat than from which was approved as a preliminary plat or conditions which have not been met, the administrator may require that the final plat be submitted to the commission and council (or board) in the same manner as required in the preliminary plat process.

(c) Submission To Commission: Within forty five (45) days (or 60 days, if a public hearing, in the opinion of the commission, is required) of receipt of the final plat, the commission shall review the plat for compliance with the decisions made upon the review of the preliminary plat, PUD development plan, subdivision and other agreements subsequent thereto, and if in order, shall recommend approval of the plat by motion and transmit the final plat to the council (or board).

(d) Submission To Council (Or Board): Upon determination by the commission that the final plat is in compliance with the preliminary plat and that all conditional requirements have been met, the administrator shall place the final plat on the council (or board) agenda within forty five (45) days from the date that the final plat has been recommended for approval by the commission.

2. Agency Review: The administrator may transmit one copy of the final plat, and other documents submitted, for review and recommendation to the departments and agencies as deemed necessary to ensure compliance with the preliminary approval and/or conditions of preliminary approval. Such agency review may also include the construction standards of improvements, compliance with health standards, the cost estimate for all improvements and the legal review of the performance bond.

3. Council (Or Board) Action: The administrator's report and the final plat, together with the development agreement, shall be placed on the council (or board) agenda for its approval. The council (or board) shall consider the final plat for approval at its next regular meeting after the meeting at which it receives the plat prepared in accordance with this chapter. The council (or board) shall have approved any development agreement before approving the final plat.

The council (or board) shall consider the comments from concerned departments and agencies to arrive at a decision on the final plat. The city council (or board) shall approve, approve conditionally, disapprove or table to a date certain and request additional information to be provided within thirty (30) days of the date of the first regular meeting at which the final plat is considered. An extension of time may be granted by the administrator to permit preparation of additional work not previously considered. A copy of the approved plat shall be filed with the administrator. Upon granting or denying the final plat, the city council (or county board) shall specify:

(a) The ordinance and standards used in evaluating the application.

(b) The reasons for approval or denial.

(c) The actions, if any, that the applicant could take to obtain approval.

(d) If the final plat and development agreement, if any, are approved by the council (or board), it shall instruct the city manager to execute the agreement on behalf of the city.

4. Omission Of Information: In the event it is determined that the applicant has omitted significant information, if such information is publicly known and available, regarding adjacent properties (see subsection 9.2.04(J) of this chapter) from the preliminary or the final plat, the commission or council (or board) may elect to reopen the public hearing for reconsideration of the plat in order to determine if a change in plat is justified or desirable. Such determination must be disclosed by the city no later than one year after approval of the final plat. (Ord. 822, 2-23-2006, eff. 3-16-2006)

(E) Financial Guarantees: With respect to financial guarantees, the approval of all final subdivision plats shall be conditioned on the provision of a surety acceptable to the city clerk in the amount of one hundred twenty five percent (125%) of infrastructure improvements (including landscaping and erosion control) filed in the form of a cash deposit, certified check, irrevocable bank letter of credit, or performance bond at the time of the final plat approval with the required development agreement.

Infrastructure construction or site disturbance generally should not begin until the final plat is recorded with the respective development and financial guarantees. If the applicant proposes to perform infrastructure work or site work prior to final plat recordation, then the applicant shall submit a plan for administrative review and approval which includes the following:

1. The nature and scope of the proposed work;
2. The estimated cost of the proposed work;
3. The schedule for commencement and completion of the proposed work; and
4. The means of financing the proposed work.

The administrator shall review the application and document any additional conditions required to issue the administrative approval for infrastructure improvements. Conditions shall be designed to mitigate the impacts on public interests in the case of the noncompletion of the proposed work.

Comprehensive Plan Sections of Interest

Vision in Motion – Our Vision:

McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.

Deep Dive – Future Land Use Designations – Large Residential:

This land use designation permits the development of large lot, single-family residential areas, and is intended to establish a rural setting and encourage preservation of open space and recreation areas. *Implementing Zoning Districts: R-1, RE*

Staff Discussion

- The applicant is proposing to plat 27 parcels on 126.7 acres. The proposed final development plan and final plat is generally in conformance with the preliminary development plan and preliminary plat associated with the site (PUD-19-04/SUB-19-06).
- Article 9 of the draft CC&Rs states the following:
“Notwithstanding any provision to the contrary contained in these Supplemental CCRs, Declarant reserves the right to further develop any parcels or areas designated as “Open Space” on the Phase 2 Plat as Declarant may determine in its sole discretion. Declarant need not seek or obtain approval from the Ranch Association or any Owners of Affected Lots for any such improvements or for platting of the same. All Owners of the Affected Lots hereby consent to such future development and waive any claim that such development is incompatible with or otherwise diminishes the value of their Lot or River Ranch.”

The City of McCall should be able to review development of open space parcels to ensure compliance with the approved preliminary development plan and preliminary plat. Prior recordation of the final plat, the applicant should provide a revised set of CC&Rs with Article 9 modified to include a statement that the City of McCall must approve any proposed development of open space parcels shown on the River Ranch Phase 2 plat.

- Plat Note #13 on the final plat references Titles 9 and 11 of Valley County Code regarding the regulation of Flood Zones shown on the River Ranch Phase 2 plat. As the subject property is within McCall City Limits, Title IX, Chapter 8 is the appropriate flood control regulation. Prior to recordation of the final plat, the applicant should provide a revised final plat with Plat Note #13 revised to state “... Flood Zones are subject to change by FEMA and all land within a floodway or floodplain is regulated by Title IX, Chapter 8 of McCall City Code.”
- Avigation is misspelled on Plat Note #14. Prior to recordation, the applicant should provide a revised final plat with Plat Note #14 revised to reference the applicable avigation easement.

Comments

Agency –

McCall Public Works

In an email dated March 29, 2023, the McCall Staff Engineer provided the following comments:

The Public Works Department has reviewed the documents submitted for review for **PUDF 23-01** and have the following comments and concerns.

1. Please detail what will happen with the remaining piece of property between the new access roadway and Lot 32.
2. Add a detail of the pathway cross-section that was constructed to the “secondary access plans”.
3. Please detail the pathway crossing of the new secondary access roadway.

4. As previously discussed with the design team, our understanding of the changes occurring to the infrastructure extension to Moonridge at the old access point includes:
 - a. Removing the hydrant that was previously to be located at the corner of Moonridge and the secondary access,
 - b. Extending and capping the watermain out of the Rawhide Loop to allow for a future extension,
 - c. Removing the improvements shown on Moonridge Drive,
 - d. Removing the surfacing improvements on the access road
5. The proposed changes in 2 will be reflected in the as-built drawings for the property that are provided to the City after construction is completed.
6. A utility easement will remain in the alignment of the previous secondary access to accommodate a future connection to the City's watermain system.
7. Please provide quantities and units with the cost estimate provided by Falvey's for the public improvements. Currently there are only totals for line items, but to validate the estimates shown, we need to see the quantities and units.
8. Reviewing the draft easement language provided for the pathway easement. There is some concern regarding item 5 allowing for the grantor to relocate the pathway at anytime with the language in item 4 detailing that the City is responsible for all the maintenance of this pathway.

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

McCall Airport

In an email dated March 15, 2023, the McCall Airport Manager provided the following comments:

IN HORIZONTAL SURFACE. FAA FORM 7460-1 REQUIRED WITH BUILDING PERMIT. NOTIFICATION TO RESIDENTS OF AIRPORT PROXIMITY AND ASSOCIATED RISK, NOISE, AND FUMES IN CCRS.

Valley County Road & Bridge

In an email dated March 17, 2023, the Valley County Road and Bridge Department provided the following comment:

Any roads built off of Mission or Moonridge will require an Approach in County ROW permit from Valley County Road Department.

Public –

No public comment has been received.

Potential Motions

Potential Motions Regarding PUDF-23-01, FP-23-01:

1. "I move to recommend approval of PUDF-23-01, FP-23-01 to the McCall City Council with the recommended conditions of approval."
2. "I move to recommend approval of PUDF-23-01, FP-23-01 to the McCall City Council with the staff recommended conditions of approval with the following modifications: _____."

3. "I move to continue PUDF-23-01, FP-23-01 to the _____ meeting to allow time for staff and the applicant to provide more information on the following: _____."
4. "I move to remand PUDF-23-01, FP-23-01 back to staff and more information on _____ prior to reschedule the application for a new public hearing."
5. "I move to continue PUDF-23-01, FP-23-01 to the May 2, 2023 meeting and direct staff to prepare findings of fact and conclusions of law documents recommending denial the subject application to the McCall City Council for the reasons identified in the Commission's deliberations."

Conditions of Approval

1. Prior to recordation, the applicant shall receive final engineering approval.
2. Prior recordation of the final plat, the applicant shall provide a revised set of CC&Rs with Article 9 modified to include a statement that the City of McCall must approve any proposed development of open space parcels shown on the River Ranch Phase 2 plat.
3. Prior to recordation of the final plat, the applicant shall provide a revised final plat with Plat Note #13 revised to state "... Flood Zones are subject to change by FEMA and all land within a floodway or floodplain is regulated by Title IX, Chapter 8 of McCall City Code."
4. Prior to recordation, the applicant shall provide a revised final plat with Plat Note #14 revised to reference the applicable avigation easement.
5. Prior to issuance of a building permit for any lot, proof of sewer or septic permit shall be required.
6. Prior to execution and recordation of the Subdivision Final Plat, the applicant shall construct all required street and pathway improvements and underground the overhead utility lines and shall obtain final approval of these aspects from the City of McCall. Alternatively, the applicant shall obtain approval of a Development Agreement with the City and shall provide financial assurances for any deferred improvements.
7. Pursuant to McCall City Code (MCC 9.2.07(F)), final subdivision plat approval shall lapse and become void whenever the applicant has not recorded the plat within eighteen (18) months from the date of final plat approval by McCall City Council. Alternatively, the applicant shall obtain approval of a Development Agreement with the City that details a phasing plan and completion timeline.
8. Prior to execution and recordation of the Subdivision Final Plat, the applicant shall provide digital files of the plat in accordance with the McCall Digital Data Submission Standards.
9. Prior to execution and recordation of the Subdivision Final Plat, all easements shall be indicated on the final plat and shall be formally documented with signed declarations and recorded with the plat.
10. A full set of as built (record) drawings of all improvements intended for public use and maintenance, including, but not limited to, water and sewer lines, and including also private and public streets, shall be furnished to the city for the permanent records of the city within sixty (60) days of completion of the construction.



City of McCall

COMMUNITY DEVELOPMENT

www.mccall.id.us

216 East Park Street
McCall, Idaho 83638

Phone 208-634-7052

Main 208-634-7142

Fax 208-634-3038

Distribution Memorandum

Date: March 13, 2023

To: City of McCall

Airport

Community and Economic Development

Finance

Information Systems

Parks and Recreation

Police

Public Works

Valley County

Assessor's Office

County Surveyor

Parks and Recreation

Planning and Zoning

Road & Bridge

State

Central District Health Department

Idaho Department of Environmental Quality

Idaho Department of Lands

Idaho Fish and Game

Idaho Transportation Department

Idaho Transportation Department, Division of
Aeronautics

Other

Big Payette Lake Water Quality Council

Idaho Power Company

McCall Fire Protection District

Payette Lakes Recreational Water and Sewer
District

A complete list of individual recipients is available upon request.

From: Brian Parker, City Planner

PUD Final Plan (FPUD-23-01) and Subdivision Final Plat (FP-23-01) – River Ranch Phase 2 – River Ranch Company

An application for a final plat and final development plan for a 27 lot subdivision on a 126.67 acre parcel. 26 of the parcels are residential, and one (1) parcel is a non-buildable common lot. The property is zoned RE – Residential Estate; and is more particularly described as:

Located in the S ½ of Section 20 and the N ½ of Section 29, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

Planning and Zoning Meeting Date: April 4, 2023

Comments Deadline: **March 24, 2023**

Your comments are appreciated and the applicant will be required to satisfy all comments prior to approval. If you would like your comments incorporated to any Planning and Zoning documents please send me your comments by the date indicated above. If you have questions or concerns regarding the application, please contact the City Planner at 208-634-4256.

City of McCall
216 East Park Street
McCall, Idaho 83638
P.208.634.7142

LAND USE APPLICATION



Date Received:
2-21-23

Fees Paid:

NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # _____ Record of Survey (ROS) - \$420
- # _____ Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # _____ Scenic Route (SR) - \$300
- # _____ Shoreline or River Environs (SH) - \$300
- # _____ Conditional Use Permit (CUP) - \$600
- # _____ Development Agreement - \$500
- # _____ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # _____ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # _____ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # _____ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # _____ Minor Plat Amendment - \$1,000
- # _____ Variance (VAR) - \$1,000
- # _____ Rezone (ZON) - \$1,500
- # _____ Zoning Code Amendment (CA) - \$750/title
- # _____ Annexation - \$3,000
- # _____ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

PROPERTY OWNER INFORMATION

Property Owner 1: McCall River Ranch Company Email: shannon@riverranchmccall.com

Mailing Address: PO Box 2529 Phone: (415)309-9231 (Elizabeth Hart)

Property Owner 2 (If Applicable): _____ Email: _____

Mailing Address: _____ Phone: _____

AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: Devon M. Spickard Email: dspickard@msn.com

Mailing Address: PO Box 622, McCall ID 83638 Phone: (541)556-8691

PROPERTY INFORMATION

Address(es) of Property: 101 Headquarters Rd, McCall ID 83638

Legal Description of Property: 126.67 acres located south of currently platted River Ranch Subdivision

Zoning District of Property: RE Project Sq. Footage (If Applicable): _____

Impact Area City Limits Residential Commercial

LAND USE APPLICATION CONTINUED

Payette Lakes Water and Sewer District or Septic System or not applicable

PROJECT DESCRIPTION

Explain the general nature of what is proposed: *(please attach supplemental information if needed)*

Applicant is proposing a Final PUD Plan and Final Plat for Phase 2 of River Ranch Subdivision, which consists of 27 lots (26 buildable) and approximately 6.9 acres of open space. See Project Narrative submitted herewith for a full description of the application.

SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

The submittal items identified in the application info sheets are the minimum required materials for the City to accept applications. The City Planner may require additional information based on the specific circumstances of each proposal.

McCall River Ranch Company
Devon M. Spickard, Agent



Signature

Property Owner 1

Signature

Property Owner 2 (If Applicable)

Signature

Agent/Authorized Representative

FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

Surveyor

Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.

SECESH ENGINEERING, INC.

335 Deinhard Lane, Suite 1
P.O. Box 70
McCall, ID 83638
208-634-6336 • FAX 208-634-6322

**BOUNDARY DESCRIPTION
RIVER RANCH SUBDIVISION PHASE 2**

A parcel of land situated in Sections 20 and 29, T.18N., R.3E., B.M., more particularly described as follows:

COMMENCING at the southwest corner of said Section 20; thence, along the line between said Sections 20 and 29,

- A.) S.89°59'05"E., 960.75 feet to the **POINT OF BEGINNING**; thence, departing said section line,
 - 1.) along a curve to the right having a radius of 270.00 feet, an arc length of 73.16 feet, through a central angle of 15°31'33", and a chord bearing and distance of N.16°18'31"W., 72.94 feet; thence,
 - 2.) N.89°59'05"W., 496.28 feet to the beginning of a tangent curve; thence,
 - 3.) along said curve to the right having a radius of 120.00 feet, an arc length of 214.40 feet, through a central angle of 102°22'12", and a chord bearing and distance of N.38°47'59"W., 187.00 feet; thence, tangent from said curve,
 - 4.) N.12°23'07"E., 284.15 feet; thence,
 - 5.) N.0°20'48"E., 1719.16 feet to a point on the normal high water line of the Payette River; thence, along said high water line,
 - 6.) N.83°24'17"E., 256.82 feet; thence,
 - 7.) S.69°18'06"E., 156.70 feet; thence,
 - 8.) S.61°52'02"E., 195.49 feet; thence,
 - 9.) S.71°22'29"E., 200.16 feet; thence,
 - 10.) S.53°46'10"E., 151.07 feet; thence,
 - 11.) S.73°33'15"E., 85.53 feet; thence,

- 12.) N.70°44'34"E., 243.01 feet; thence,
- 13.) N.38°12'38"E., 190.14 feet; thence,
- 14.) N.4°54'16"W., 201.13 feet; thence, departing said high water line,
- 15.) N.37°51'16"E., 138.71 feet to a point on the boundary of River Ranch Subdivision Phase 1B, filed in Book 12 of Plats at Page 33, as Instrument Number 342383, Records of Valley County, Idaho; thence, along said boundary,
- 16.) S.38°28'47"E., 383.94 feet; thence,
- 17.) S.69°30'45"E., 213.29 feet; thence,
- 18.) S.47°47'20"E., 398.96 feet; thence,
- 19.) S.32°27'01"E., 60.00 feet to the beginning of a non-tangent curve; thence,
- 20.) along said curve to the left having a radius of 730.00 feet, an arc length of 110.14 feet, through a central angle of 8°38'41", and a chord bearing and distance of S.53°13'38"W., 110.04 feet; thence,
- 21.) S.41°54'55"E., 618.96 feet; thence,
- 22.) S.54°54'55"W., 187.99 feet; thence,
- 23.) S.29°57'25"W., 63.37 feet; thence,
- 24.) S.59°13'26"E., 670.39 feet to the beginning of a non-tangent curve; thence,
- 25.) along said curve to the right having a radius of 550.00 feet, an arc length of 569.35 feet, through a central angle of 59°18'42", and a chord bearing and distance of N.60°25'55"E., 544.27 feet to the beginning of a reverse curve; thence,
- 26.) along said curve to the left having a radius of 395.00 feet, an arc length of 373.68 feet, through a central angle of 54°12'11", and a chord bearing and distance of N.62°59'11"E., 359.90 feet; thence,
- 27.) S.26°45'34"W., 1289.51 feet; thence, departing said boundary of Phase 1B,
- 28.) along a curve to the left having a radius of 635.00 feet, an arc length of 87.97 feet, through a central angle of 7°56'16", and a chord bearing and distance of S.56°28'18"W., 87.90 feet to the beginning of a non-tangent curve; thence,
- 29.) along said curve to the left having a radius of 30.00 feet, an arc length of 43.11 feet, through a central angle of 82°19'40", and a chord bearing and distance of

- N.11°20'20"E., 39.49 feet to the beginning of a tangent curve; thence,
- 30.) along said curve to the left having a radius of 220.00 feet, an arc length of 194.42 feet, through a central angle of 50°38'03", and a chord bearing and distance of N.55°08'32"W., 188.16 feet to the beginning of a reverse curve; thence,
 - 31.) along said curve to the right having a radius of 280.00 feet, an arc length of 162.57 feet, through a central angle of 33°16'02", and a chord bearing and distance of N.63°49'32"W., 160.30 feet; thence, tangent from said curve,
 - 32.) N.47°11'31"W., 85.68 feet to the beginning of a tangent curve; thence,
 - 33.) along said curve to the left having a radius of 50.00 feet, an arc length of 73.40 feet, through a central angle of 84°06'48", and a chord bearing and distance of N.89°14'55"W., 66.99 feet to the beginning of a reverse curve; thence,
 - 34.) along said curve to the right having a radius of 730.00 feet, an arc length of 370.24 feet, through a central angle of 29°03'34", and a chord bearing and distance of S.63°13'28"W., 366.29 feet to the beginning of a tangent curve; thence,
 - 35.) along said curve to the right having a radius of 1230.00 feet, an arc length of 625.46 feet, through a central angle of 29°08'06", and a chord bearing and distance of N.87°40'42"W., 618.74 feet to the beginning of a reverse curve; thence,
 - 36.) along said curve to the left having a radius of 570.00 feet, an arc length of 569.59 feet, through a central angle of 57°15'17", and a chord bearing and distance of S.78°15'42"W., 546.19 feet to the beginning of a reverse curve; thence,
 - 37.) along said curve to the right having a radius of 390.00 feet, an arc length of 327.42 feet, through a central angle of 48°06'08", and a chord bearing and distance of S.73°41'08"W., 317.89 feet; thence, tangent from said curve,
 - 38.) N.82°15'48"W., 27.05 feet to the beginning of a tangent curve; thence,
 - 39.) along said curve to the right having a radius of 270.00 feet, an arc length of 274.22 feet, through a central angle of 58°11'31", and a chord bearing and distance of N.53°10'03"W., 262.59 feet to the **POINT OF BEGINNING**.

CONTAINING 126.67 Acres, more or less.

**McCALL RIVER RANCH COMPANY
RIVER RANCH SUBDIVISION PHASE 2**

Applications for
Phase 2 Final Plat
Phase 2 PUD Final Plan

PREPARED FOR:
CITY OF McCALL
McCALL, IDAHO 83638
February 21, 2023

PREPARED BY:

APPLICANT

McCall River Ranch
Company
Elizabeth Hart Armstrong,
President
PO Box 2529
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208.634.8013
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SURVEYOR

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McCall, ID 83638
(208)634-6336
rmsecesh@citlink.net

PROJECT NARRATIVE

RIVER RANCH SUBDIVISION PHASE 2

Applications for

Phase 2 Final Plat

Phase 2 PUD Final Plan

McCall River Ranch Company is applying for the following: (a) Final Plat for Phase 2 of River Ranch Subdivision, a 27 lot phase of River Ranch Subdivision; and, (b) Planned Unit Development Final Plan for Phase 2 of River Ranch Subdivision. This document includes the Narratives for both applications.

A. PROCEDURAL HISTORY

Pre-Application Meeting for Phase 2 and 3 of River Ranch Subdivision was held on June 4, 2019.

McCall River Ranch Company submitted its Applications for Subdivision Preliminary Plat and Planned Unit Development General Plan for Phases 2 & 3 of the River Ranch Subdivision on or about August 20, 2019.

During its regularly scheduled November 5, 2019 meeting, the McCall Area Planning and Zoning Commission held a properly noticed public hearing and recommended the Planned Unit Development General Plan, Subdivision Preliminary Plat, and associated Second Amendment to Development Agreement to the City Council for approval.

During their regularly scheduled December 19, 2019 meeting, the McCall City Council held a properly noticed public hearing and approved the River Ranch Phases 2 & 3 PUD General Plan and Subdivision Preliminary Plats, and the Second Amendment to Development Agreement as recommended by the McCall Area Planning and Zoning Commission.

Additional public hearings are not required for PUD Final Plan review pursuant to MCC 3.10.09, or for Final Plat review pursuant to MCC 9.02.07.

B. PHASING – McCALL RIVER RANCH SUBDIVISION

Applicant's predecessor and the City of McCall entered into that certain **Development Agreement, "River Ranch" Subdivision** (Development Agreement), on or about November 1, 2001. Said Development Agreement was recorded on November 20, 2001 with the Valley County, Idaho Recorder as Instrument No. 258619.

The Development Agreement was modified when Applicant's predecessor and the City of McCall entered into that certain **Amendment to Development Agreement, "River Ranch" Subdivision**, on or about August 3, 2005. Said Amended Development Agreement was recorded with the Valley County, Idaho Recorder on August 3, 2005 as Instrument No. 298490.

Pursuant to the Development Agreement, as first amended, Applicant's predecessor completed the following phases of the subdivision:

River Ranch Subdivision Phase 1A: Final Plat recorded on December 22, 2005 with the Valley County, Idaho Recorder as Instrument No. 304211.

River Ranch Subdivision Phase 1B: Final Plat recorded on June 17, 2009 with the Valley County, Idaho Recorder as Instrument No. 342383.

Merganser Lake Planned Unit Development: Final Plat recorded on September 14, 2007 with the Valley County, Idaho Recorder as Instrument No. 325207.

Amended Merganser Lake Planned Unit Development: Amended Final Plat recorded on September 27, 2017 with the Valley County, Idaho Recorder as Instrument No. 409014.

The Development Agreement was further amended when Applicant and the City of McCall entered into that certain **Second Amendment to Development Agreement, “River Ranch” Subdivision**, on or about December 19, 2019. Said Second Amended Development Agreement was recorded with the Valley County, Idaho Recorder on December 30, 2019 as Instrument No. 425847. Section 3.5 of the Development Agreement was amended to provide to provide the following phasing plan for Phases 2 & 3 of the subdivision:

3.5.1 River Ranch shall apply for Final Plat and Final Plan for all or a portion of River Ranch Subdivision Phase 3 on or before April 30, 2025. The Phase 3 final plat, which includes significant open space, shall be recorded prior to the Phase 2 final plat.

3.5.2 River Ranch shall apply for Final Plat and Final Plan for all or a portion of River Ranch Subdivision Phase 2 on or before April 30, 2030.

STATUS OF PHASE 2 & 3:

River Ranch Subdivision Phase 3: Final Plat recorded on November 18, 2021 with the Valley County, Idaho Recorder as Instrument No. 446095. The preliminary plat for this phase was initially submitted with the preliminary plat for Phase 2, both of which were approved at the McCall City Council regular meeting held December 19, 2019. Improvements for Phase 3 are substantially completed with only the paving of the private road remaining.

River Ranch Subdivision Phase 2: Applicant has received preliminary approval of its Plat and PUD for Phase 2. Applicant is ready to begin construction of necessary improvements for said phase this spring. Applicant seeks approval of the Final Plat and Subdivision for Phase 2.

A depiction of the phases of McCall River Ranch Subdivision is attached hereto as **EXHIBIT 1**.

C. FINAL PLAT

A copy of the proposed final plat for River Ranch Subdivision Phase 2 is attached as **EXHIBIT 2**, and will be referred to in this narrative as the “Phase 2 Plat”. The following are some comments regarding the Phase 2 Plat.

1. Preliminary Plat Conditions of Approval. Attached at **EXHIBIT 3**, the Conditions of Approval for the Preliminary Plat and Preliminary Plan for River Ranch Subdivision Phase 2 are listed, together with an explanation of how each of the Conditions have been or will be addressed.

2. Compliance with Preliminary Plat. The final plat is in substantial compliance with the preliminary plat. The following are the minor changes to the plat:

The configuration of the 27 lots proposed in the preliminary plat has been adjusted to provide for more uniformity, and to provide for generally more attractive lots. The proposed final plat contains 26 buildable residential lots on 126.67 acres, increasing the proposed lot density from 4.69 (preliminary plat) to 4.87. The proposed final plat also increases the designated open space from 4.09 acres (preliminary plat) to 6.9 acres.

The only other change from the preliminary plat is the removal of the entrance from Moonridge Road. The proposed entrance off Moonridge presented several problems including the fact it was on a curve and created conflict where the pathway intersected with the entrance and Moonridge. The proposed new entrance is off Mission along a historic access road that is currently being used as a construction entrance. The proposed entrance will provide quicker response from emergency services. The proposed road is not part of the Plat for Phase 2, however construction plans for said entrance/road are attached hereto as **EXHIBIT 4b**, and said entrance/road shall be included as a public improvement for the approval of the Phase 2 plat.

3. Building Envelopes. Unlike the Lots in Phase 3 of the River Ranch Subdivision, which were adjacent to the North Fork of the Payette River, had limited buildable locations and required building envelopes to be established on the Plat, the building envelopes, landscape envelopes and association maintained envelopes for Phase 2 will be established pursuant to the General Covenants, Conditions and Restrictions for River Ranch Subdivision and the adopted Design Guidelines for River Ranch Subdivision (previously provided as part of the Preliminary Plat application). The building envelopes, landscape envelopes and association maintained envelopes created under the CCRs and design guidelines will be more restrictive than City required setbacks and will be subject to review by the River Ranch Design Review Committee.
4. Governing Documents. Supplemental Covenants, Conditions and Restrictions for River Ranch Subdivision Phase 2 are attached hereto as **EXHIBIT 5**. The Articles and Bylaws for the River Ranch McCall Owners' Association, as well as the General Covenants, Conditions and Restrictions for River Ranch Subdivision were previously recorded with earlier phases of River Ranch Subdivision, and were provided as part of the Preliminary Plat application at Exhibit 2.6. The Design Guidelines for River Ranch Subdivision were also provided as part of the Preliminary Plat application as Exhibit 2.6.4.

- 5 Financial Assurances. The Applicant may desire to record the Phase 2 Final Plat prior to completion of the public improvements, as described in the Development Agreement, as amended. Prior to recording the Phase 2 Final Plat, if the public improvements for Phase 2 are not complete, they will be financially assured by the Applicant as follows:
 - A. Applicant will provide financial assurances to the City in the form of a Letter of Credit from its bank irrevocably guaranteeing funds for said public improvements in amount equal to 125% of the cost thereof. Said Letter of Credit shall comply with MCC 3.10.10 and 9.6.067.
 - B. If Applicant is unable to procure said Letter of Credit, then alternatively, Applicant will establish a cash escrow account, as described at Section 9.2 of the amended development agreement. 125% of the estimated cost to complete the public improvements that are not yet completed or prepaid will be deposited into a cash escrow account, pursuant to the Escrow Account Agreement attached at **EXHIBIT 6**.
 - C. An initial estimate of the total cost to complete the public improvements is attached hereto as **EXHIBIT 7**, which estimate will be updated and approved by the City Engineer prior to submission of either the Letter of Credit or Escrow Account to the City.
- 6 Title information showing proof of current ownership of the real property was included with the Preliminary Plat application at Exhibit 2.4. Ownership has not changed since that time. Attached as **EXHIBIT 8** is a recent Title Report showing applicant continues to be the owner of the real property.
- 7 Dedications of common areas, rights of way, easements and open spaces are provided on the final plat and in the Supplemental Covenants, Conditions and Restrictions for River Ranch Subdivision Phase 2 (Exhibit 6). A proposed Declaration of Public Utility Easement is also attached at **EXHIBIT 9**, with regard to easements.
- 8 Civil drawings including construction plans are attached at **EXHIBITS 4a & 4b**. The construction plans contained in Exhibit 4a have been approved by the City. Please note that the road from Rawhide Loop to Moonridge Road shown on Exhibit 4a will not be built. Instead, Applicant proposes to install a second entrance off of Mission Street. The plans for the entrance off Mission Street are contained in Exhibit 4b, and have been submitted to the City for approval.
- 9 Development Schedule. Applicant has already constructed some of the infrastructure for Phase 2 as a result of its prior approvals. It plans to complete such construction by December of 2026.
- 10 Comprehensive Plan Compliance. The Future Land Use Map in the Comprehensive Plan anticipates this area to continue to be developed as Large Residential of 5-10 acres. This land designation permits the development of large single-family residential lots and is intended to establish a rural setting and encourage preservation of open space and recreation areas. The average density of all Phases of River Ranch Subdivision is 5.28 acres per lot, which is consistent with the Future Land Use Map in the McCall Area Comprehensive Plan.

11. Approved Code Variations. The following variances were approved as part of the preliminary plat approval:

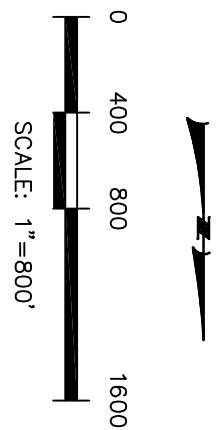
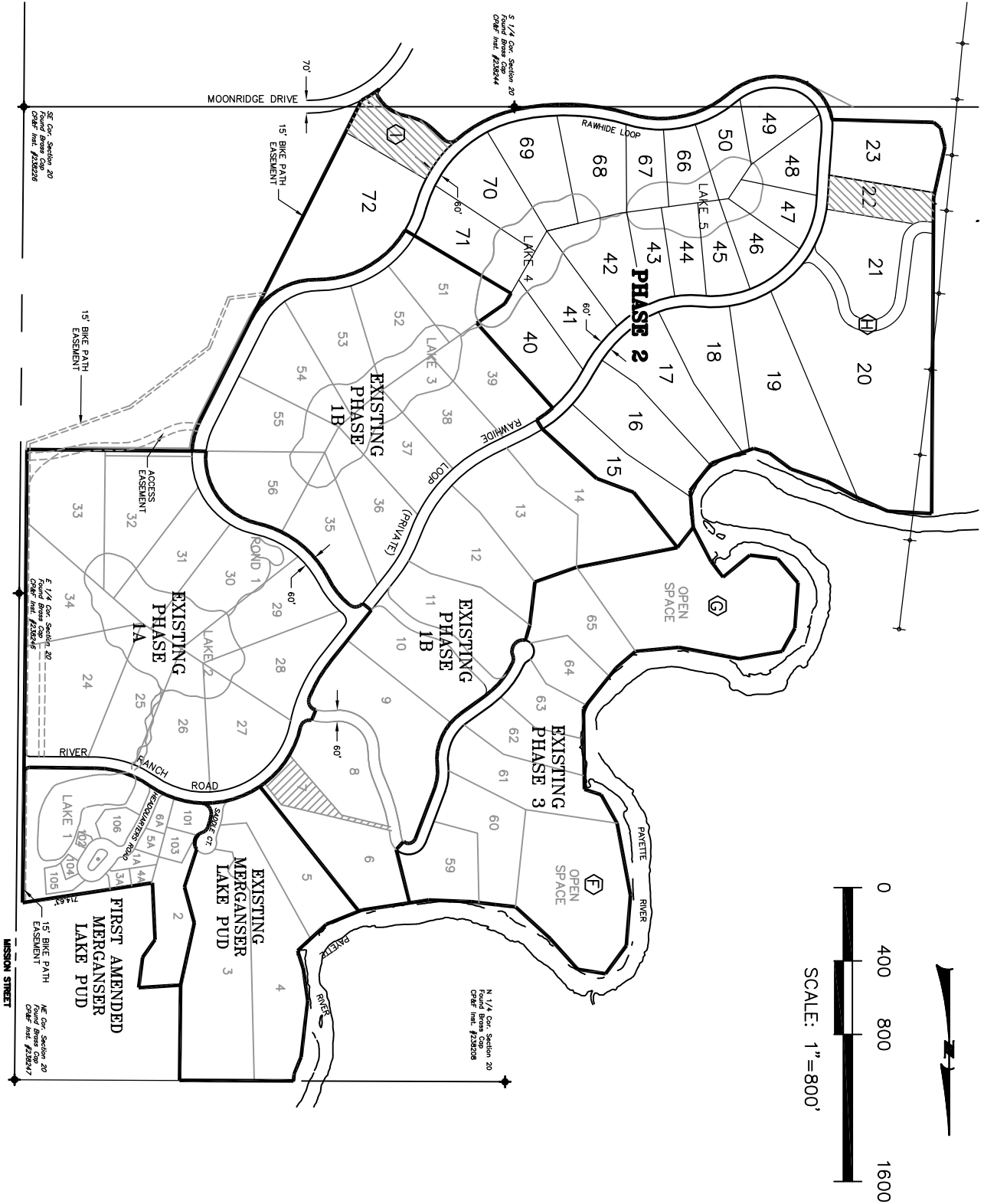
- * Private roads in development will be paved to a 20 foot width to maintain rural and ranch character of the development;
- * Secondary Entrance approved to be gated;
- * Setback requirements reduced to 20 feet for lots 48, 48A, 49, 49A, 50, 50A, 57, 57A, 58, and 58A. With the new configuration and numbering of lots this variance may be needed for lots 43-50, 66 and 67.
- * Average density of 27 lots in Phase 2 to be 4.69 acres per lot. As stated above, overall lot density for Phase 2 is increased to 4.87.

D. PUD FINAL PLAN

A copy of the proposed Final Plat for River Ranch Subdivision Phase 2 is attached as **EXHIBIT 2**, and is referred to in this narrative as the “Phase 2 Plat”. There is not a lot of information to be provided as part of the PUD Final Plan application that is different from the Final Plat application. However, following is the additional information related to the River Ranch Subdivision Phase 2 Final Plan:

1. Preliminary Plan Conditions of Approval. Attached at **EXHIBIT 3**, the Conditions of Approval for the Preliminary Plat and Preliminary Plan for River Ranch Subdivision Phase 2 are listed, together with an explanation of how each of the Conditions have been addressed.
2. Development Agreement. The Second Amendment to Development Agreement was approved by the City Council on December 19, 2019, and was recorded with the Valley County, Idaho Recorder on December 30, 2019 as Instrument No. 425847.
3. Amenities. As required pursuant to the approved PUD Preliminary Plan, the PUD amenities include the existing Ranch House, swimming pool and Merganser Lake open space area, the lakes within lots in Phases 1A, 1B and Phase 2, the family picnic pavilion in Phase 3, a pathway for owners along the Payette River, and the pathway open to the public along Mission street and then as it travels southwest to Moonridge.
4. Final Plan Elements. Other elements of the final plan are covered in the Final Plat submittal, including but not limited to the Final Plat attached as Exhibit 2, and the civil drawings submitted separately.

EXHIBIT 1



SECESH ENGINEERING INC.
 335 DEINHARD LANE, SUITE 1
 McCALL, IDAHO 83638
 208-634-6336 - FAX 208-634-6322

McCALL RIVER RANCH
 PUD GENERAL PLAN
 EXISTING PLATTING
 AND PRELIMINARY PLATTING

REV. NO.	REVISION DESCRIPTION	BY	DATE

DESIGNED: _____
 DRAWN BY: BM
 APPROVED: _____
 DATE: 2/27/2023

DATE: 2/27/2023
 DRAWING NO: 230203-01-001

RIVER RANCH SUBDIVISION PHASE 2

Located in the S 1/2 of Section 20 and
the N 1/2 of Section 29, T.18N., R.3E., B.M.
City of McCall, Valley County, Idaho

NOTES:
1. All properties shown on this Plat are subject to and governed by the provisions of the General Covenants, Conditions and Restrictions for River Ranch Subdivision ("General CC&Rs"), the Supplemental Covenants, Conditions and Restrictions for River Ranch Subdivision Phase 2 ("Supplemental Phase 2 CC&Rs"), and the Articles of Incorporation and Amended and Restated Bylaws for River Ranch McCall Owners Association, Inc., which are recorded with the Valley County, Idaho Recorder as Instrument Nos. 304213, _____, 304215 and 407807, together with any amendments thereto.

2. All properties shown on this Plat are subject to and governed by the River Ranch McCall Design Guidelines and the River Ranch McCall Rules and Regulations, as may be amended or restated.

3. All Utility Easements which are depicted on this Plat are dedicated for the use and enjoyment of the members of the River Ranch McCall Owners Association, together with their guests, invitees, and assigns, subject to the terms, conditions and reserved Declarant rights which are contained in the General CC&Rs and the Supplemental Phase 2 CC&Rs.

4. The Declarant reserves the right to assign its rights to any and all easements which are depicted on this Plat, in whole or in part.

5. All easements depicted on this Plat are further defined and described in the Supplemental Phase 2 CC&Rs.

6. There is a 10 foot utility easement centered on all interior side lot lines. All utility easements shown on this plat are granted to Public Utilities.

7. The Open Spaces depicted on this Plat shall be governed by the Phase 2 Supplemental CC&Rs.

8. There shall be no further division of any Lot depicted on this Plat, except as may be provided in the General CC&Rs or the Supplemental Phase 2 CC&Rs, or without the prior approval of the Health Authority.

9. All properties shown on this Plat are subject to and governed by the provisions of the Findings and Conclusions adopted by the McCall Planning & Zoning Commission and the McCall City Council for this Plat.

10. No additional domestic water supply shall be installed beyond the water system approved in the Sanitary Release.

11. All surface and ground water rights and/or water shares, all storage water rights, and all water permits are retained by the Declarant, and are specifically excluded from the transfer of any lot in River Ranch Subdivision Phase 2.

12. In compliance with Idaho Code Section 31-3805, irrigation is provided from the Lake Irrigation District and the water right for the same is held by the Declarant. The Declarant, as owner of the water right, is obligated for assessments from Lake Irrigation District. Declarant has the right to assign this water right to the Ranch Association. Owners of lots may be required to reimburse for Lake Irrigation District assessments through their Ranch Association assessments. Irrigation is provided to individual lots, as described in the General CC&Rs and the Supplemental Phase 2 CC&Rs.

13. Flood zones shown on this plat are per FEMA FIRM panel #161085C 0668 Effective FEBRUARY 1, 2019
Flood Zones: Zone X, A
Base Flood Elevations are as shown
Flood Zones are subject to change by FEMA and all land within a floodway or floodplain is regulated by Title 9 and Title 11 of the Valley County Code.

14. All lots shown on this Plat are subject to an Avagation Easement to the City of McCall which is recorded with the Valley County, Idaho Recorder as Instrument Number 258620.

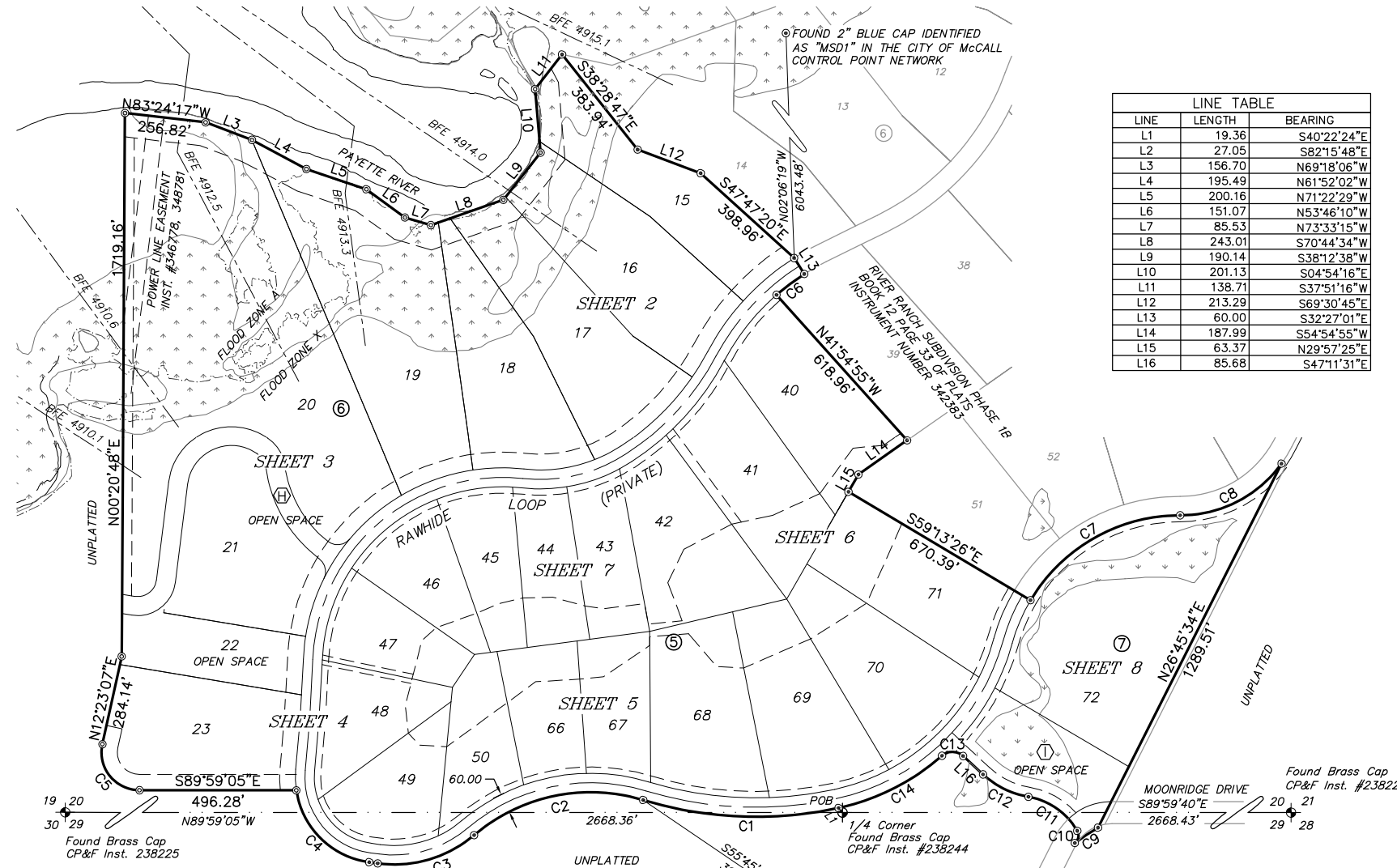
LINE	LENGTH	BEARING
L1	19.36	S40°22'24"E
L2	27.05	S82°15'48"E
L3	156.70	N69°18'06"W
L4	195.49	N61°52'02"W
L5	200.16	N71°22'29"W
L6	151.07	N53°46'10"W
L7	85.53	N73°33'15"W
L8	243.01	S70°44'34"W
L9	190.14	S38°12'38"W
L10	201.13	S04°54'16"E
L11	138.71	S37°51'16"W
L12	213.29	S69°30'45"E
L13	60.00	S32°27'01"E
L14	187.99	S54°54'55"W
L15	63.37	N29°57'25"E
L16	85.68	S47°11'31"E

CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	CHORD
C1	1230.00	625.46	319.65	29°08'06"	S87°40'42"E	618.74
C2	570.00	569.59	311.13	57°15'17"	S78°15'42"W	546.19
C3	390.00	327.42	174.06	48°06'08"	N73°41'08"E	317.89
C4	270.00	347.39	202.42	73°43'04"	S45°24'16"E	323.92
C5	120.00	214.40	149.17	102°22'12"	S38°47'59"E	187.00
C6	730.00	110.14	55.18	8°38'41"	S53°13'38"W	110.04
C7	550.00	569.35	313.15	59°18'42"	S60°25'55"W	544.27
C8	395.00	373.68	202.14	54°12'11"	N62°59'11"E	359.90
C9	635.00	87.97	44.06	7°56'16"	S56°28'18"W	87.90
C10	30.00	43.11	26.23	82°19'40"	N11°20'20"E	39.49
C11	220.00	194.42	104.07	50°38'03"	N55°08'32"W	188.16
C12	280.00	162.57	83.65	33°16'02"	S63°49'32"E	160.30
C13	50.00	73.40	45.11	84°06'47"	N89°14'55"W	66.99
C14	730.00	370.24	189.19	29°03'33"	N63°13'28"E	366.29

LEGEND

- SUBDIVISION BOUNDARY
- ⊙ FOUND 5/8" IRON PIN
- ⊙ SET 5/8" X 30" REBAR MKD LS 8577
- FOUND 1/2" IRON PIN
- ⊕ FOUND BRASS CAP MONUMENT
- ANGLE POINT - NOTHING SET
- - - EASEMENT LINE
- WETLANDS
- FLOOD ZONE BOUNDARY
- ① BLOCK NUMBER
- Ⓚ OPEN SPACE PARCEL
- BASE FLOOD ELEVATION

SURVEY NARRATIVE:
A) This survey is being filed to create new lots as shown. The boundaries shown were derived from record information and monuments found.
B) Record documents include:
The Plat of River Ranch Subdivision Phase 1B, Book 12 Page 33 of Plats, Instrument Number 342383.
Records of Survey, Book 10 Page 12 and Book 14 Page 25.



MONUMENT CERTIFICATE

THIS IS TO CERTIFY THAT THIS PLAT IS BEING RECORDED UNDER THE PROVISIONS OF IDAHO CODE 50-1331 THRU 50-1333 AND THAT ALL INTERIOR MONUMENTS WILL BE SET WITHIN ONE YEAR FROM THE RECORDING DATE OF THIS PLAT.



HEALTH CERTIFICATE

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY BE RE-IMPOSED, IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

DISTRICT HEALTH DEPARTMENT, EHS

INST.#

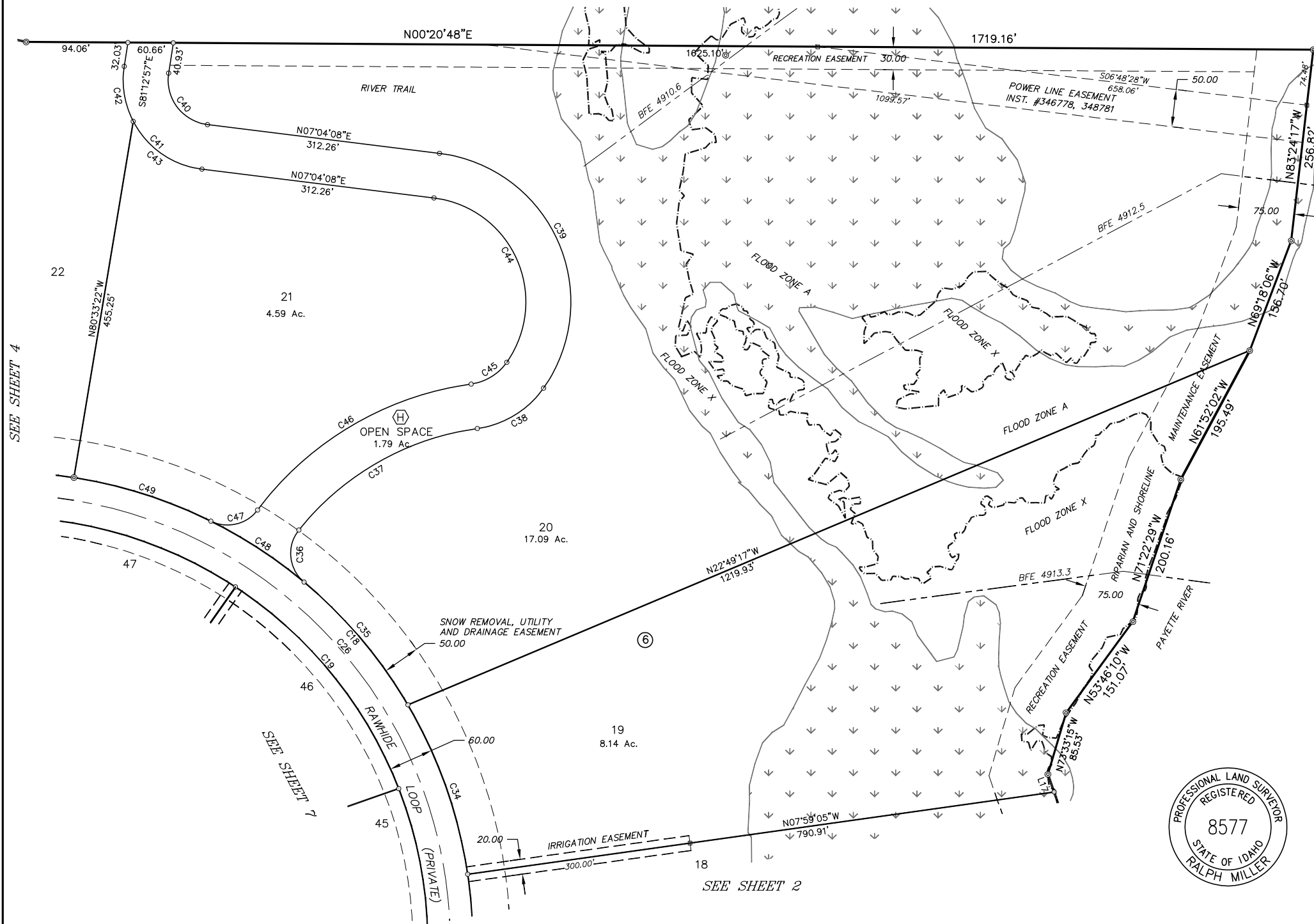
SCALE: 1" = 300'
BEARINGS BASED ON McCALL MODIFIED GRID COORDINATE SYSTEM
MEASUREMENTS WERE MADE AT GROUND

SECESH ENGINEERING, INC.
McCall, Idaho

EXHIBIT 2

RIVER RANCH SUBDIVISION PHASE 2

Located in the S 1/2 of Section 20 and
the N 1/2 of Section 29, T.18N., R.3E., B.M.
City of McCall, Valley County, Idaho



CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	CHORD
C18	630.00	1033.18	675.16	93°57'47"	S49°15'29"W	921.23
C19	570.00	934.78	610.85	93°57'47"	S49°15'29"W	833.49
C26	600.00	983.98	643.01	93°57'47"	S49°15'29"W	877.36
C34	630.00	241.46	122.23	21°57'35"	S70°33'59"W	239.99
C35	630.00	215.72	108.93	19°37'09"	S49°46'37"W	214.67
C36	50.00	77.37	48.84	88°39'19"	N84°17'43"E	69.88
C37	370.00	280.86	147.58	43°29'30"	S29°37'53"E	274.16
C38	130.00	106.66	56.54	47°00'33"	N31°23'24"W	103.69
C39	200.00	412.02	333.10	118°02'11"	S66°05'13"W	342.93
C40	60.00	96.04	61.82	91°42'55"	N52°55'35"E	86.11
C41	120.00	192.09	123.65	91°42'55"	N52°55'35"E	172.23
C42	120.00	75.72	39.17	36°09'06"	N80°42'30"E	74.47
C43	120.00	116.37	63.22	55°33'49"	N34°51'02"E	111.87
C44	140.00	288.42	233.17	118°02'11"	S66°05'13"W	240.05
C45	70.00	57.43	30.44	47°00'33"	N31°23'24"W	55.84
C46	430.00	340.01	179.46	45°18'19"	S30°32'17"E	331.22
C47	50.00	69.47	41.66	79°36'18"	N13°23'18"W	64.01
C48	630.00	149.03	74.86	13°33'12"	S33°11'27"W	148.68
C49	630.00	192.71	97.11	17°31'32"	S17°39'04"W	191.95

LINE TABLE		
LINE	LENGTH	BEARING
L17	25.06	N70°44'34"E

- LEGEND**
- SUBDIVISION BOUNDARY
 - ⊙ FOUND 5/8" IRON PIN
 - FOUND 1/2" IRON PIN
 - ⊙ SET 5/8" X 30" REBAR MKD LS 8577
 - SET 1/2" X 24" REBAR MKD LS 8577
 - ⊕ FOUND BRASS CAP MONUMENT
 - ⊕ FOUND ALUMINUM CAP MONUMENT
 - ANGLE POINT - NOTHING SET
 - - - EASEMENT LINE
 - ↓ WETLANDS
 - - - FLOOD ZONE BOUNDARY
 - ① BLOCK NUMBER
 - ⓓ OPEN SPACE PARCEL
 - - - BFE 4914.0
 - - - BASE FLOOD ELEVATION

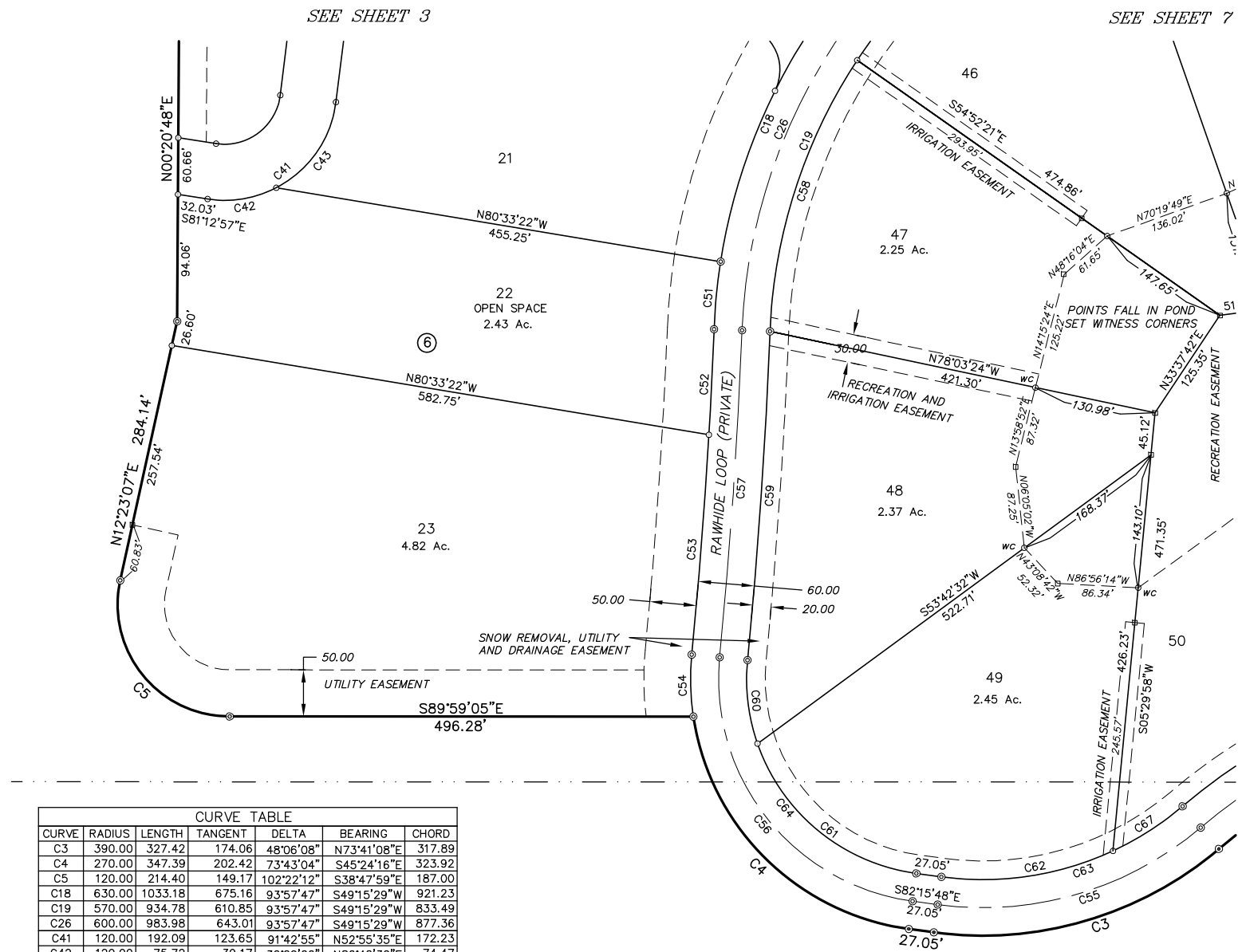


SCALE: 1" = 100'
BEARINGS BASED ON McCALL MODIFIED GRID COORDINATE SYSTEM
MEASUREMENTS WERE MADE ON GROUND

SECESH ENGINEERING, INC.
McCall, Idaho

RIVER RANCH SUBDIVISION PHASE 2

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City of McCall, Valley County, Idaho



SCALE: 1" = 100'
BEARINGS BASED ON McCALL MODIFIED GRID COORDINATE SYSTEM
MEASUREMENTS WERE MADE ON GROUND

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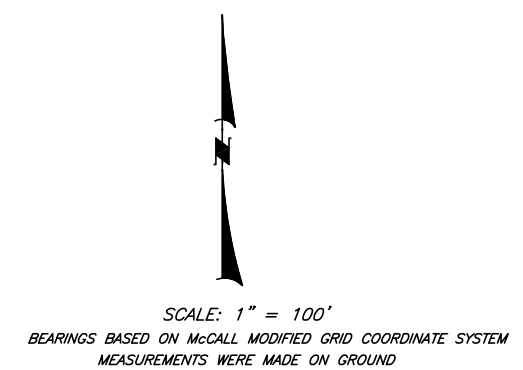
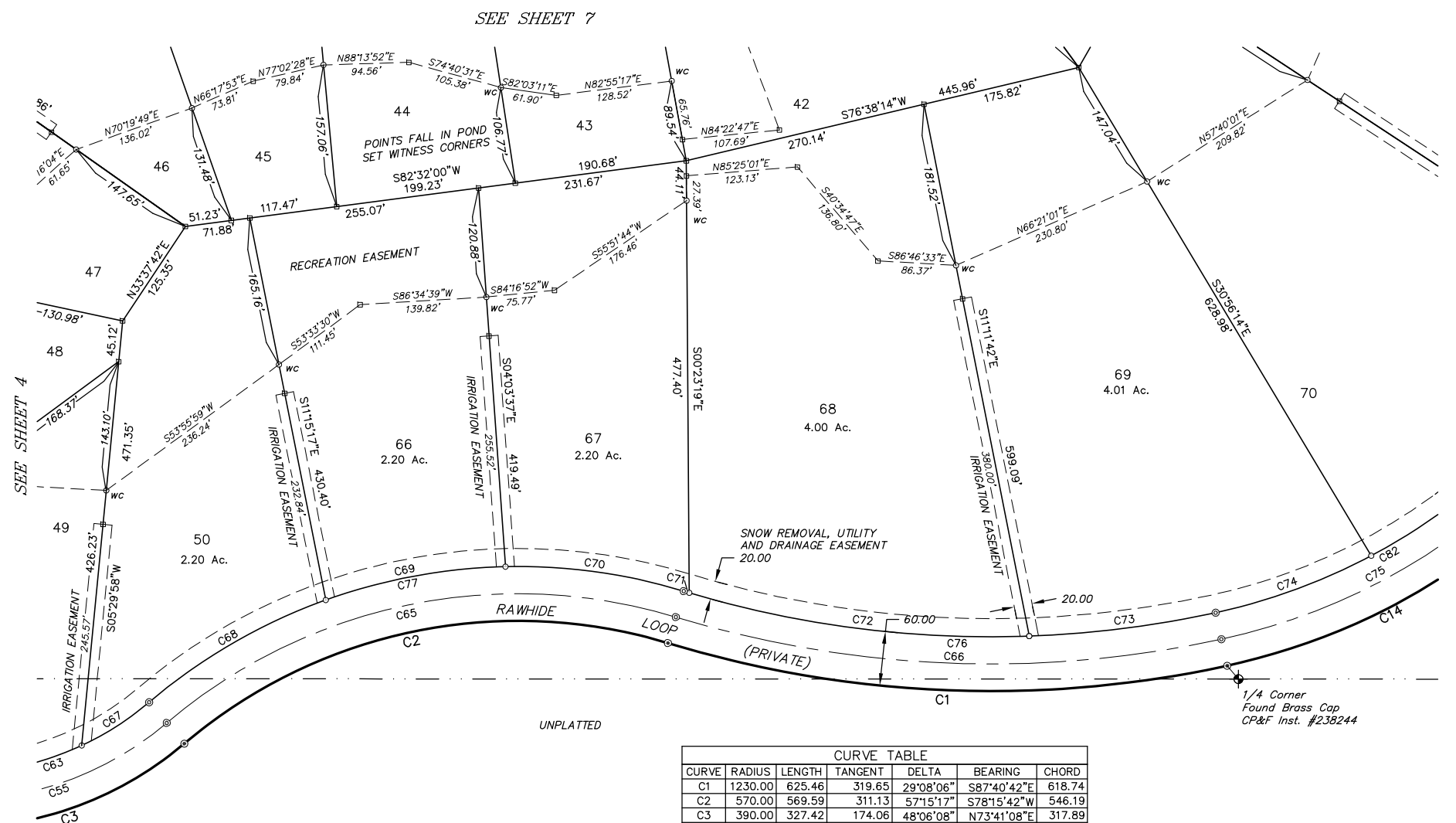
CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	CHORD
C3	390.00	327.42	174.06	48°06'08"	N73°41'08"E	317.89
C4	270.00	347.39	202.42	73°43'04"	S45°24'16"E	323.92
C5	120.00	214.40	149.17	102°22'12"	S38°47'59"E	187.00
C18	630.00	1033.18	675.16	93°57'47"	S49°15'29"W	921.23
C19	570.00	934.78	610.85	93°57'47"	S49°15'29"W	833.49
C26	600.00	983.98	643.01	93°57'47"	S49°15'29"W	877.36
C41	120.00	192.09	123.65	91°42'55"	N52°55'35"E	172.23
C42	120.00	75.72	39.17	36°09'06"	N80°42'30"E	74.47
C43	120.00	116.37	63.22	55°33'49"	N34°51'02"E	111.87
C51	630.00	72.70	36.39	6°36'42"	S05°34'57"W	72.66
C52	6079.00	113.27	56.63	1°04'03"	N02°48'37"E	113.26
C53	6079.00	236.20	118.11	2°13'34"	N04°27'26"E	236.18
C54	270.00	66.52	33.43	14°06'57"	S01°29'15"E	66.35
C55	360.00	302.23	160.67	48°06'08"	N73°41'08"E	293.44
C56	240.00	367.92	231.09	87°50'02"	S38°20'47"E	332.93
C57	6109.00	351.19	175.64	3°17'38"	N03°55'25"E	351.14
C58	570.00	308.78	158.28	31°02'16"	S17°47'44"W	305.01
C59	6139.00	352.91	176.50	3°17'38"	N03°55'25"E	352.86
C60	210.00	90.79	46.11	24°46'11"	S06°48'52"E	90.08
C61	210.00	231.14	128.85	63°03'51"	S50°43'53"E	219.65
C62	330.00	188.24	96.76	32°40'56"	N81°23'44"E	185.70
C63	330.00	277.05	147.28	48°06'08"	N73°41'08"E	268.98
C64	210.00	321.93	202.21	87°50'02"	S38°20'47"E	291.32



SECESH ENGINEERING, INC.
McCall, Idaho

RIVER RANCH SUBDIVISION PHASE 2

Located in the S 1/2 of Section 20 and
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City of McCall, Valley County, Idaho



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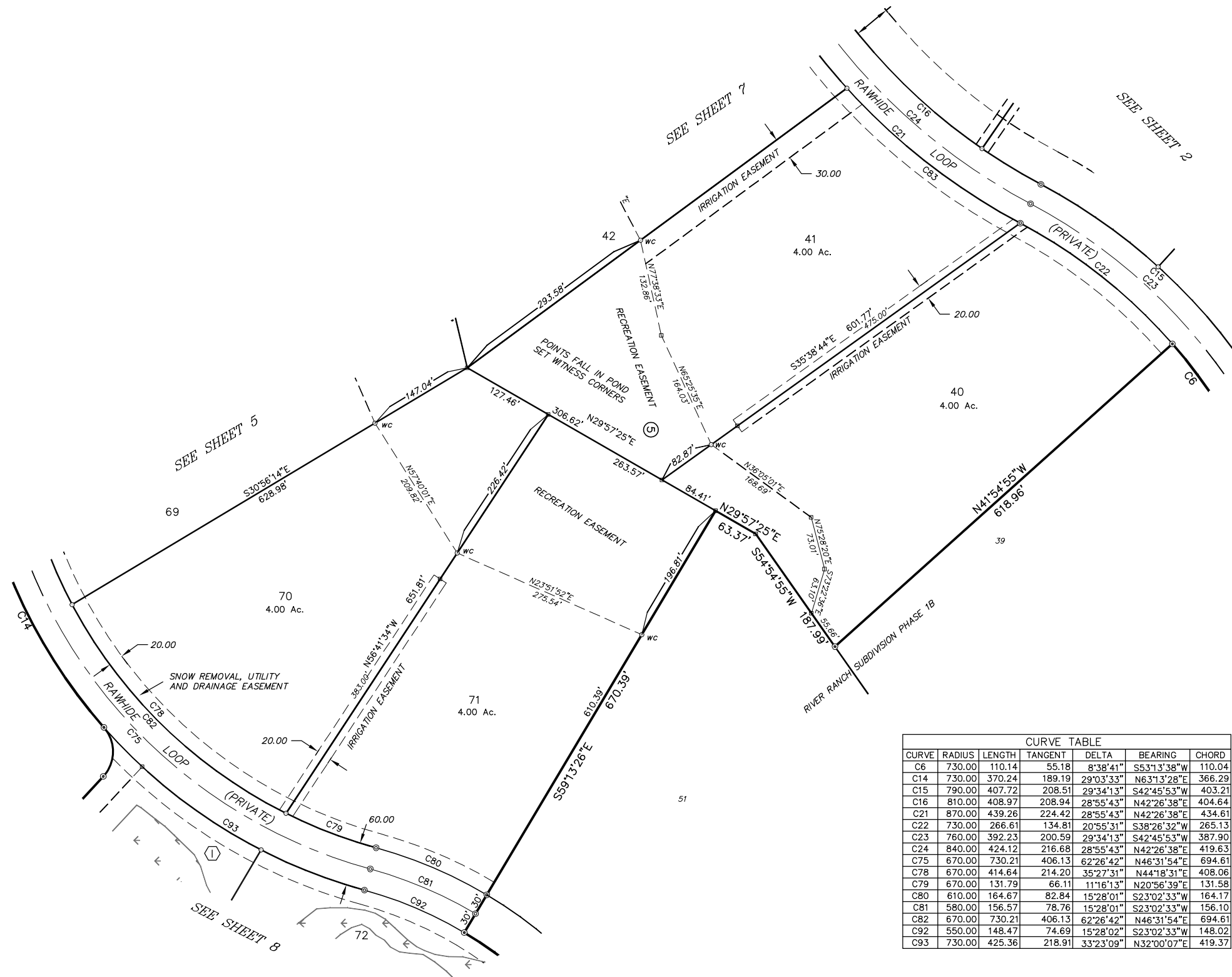
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C3	390.00	327.42	174.06	48°06'08"	N73°41'08"E	317.89
C14	730.00	370.24	189.19	29°03'33"	N63°13'28"E	366.29
C55	360.00	302.23	160.67	48°06'08"	N73°41'08"E	293.44
C63	330.00	277.05	147.28	48°06'08"	N73°41'08"E	268.98
C65	600.00	599.57	327.50	57°15'17"	S78°15'42"W	574.93
C66	1200.00	610.20	311.85	29°08'06"	S87°40'42"E	603.65
C67	330.00	88.81	44.68	15°25'11"	N57°20'40"E	88.54
C68	630.00	226.87	114.68	20°37'57"	S59°57'03"W	225.64
C69	630.00	202.87	102.32	18°27'00"	S79°29'31"W	201.99
C70	630.00	199.81	100.75	18°10'20"	N82°11'49"W	198.98
C71	1170.00	6.38	3.19	0°18'44"	S73°16'01"E	6.38
C72	1170.00	380.62	192.00	18°38'21"	S82°44'34"E	378.94
C73	1170.00	207.95	104.25	10°11'01"	N82°50'45"E	207.68
C74	670.00	183.78	92.47	15°42'58"	N69°53'45"E	183.21
C75	670.00	730.21	406.13	62°26'42"	N46°31'54"E	694.61
C76	1170.00	594.95	304.05	29°08'06"	S87°40'42"E	588.56
C77	630.00	629.55	343.88	57°15'17"	S78°15'42"W	603.68
C82	670.00	730.21	406.13	62°26'42"	N46°31'54"E	694.61



SECESH ENGINEERING, INC.
McCall, Idaho

RIVER RANCH SUBDIVISION PHASE 2

Located in the S 1/2 of Section 20 and
the N 1/2 of Section 29, T.18N., R.3E., B.M.
City of McCall, Valley County, Idaho



SCALE: 1" = 100'
BEARINGS BASED ON McCALL MODIFIED GRID COORDINATE SYSTEM
MEASUREMENTS WERE MADE ON GROUND



LEGEND

- SUBDIVISION BOUNDARY
- ⊙ FOUND 5/8" IRON PIN
- FOUND 1/2" IRON PIN
- ⊙ SET 5/8" X 30" REBAR MKD LS 8577
- SET 1/2" X 24" REBAR MKD LS 8577
- ⊕ FOUND BRASS CAP MONUMENT
- ⊕ FOUND ALUMINUM CAP MONUMENT
- ANGLE POINT - NOTHING SET
- - - - EASEMENT LINE



WETLANDS

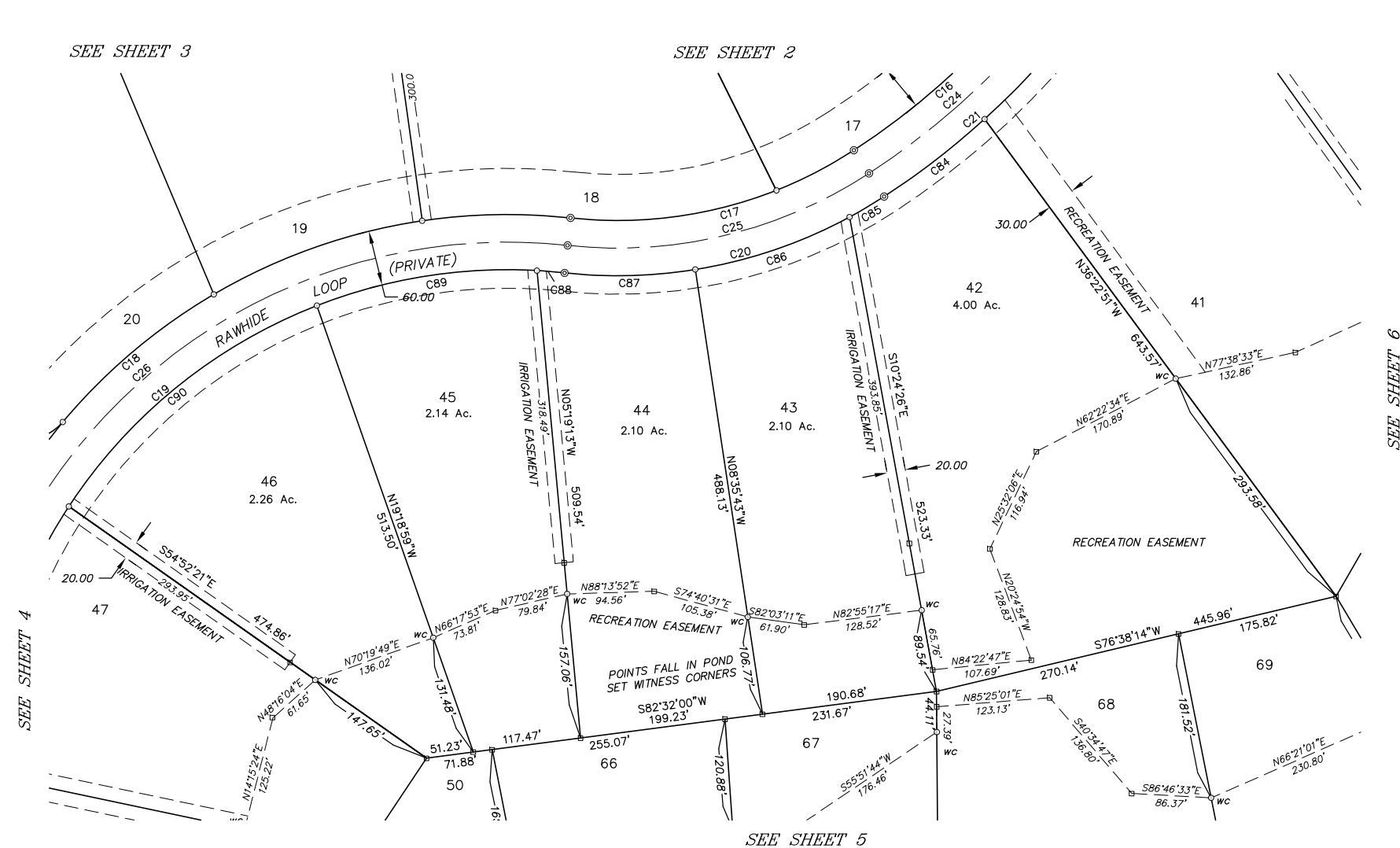
- ① BLOCK NUMBER
- ⓓ OPEN SPACE PARCEL

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	CHORD
C6	730.00	110.14	55.18	8°38'41"	S53°13'38"W	110.04
C14	730.00	370.24	189.19	29°03'33"	N63°13'28"E	366.29
C15	790.00	407.72	208.51	29°34'13"	S42°45'53"W	403.21
C16	810.00	408.97	208.94	28°55'43"	N42°26'38"E	404.64
C21	870.00	439.26	224.42	28°55'43"	N42°26'38"E	434.61
C22	730.00	266.61	134.81	20°55'31"	S38°26'32"W	265.13
C23	760.00	392.23	200.59	29°34'13"	S42°45'53"W	387.90
C24	840.00	424.12	216.68	28°55'43"	N42°26'38"E	419.63
C75	670.00	730.21	406.13	62°26'42"	N46°31'54"E	694.61
C78	670.00	414.64	214.20	35°27'31"	N44°18'31"E	408.06
C79	670.00	131.79	66.11	11°16'13"	N20°56'39"E	131.58
C80	610.00	164.67	82.84	15°28'01"	S23°02'33"W	164.17
C81	580.00	156.57	78.76	15°28'01"	S23°02'33"W	156.10
C82	670.00	730.21	406.13	62°26'42"	N46°31'54"E	694.61
C92	550.00	148.47	74.69	15°28'02"	S23°02'33"W	148.02
C93	730.00	425.36	218.91	33°23'09"	N32°00'07"E	419.37

SECESH ENGINEERING, INC.
McCall, Idaho

RIVER RANCH SUBDIVISION PHASE 2

Located in the S 1/2 of Section 20 and
the N 1/2 of Section 29, T.18N., R.3E., B.M.
City of McCall, Valley County, Idaho



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 - - - EASEMENT LINE
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 - Ⓧ OPEN SPACE PARCEL

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	CHORD
C16	810.00	408.97	208.94	28°55'43"	N42°26'38"E	404.64
C17	470.00	322.64	167.97	39°19'53"	N76°34'26"E	316.34
C18	630.00	1033.18	675.16	93°57'47"	S49°15'29"W	921.23
C19	570.00	934.78	610.85	93°57'47"	S49°15'29"W	833.49
C20	530.00	363.83	189.41	39°19'53"	N76°34'26"E	356.72
C21	870.00	439.26	224.42	28°55'43"	N42°26'38"E	434.61
C24	840.00	424.12	216.68	28°55'43"	N42°26'38"E	419.63
C25	500.00	343.23	178.69	39°19'53"	N76°34'26"E	336.53
C26	600.00	983.98	643.01	93°57'47"	S49°15'29"W	877.36
C84	870.00	137.98	69.14	9°05'14"	N52°21'53"E	137.84
C85	527.91	43.68	21.85	4°44'26"	N59°16'27"E	43.67
C86	528.49	177.71	89.70	19°15'58"	N71°14'55"E	176.87
C87	527.74	142.43	71.65	15°27'50"	N88°31'22"E	142.00
C88	570.00	29.99	15.00	3°00'52"	N85°16'03"W	29.99
C89	570.00	243.93	123.86	24°31'10"	S80°57'56"W	242.07
C90	570.00	352.09	181.86	35°23'29"	S51°00'36"W	346.52



SECESH ENGINEERING, INC.
McCall, Idaho

RIVER RANCH SUBDIVISION PHASE 2

Located in the S 1/2 of Section 20 and
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SECESH ENGINEERING, INC.
McCall, Idaho

RIVER RANCH SUBDIVISION PHASE 2

Book _____ Page _____ of Plats

Inst. # _____

Located in the S 1/2 of Section 20 and
the N 1/2 of Section 29, T.18N., R.3E., B.M.
City of McCall, Valley County, Idaho

CERTIFICATE OF OWNERS

A parcel of land situated in Sections 20 and 29, T.18N., R.3E., B.M., more particularly described as follows:

COMMENCING at the south 1/4 corner of said Section 20 as shown on a Record of Survey recorded in Book 10 at Page 112 of Surveys, as Instrument Number 332895, Records of Valley County, Idaho; thence,

A. N.40°22'24"W., 19.36 feet to the POINT OF BEGINNING; thence,

1. along a curve to the right having a radius of 1230.00 feet, an arc length of 625.46 feet, through a central angle of 29°08'06", and a chord bearing and distance of N.87°40'42"W., 618.74 feet to the beginning of a reverse curve; thence,
2. along said curve to the left having a radius of 570.00 feet, an arc length of 569.59 feet, through a central angle of 57°15'17", and a chord bearing and distance of S.78°15'42"W., 546.19 feet to the beginning of a reverse curve; thence,
3. along said curve to the right having a radius of 390.00 feet, an arc length of 327.42 feet, through a central angle of 48°06'08", and a chord bearing and distance of S.73°41'08"W., 317.89 feet; thence, tangent from said curve,
4. N.82°15'49"W., 27.05 feet to the beginning of a tangent curve; thence,
5. along said curve to the right having a radius of 270.00 feet, an arc length of 347.39 feet, through a central angle of 73°43'04", and a chord bearing and distance of N.45°24'16"W., 323.92 feet; thence,
6. N.89°59'05"W., 496.28 feet to the beginning of a tangent curve; thence,
7. along said curve to the right having a radius of 120.00 feet, an arc length of 214.40 feet, through a central angle of 102°22'12", and a chord bearing and distance of N.38°47'59"W., 187.00 feet; thence,
8. N.12°23'07"E., 284.14 feet; thence,
9. N.0°20'48"E., 1719.16 feet to the normal high water line of Payette River; thence, along said high water line,
10. S.83°24'17"E., 256.82 feet; thence,
11. S.69°18'06"E., 156.70 feet; thence,
12. S.61°52'02"E., 195.49 feet; thence,
13. S.71°22'29"E., 200.16 feet; thence,
14. S.53°46'10"E., 151.07 feet; thence,
15. S.73°33'15"E., 85.53 feet; thence,
16. N.70°44'34"E., 243.01 feet; thence,
17. N.38°12'38"E., 190.14 feet; thence,
18. N.4°54'16"W., 201.13 feet; thence, departing said high water line,
19. N.37°51'16"E., 138.71 feet to a point on the boundary of River Ranch Subdivision Phase 1B, filed in Book 12 of Plats at Page 33, as Instrument Number 342383, Records of Valley County, Idaho; thence, along said boundary,
20. S.38°28'47"E., 383.94 feet; thence,
21. S.69°30'45"E., 213.29 feet; thence,
22. S.47°47'20"E., 398.96 feet; thence,
23. S.32°27'01"E., 60.00 feet to the beginning of a non-tangent curve; thence,
24. along said curve to the left having a radius of 730.00 feet, an arc length of 110.14 feet, through a central angle of 8°38'41", and a chord bearing and distance of S.53°13'38"W., 110.04 feet; thence,
25. S.41°54'55"E., 618.96 feet; thence,
26. S.54°54'55"W., 187.99 feet; thence,
27. S.29°57'25"W., 63.37 feet; thence,
28. S.59°13'26"E., 670.39 feet to the beginning of a non-tangent curve; thence,
29. along said curve to the right having a radius of 550.00 feet, an arc length of 569.35 feet, through a central angle of 59°18'42", and a chord bearing and distance of N.60°25'55"E., 544.27 feet to the beginning of a reverse curve; thence,
30. along said curve to the left having a radius of 395.00 feet, an arc length of 373.68 feet, through a central angle of 54°12'11", and a chord bearing and distance of N.62°59'11"E., 359.90 feet; thence,
31. S.26°45'34"W., 1289.51 feet; thence, departing said boundary of Phase 1B,
32. along a curve to the left having a radius of 635.00 feet, an arc length of 87.97 feet, through a central angle of 7°56'16", and a chord bearing and distance of S.56°28'18"W., 87.90 feet to the beginning of a non-tangent curve; thence,
33. along said curve to the left having a radius of 30.00 feet, an arc length of 43.11 feet, through a central angle of 82°19'40", and a chord bearing and distance of N.11°20'20"E., 39.49 feet to the beginning of a tangent curve; thence,
34. along said curve to the left having a radius of 220.00 feet, an arc length of 194.42 feet, through a central angle of 50°38'03", and a chord bearing and distance of N.55°08'32"W., 188.16 feet to the beginning of a reverse curve; thence,
35. along said curve to the right having a radius of 280.00 feet, an arc length of 162.57 feet, through a central angle of 33°16'02", and a chord bearing and distance of N.63°49'32"W., 160.30 feet; thence, tangent from said curve,
36. N.47°11'31"W., 85.68 feet to the beginning of a tangent curve; thence,
37. along said curve to the left having a radius of 50.00 feet, an arc length of 73.40 feet, through a central angle of 84°06'48", and a chord bearing and distance of N.89°14'55"W., 66.99 feet to the beginning of a reverse curve; thence,
38. along said curve to the right having a radius of 730.00 feet, an arc length of 370.24 feet, through a central angle of 29°03'34", and a chord bearing and distance of S.63°13'28"W., 366.29 feet to the POINT OF BEGINNING.

CONTAINING 126.67 Acres, more or less.

That it is the intention of the undersigned to and they do hereby include said land in this Plat. All easements, and all Open Space Parcels which are depicted on this Plat are dedicated for the use and enjoyment of the members of the River Ranch McCall Owners Association, together with their guests, invitees, and assigns, subject to the terms, conditions and reserved Declarant rights which are contained in the General CC&Rs and the Supplemental CC&Rs. The owner hereby dedicates to the Public, for public use, that portion of Moonridge Drive labeled "R/W Dedication" shown on this Plat.

In compliance with Idaho Code Section 31-3805, irrigation is provided from the Lake Irrigation District and the water right for the same is held by the Declarant. The Declarant, as owner of the water right, is obligated for assessments from Lake Irrigation District. Declarant has the right to assign this water right to the Ranch Association. Owners of lots may be required to reimburse for Lake Irrigation District assessments through their Ranch Association assessments. Irrigation is provided to individual lots, as described in the General CC&Rs and the Supplemental Phase 2 CC&Rs.

APPROVAL OF THE CITY ENGINEER

I, THE UNDERSIGNED CITY ENGINEER IN AND FOR THE CITY OF McCALL, VALLEY COUNTY IDAHO, HEREBY APPROVE THIS PLAT OF "RIVER RANCH SUBDIVISION PHASE 2"

CITY ENGINEER ~ McCALL, IDAHO

APPROVAL OF THE CITY OF McCALL

I, THE UNDERSIGNED, CITY CLERK IN AND FOR THE CITY OF McCALL, VALLEY COUNTY, IDAHO, HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE CITY COUNCIL HELD ON THE _____ DAY OF _____, 2023, THIS "RIVER RANCH SUBDIVISION PHASE 2" WAS DULY ACCEPTED AND APPROVED.

MAYOR ~ McCALL, IDAHO

CITY CLERK ~ McCALL, IDAHO

APPROVAL OF THE McCALL AREA PLANNING AND ZONING COMMISSION

ACCEPTED AND APPROVED THIS _____ DAY OF _____, 2023, BY THE McCALL AREA PLANNING AND ZONING COMMISSION.

CHAIR

McCALL RIVER RANCH COMPANY

BY:

DENNIS M. HART, PRESIDENT

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of _____)

On _____ before me, _____

(Insert name and title of the officer)

personally appeared DENNIS M. HART, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature _____ (Seal)

CERTIFICATE OF COUNTY SURVEYOR

I, GEORGE BOWERS, REGISTERED PROFESSIONAL LAND SURVEYOR FOR VALLEY COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

CERTIFICATE OF SURVEYOR

I, RALPH MILLER, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF IDAHO, AND THAT THIS PLAT AS DESCRIBED IN THE "CERTIFICATE OF OWNERS" WAS DRAWN FROM THE FIELD NOTES OF A SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED HEREON, AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

RALPH MILLER



CERTIFICATE OF COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF VALLEY, STATE OF IDAHO, PER THE REQUIREMENTS OF I.C. 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

DATE

COUNTY TREASURER

RPM00000204994
RPM00000205705

SECESH ENGINEERING, INC.

McCall, Idaho

SHEET NO. 9 OF 9

EXHIBIT 3

RIVER RANCH SUBDIVISION PHASE 2

Phase 2 Final Plat

Phase 2 PUD Final Plan

PRELIMINARY PLAT & PRELIMINARY PLAN CONDITIONS OF APPROVAL

PRELIMINARY PLAT & PUD GENERAL PLAN

Preliminary Plat and PUD General Plan approval were approved jointly for Phases 2 and 3 of River Ranch Subdivision. The Conditions of Approval for both the Preliminary Plat and PUD General Plan for River Ranch Subdivision Phases 2&3 were both the same except as specified below for the first Condition of Approval. The Conditions of Approval are as follows, together with an explanation of how each of the Conditions have been addressed as they relate to Phase 2:

1. **CONDITION #1 FOR THE PRELIMINARY PLAT:** Approval of the Subdivision Preliminary Plat application (SUB-19-06) shall be contingent upon McCall City Council approval of the companion Planned Unit Development application (PUD-19-04) and the associated amendment to the development agreement.
 - Approval of the Planned Unit Development application (PUD-19-04) was granted by the City Council on December 19, 2019. The Second Amendment to Development Agreement was approved by the City Council on December 19, 2019, and was recorded with the Valley County, Idaho Recorder on December 30, 2019 as Instrument No. 425847.
1. **CONDITION #1 FOR THE PUD GENERAL PLAN:** Approval of the Planned Unit Development General Plan application (PUD-19-04) shall be contingent upon McCall City Council approval of the companion Subdivision Preliminary Plat application (SUB-19-06) and the associated amendment to the development agreement.
 - Approval of the Subdivision Preliminary Plat application (SUB-19-06) was granted by the City Council on December 19, 2019. The Second Amendment to Development Agreement was approved by the City Council on December 19, 2019, and was recorded with the Valley County, Idaho Recorder on December 30, 2019 as Instrument No. 425847.
2. Prior to any disturbance of wetland areas within the proposed project area, copies of U.S. Army Corps of Engineer 404 Permit shall be provided to the City.
 - Applicant has obtained a 404 permit and it has been provided to the City.
3. Prior to any site work or disturbance, the applicant shall submit and receive approval for final civil plans by the City of McCall Engineer.
 - This condition will be satisfied prior to any sitework or disturbance.

4. The applicant shall adhere to all Engineering requirements:
- a. Before water service can be provided to either of the new phases, developer shall rehabilitate/repair/restore the PRV station(s) to the City's satisfaction and shall maintain uninterrupted electrical service to both of the stations.
 - This condition was satisfied with the City of McCall inspections for Phase 3.
 - b. The developer shall construct a water main to City standards and requirements along the loop road within the proposed Phase 2 portion at developer's expense. The main shall be sized and looped appropriately based on fire flow water modeling.
 - The applicant will adhere to this requirement.
 - c. A looped section of water main may be required to connect from the cul-de-sac back into Rawhide Loop Road, depending upon Fire Department and/or water demand/fire flow modeling requirements.
 - This condition was satisfied as part of Phase 3.
 - d. Developer shall dedicate a minimum 20' wide easement for the water main and related appurtenances in areas outside of street, and/or dedicated utility Right-of-Way. All water related facilities, including fire hydrants shall be located in utility Right-of-Way, or an easement.
 - A Declaration of Public Utility Easement is attached as **EXHIBIT 9**.
 - e. Fire hydrants shall be kept clear of snow and other obstructions (fences, landscape, trees, etc.) at all times.
 - The Supplemental CC&Rs for River Ranch Subdivision Phase 2 attached at **EXHIBIT 5** include this requirement.
 - f. Individual Stormwater Reports shall be required for construction on each parcel that is adjacent to the river in order to demonstrate compliance with the City's Drainage Management Guidelines.
 - The Supplemental CC&Rs for River Ranch Subdivision Phase 2 attached at **EXHIBIT 5** include this requirement.
 - g. The City may at its discretion require that geotechnical investigation(s) be performed by a licensed and qualified professional Geotechnical Engineer in order to demonstrate that soils on Lots 15-20 of Phase 2, and all of Phase 3 are adequate to support proposed improvements and that the slopes will not be adversely impacted by such improvements or post-development runoff.
 - The Supplemental CC&Rs for River Ranch Subdivision Phase 2 attached at **EXHIBIT 5** include this requirement.
 - h. The Owner's Association shall be the responsible party to monitor slope stability of the river bluffs. Any instability or required mechanical stabilization of any portion of the slopes shall be immediately reported to the City before any work may be performed. The City may, at its discretion, require the Owner's Association and/or property owner to obtain professional engineering services as it may deem necessary

prior to any stabilization efforts.

- The Supplemental CC&Rs for River Ranch Subdivision Phase 2 attached at **EXHIBIT 5** include this requirement.
- i. The developer and/or Owner's Association shall be responsible to take every reasonable effort to prevent erosion and sedimentation from occurring from the project and into the riverbed.
 - The Supplemental CC&Rs for River Ranch Subdivision Phase 2 are attached hereto as **EXHIBIT 5** include this requirement.
 - j. Any improvements within 150 ft. of the shoreline shall require submittal of a Shoreline and River Environs Zone application to the City for approval per MCC 3.7.02.
 - MCC 3.7.02 addresses this requirement.
 - k. Improvements within the 75' riparian easement shall be limited to within 15' of the building envelope and shall be approved by the City of McCall.
 - i. Any such improvements shall be designed to drain away from the slope.
 - ii. No construction of any kind shall be allowed within the 15' buffer strip between the proposed building envelope and the top of the slope of Lot 65, including stormwater- related facilities without City engineering approval.
 - iii. No construction of any kind shall be allowed within the 75' buffer strip between the proposed building envelope and the top of the slope of Lots 59, and 63 through 64, including stormwater-related facilities without City engineering approval.
 - The Supplemental CC&Rs for River Ranch Subdivision Phase 2 attached at **EXHIBIT 5** include the applicable requirement.
 - l. All landscaping within the 75' riparian easement shall be approved by the City Arborist. Any such landscaping shall be limited to native species that are appropriate to the setting and shall be hand-watered. No pipe or tubing irrigation (sprinklers or drip systems) shall be allowed within the riparian easement.
 - The Supplemental CC&Rs for River Ranch Subdivision Phase 2 attached at **EXHIBIT 5** include this requirement.
5. Prior to execution and recordation of either the Phase 3 or Phase 2 Final Plats:
- a. All proposed building envelopes shall be approved by the City and included on the final plat.
 - This requirement was meant to apply to riverfront properties contained in Phase 3, and was complied with. Building Envelopes for Phase 2 shall be established pursuant to the Design Guidelines adopted by McCall River Ranch, and will be subject to sections 7.15, 7.16 and 7.17 of the General Covenants, Conditions and Restrictions for River Ranch Subdivision. Said design requirements exceed those of the City.

- b. A 404 Permit for River Bank Stabilization and driveway impacts to wetlands shall be obtained.
- Applicant has obtained a 404 permit and it has been provided to the City.
- c. The applicant shall construct all public improvements as detailed in Section 9.1 of the amended development agreement and shall obtain final approval of these aspects from the City of McCall. Alternatively, the applicant shall provide financial assurances for any deferred improvements in accordance with MCC 9.6.067.
- Prior to recording the Phase 2 Final Plat, if the public improvements for Phase 2 are not complete, Applicant will provide financial assurances to the City in the form of a Letter of Credit from its bank irrevocably guaranteeing funds for said public improvements in amount equal to 125% of the cost thereof. Said Letter of Credit shall comply with MCC 3.10.10 and 9.6.067.
- In the alternative, Applicant will provide financial assurances through a cash escrow account, as described at Section 9.2 of the amended development agreement. 125% of the estimated cost to complete the public improvements that are not yet completed or prepaid will be deposited into a cash escrow account, pursuant to the Escrow Account Agreement attached hereto as **EXHIBIT 6**.
- d. All easements, including a 75 ft. riparian easement to the City of McCall, the shared driveway easement for lots 63 and 64, the 15 ft river bank maintenance access easement, and the snow removal, utility, and drainage easements along all private road frontages, shall be indicated on the final plat and shall be formally documented with signed declarations and recorded with the plat.
- The applicable easements are included on the proposed Phase 2 Final Plat, and are addressed in the Supplemental CC&Rs for River Ranch Subdivision Phase 2 attached at **EXHIBIT 5**. Additionally, a Declaration of Public Utility Easement is attached as **EXHIBIT 9**.
- e. The applicant shall provide a maintenance reserve funding plan schedule for the private road for review and approval by the City Engineer.
- The private roads will be maintained by the River Ranch McCall Owners' Association. Both the General Covenants, Conditions and Restrictions for River Ranch Subdivision, and the Supplemental CC&Rs for River Ranch Subdivision Phase 2 attached at **EXHIBIT 5** include this requirement. Prior to recording of the Phase 2 Final Plat the applicant will provide a maintenance reserve funding plan for the River Ranch McCall Owners Association's maintenance of private roads.
6. Prior to recording the final plat for River Ranch Phase 2, River Ranch will complete the following:
- a. finalize the location of the pathway from Mission Street to Moon ridge, in a location

- that is separated from the existing east-west dirt road, and separated from Rawhide Loop to the extent reasonably feasible. A strong connection between the existing paved pathway on Mission to the new gravel improvements crossing River Ranch to Moon ridge will be made based on existing Parks & Rec guidelines; and,
- b. update the legal description of the pathway in the Pathway and Utility Easement, which easement shall be 15' in width; and,
 - c. improve the pathway, which shall be at least 8' in width, to a gravel surface from Mission Street to Moon ridge; provided, that the portion of the pathway located within the old railroad grade is already existing and graveled, and will not require additional work from the applicant.
 - d. More appropriate signage will be installed that will designate the public pathway route, such signage to be approved by the Parks & Rec Director prior to installation.
 - Applicant has or will satisfy this condition prior to recording the plat for Phase 2. Attached hereto as **EXHIBIT 10** is the proposed Second Amended Pathway and Utility Agreement Applicant has submitted to the City to satisfy this requirement.
7. In the event a security gate is installed at either entrance to the subdivision, the applicant shall install an SOS siren activator to provide a means of emergency access per 2015 International Fire Code 503.6.
 - This condition will be satisfied prior to installation of a security gate at either entrance.
 8. Prior to issuance of a building permit for any parcel, the applicant shall receive approval from Central District Health Department.
 - This condition will be satisfied prior to obtaining a building permit for any parcel in Phase 2.
 9. Prior to issuance of a building permit for Lots 63-65, engineered slope stabilization will be required. Such engineered solutions shall be provided by a licensed and qualified professional engineer with experience in such remediation and stabilization work. Engineered plans and construction shall require City review and approval prior to implementation.
 - This condition is only applicable to Lots 63- 65, which are in Phase 3.
 10. Prior to issuance of a Certificate of Occupancy, building numbers in accordance with McCall Addressing Guidelines shall be installed.
 - This condition will be satisfied prior to obtaining a certificate of occupancy.
 11. The applicant shall apply for their Phase 3 PUD Final Plan and Subdivision Final Plat on or before April 30, 2025. The Phase 3 Final Plat shall be recorded prior to the Phase 2 Final Plat to ensure that the open space and density requirements are met.
 - This condition has been satisfied and the Phase 3 plat has been recorded.

12. The applicant shall apply for all or a portion of their Phase 2 PUD Final Plan and Subdivision Final Plat on or before April 30, 2030.
 - This condition is satisfied by this submission.

13. A full set of as built (record) drawings of all improvements intended for public use and maintenance, including, but not limited to, water and sewer lines, and including also private and public streets, shall be furnished to the city for the permanent records of the city within sixty (60) days of completion of the construction.
 - These drawings will be provided by the applicant within the timeline specified.

EXHIBIT 6

**ESCROW ACCOUNT AGREEMENT
River Ranch Subdivision Phase 2 - SUB 19-06**

This Escrow Account Agreement is made and entered into by and between MCCALL RIVER RANCH COMPANY, an Idaho Corporation (“**MRRC**”), whose address is P.O. Box 2529, McCall, ID 83638, and the CITY OF MCCALL, a Municipal Corporation (the “**City**”), whose address is 216 E. Park St., McCall, Idaho, 83638.

RECITALS

- A. MRRC is developing certain real property in McCall, Idaho, that will be or has been platted as River Ranch Subdivision Phase 2, which plat will be recorded with Valley County, Idaho Recorder (“**Property**”).
- B. Certain utilities and improvements for the Property will not be complete when the building permit for the Property is applied for. Such improvements are described at the attached **Exhibit A** (collectively the “**Improvements**”). In compliance with M.C.C. 9.6.067, MRRC has established an Escrow Account to assure that sufficient funds are available and earmarked for the completion of the Improvements.
- C. The estimated cost to complete construction of the Improvements, as certified by the MRRC Project Engineer, is \$ _____ as set out at **Exhibit A**. 125% of that sum is \$ _____, which sum will be deposited by MRRC to assure completion of the Improvements.
- D. Under the terms of the approval of the Preliminary Plat for River Ranch Subdivision Phase 3, the City of McCall requires MRRC to provide certain financial assurances of payment and completion of the improvements. Pursuant to M.C.C. 9.6.067, MRRC must deposit funds into an escrow account in an amount equal to 125% of the above stated cost of completion of the Improvements. The additional 25% is referred to in this Agreement as the “**Reserve**”. The parties hereto intend that the escrow established by these Escrow Account Instructions shall satisfy the financial assurance requirements of the City of McCall.

AGREEMENT

NOW THEREFORE, in consideration of the mutual covenants and conditions hereof and other good and valuable consideration, the parties hereto agree as follows:

DEPOSIT OF FUNDS

- 1. **Initial Deposit.** MRRC has placed on deposit with AmeriTitle (hereinafter “**Escrow Holder**”), 507 Pine Street, Cascade, Idaho 83638 (the “**Escrow Account**”) the sum of \$ _____ to be held in an account and disbursed pursuant to the terms hereof.
- 2. **Substitution of Funds.** At MRRC’s discretion, funds in this account can be replaced with a Letter of Credit in accordance with M.C.C. 9.6.067, established with a banking institution in an amount equal to the remaining balance of the escrow account, or a portion thereof, in form acceptable to the City of McCall. The McCall City Clerk shall be notified in advance of any such substitution.

DISBURSEMENT OF FUNDS

3. **Requests for Disbursement of Funds:** The Improvements will be completed by no later than **December 31, 2026**. Requests for disbursement of funds (“**Requests**”) may be made by MRRC as line items in **Exhibit A**, or portions thereof, are completed, but in no case more frequently than monthly. Requests shall include the following:

a. An engineer’s certificate, from MRRC’s project engineer, stating the work for which disbursement is requested is substantially complete, identifying which line items within **Exhibit A** are yet to be completed, and identifying the percentage of completion by line item and by total cost of the Improvements; and,

b. Disbursements shall be made directly to MRRC, who shall be responsible for payments to contractors, subcontractors, employees, materialmen and any others to whom payment is due. Copies of the Request shall be simultaneously provided to Escrow Holder and to the City Clerk and the City Engineer.

c. Absent written objection to the Request provided by the City to the Escrow Holder and MRRC within ten (10) days after the date of submittal of the Request, distribution from the Escrow Account shall be made by Escrow Holder no later than eleven (11) days after the date of submittal of the Request, or on the next working day thereafter. To the extent permitted under Idaho law, the City agrees to release Escrow Holder from any claims of any nature whatsoever that a distribution made under these circumstances was improperly made by Escrow Holder. MRRC agrees to release Escrow Holder from any such claims; and, in addition, MRRC agrees to indemnify Escrow Holder against and to hold Escrow Holder harmless regarding any such claim which might be asserted against Escrow Holder.

d. At MRRC’s option, the Request may include the pro-rata portion of the 25% Reserve which is included in the aforesaid Deposit, such that at all times a sum equal to or exceeding 25% of the remaining estimated cost to complete the Improvements remains in the Escrow Account. In this event, MRRC shall include in the Request all other calculations showing the requirements of this subparagraph are satisfied.

e. Escrow Holder shall have no responsibility for obtaining, maintaining or having any involvement regarding lien releases related to the construction of the Improvements or otherwise.

If, at any time pending completion of Improvements, the City is concerned that less than 125% of the estimated cost to complete remains in the Escrow Account, or that any funds have or are proposed to be improperly distributed, then such concern will be resolved between the City and MRRC.

4. **Request for Final Disbursement:** The MRRC project engineer shall provide certification to the Escrow Holder, with copies to the City Clerk and City Engineer, when the Improvements are completed. Absent written objection to the Certification, provided by the City to the Escrow Holder and MRRC within ten (10) days after the date of submittal of the Certification, then the balance of the funds held in the Escrow Account shall be disbursed by Escrow Holder to MRRC, or to persons designated by MRRC, as aforesaid, no later than eleven (11) days after the date of submittal, or on the next working day thereafter.

5. **Use of Funds by the City:** In the event that MRRC fails to complete all of the Improvements on or before **December 31, 2026**, then the City shall be entitled to take control of the funds remaining in the Escrow Account and apply the funds held therein to the completion of the Improvements, after giving the Escrow Holder and MRRC thirty (30) days advance written notice of its intent to do so. In such case, should the funds remaining in the Escrow Account be insufficient to complete the Improvements, then MRRC shall be liable to the City for the additional funds necessary to complete the Improvements, together with all costs and expenses reasonably incurred by the City in completing the Improvements and collecting the necessary funds from MRRC. Any funds in the Escrow Account in excess of the City's cost to complete shall be returned to MRRC.

GENERAL TERMS

6. MRRC does not intend that any persons or entities other than the City of McCall and Escrow Holder, and their successors and assigns, shall have any rights or remedies hereunder. The parties hereto specifically disclaim any intent to bestow any enforceable benefit upon any third parties as against the parties hereto. Any benefit accruing to any such third party as the result of the execution of these Escrow Instructions is merely coincidental and no such third party may rely on receiving such benefit.

7. The City of McCall Clerk shall be entitled to receive statements confirming account balance and disbursements made from the Escrow Account, upon request made to Escrow Holder, with copy to MRRC.

8. Any costs and fees charged by Escrow Holder shall be borne by MRRC.

9. MRRC and the City acknowledge and agree that Escrow Holder, by holding such sums in trust as set forth hereunder, assume no responsibility or liability under this Agreement or otherwise other than the responsibility to hold the sums paid to it in trust, and apply such sums as set out herein. Escrow Holder may terminate the escrow account at any time, after providing the parties with thirty (30) days advance written notice. In such case monies remaining in the Escrow Account shall be disposed of according to the joint instruction of MRRC and the City.

10. If any controversy arises with regard to distribution of funds in the Escrow Account, Escrow Holder shall have the right to stop all proceedings in and performance of said escrow until satisfactory written evidence of settlement is provided, whether or not such controversy results in litigation brought by the parties, by a third person, or in an interpleader action brought by Escrow Holder. The parties hereto jointly and severally agree to pay all costs, damages, judgments and expenses, including reasonable attorney's fees suffered or incurred by the Escrow Holder in connection with such controversy, or otherwise arising out of this Agreement, including, but without limiting a suit in interpleader brought by the Escrow Holder.

11. Escrow Holder shall have no liability for the solvency of the institution in which said Funds are deposited nor the availability of funds on a certain date. MRRC agrees to hold Escrow Holder harmless regarding and to indemnify Escrow Holder against any loss, costs, expenses, attorney fees or claims which may arise by reason of the designation of the depository. Escrow Holder is not responsible for performing any Municipal, State, or Federal tax withholding or reporting.

12. The funds held by Escrow Holder pursuant to the terms of this Agreement cannot be withdrawn without the prior written consent of MRRC and the City of McCall, except by Court Order.

13. The terms of this Agreement Shall inure to the benefit of and bind the parties hereto, together with their heirs, successors and assigns.

McCALL RIVER RANCH COMPANY

CITY OF McCALL

By: _____
_____, President
Date: _____

By: _____
_____, Mayor
Date: _____

ESCROW HOLDER

AmeriTitle, Inc

By: _____
Print Name: _____
Title: _____
Date: _____

DRAFT

DRAFT

EXHIBIT 9

DECLARATION OF PUBLIC UTILITY EASEMENT

For Water, Drainage, Snow Storage, and Other Public Underground Utilities River Ranch Subdivision Phase 2

MCCALL RIVER RANCH COMPANY, an Idaho Corporation, hereinafter the Grantor, is the fee owner of the real property which is the subject of a Final Plat for River Ranch Subdivision Phase 2, recorded with the Valley County, Idaho Recorder as Instrument No. _____, a copy of which is attached hereto as **Exhibit A** (the "Property"), and desires to declare a utility easement in favor of the CITY OF McCALL, IDAHO and all other applicable regulated public utilities, in, to, over, upon, across and through a portion of the Property for public snow storage, water and stormwater facilities, and other public underground utilities, easements for which are shown on the attached Final Plat for the Property (together with any road right of way depicted on the final plat for the Property, shall be collectively called the "Utility Easements"), and for access, ingress and egress thereto for construction, installation, operation, inspection, maintenance and repair of the Utility Easements, or for removal of utilities, and other purposes as may be required.

NOW, THEREFORE, Grantor hereby declares, imposes upon and makes the Property subject to the following easement and covenants:

1. **Grant of Easement.** Grantor hereby declares a perpetual easement in favor of the City of McCall, Idaho, in, to, over, upon, across and through the Utility Easements.

2. **Access to Easement.** The grant of the easement shall be for facilities for water, stormwater management, above ground snow storage, and other public underground utilities, and for access, ingress and egress to the Utility Easements for construction, installation, operation, inspection, maintenance and repair of the Utility Easements, or for removal of utilities, and other purposes as may be required by the owner of said utilities, together with the right to enter onto the roads on the Property for the purposes herein specified and the right to occupy such width of the land within the boundaries of the Utility Easements as is necessary to properly do the work of constructing, installing, operating, inspecting, maintaining and repairing the Utility Easements, or removing the utility or other purposes as may be required with personnel and with such equipment as is commonly used, or is reasonably adapted, to that work. Grantor, for itself, its heirs, successors and assigns, reserves the right to use the Utility Easements for any purpose not inconsistent with this Declaration of Public Utility Easement.

3. **Costs.** Grantor shall bear no responsibility or liability for the costs of constructing and installing water and stormwater facilities, and underground utilities, or for any costs of operating, inspecting, maintaining and repairing the same as may be required from time to time, or for removing the utility. Notwithstanding the foregoing, Grantor shall be responsible and liable for all costs associated with water, stormwater, snow storage, or underground utilities which must be constructed or installed due to private building or development on individual lots or open spaces located Property and any costs of operating, inspecting, maintaining and repairing the same as may be required from time to time, or for removing such improvement or utility.

4. **Temporary Structures on Easement.** Grantor will not erect any permanent structure on the Utility Easements; however, Grantor may place temporary structures on the Utility Easements. Upon receiving written notice from any public utility of the need for inspection, maintenance or repair to

the Utility Easements, Grantor will have ten (10) days in which to move such temporary structures. In the case of an emergency, no written notice to Grantor is required.

5. **Landscaping.** Grantor may landscape the Utility Easements with plantings and ground cover but will plant no trees or large shrubbery on the Utility Easements. If the Utility Easements are damaged or harmed in any way as a result of Grantee’s use of the Utility Easements, Grantee will cause such property to be repaired and restored to a condition generally equal to that existing before such activity was commenced.

6. **Run with the Land.** All provisions of this Declaration of Easement and its benefits and burdens shall run with the land and shall benefit and bind the heirs, successors and assigns of Grantor.

7. **Situs.** This Declaration of Easement shall be construed under the laws of the State of Idaho.

8. **Remedies.** Grantor acknowledges that Grantor and applicable public utilities and their respective heirs, successors and assigns shall have all rights and remedies provided at law or in equity to enforce this Declaration of Easement and in the event of any action or proceeding in any way arising out of this Declaration of Easement, or attempting to enforce any right herein granted, the losing party shall pay the prevailing party's reasonable attorney fees and costs.

IN WITNESS WHEREOF, the Grantor has executed this Declaration of Easement on the date specified by its signature below.

McCALL RIVER RANCH COMPANY
An Idaho Corporation

By: _____

Elizabeth Hart Wood, President

STATE OF IDAHO,)

County of Valley)

On this _____ day of _____, 2023, before me, a Notary Public in and for said State, personally appeared Elizabeth Hart Wood, known or identified to me to be the President of McCALL RIVER RANCH COMPANY, the corporation that executed the instrument or the person who executed the instrument on behalf of said corporation, and acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year in this certificate first above written.

NOTARY PUBLIC FOR IDAHO

My Commission Expires: _____

EXHIBIT 10

**SECOND AMENDMENT TO
PATHWAY AND UTILITY EASEMENT AGREEMENT**

This Second Amendment to Pathway and Utility Easement Agreement is entered into this _____ day of _____, 2023, by and between McCALL RIVER RANCH COMPANY, an Idaho corporation, and RRRMD LLC, an Idaho limited liability company (hereinafter collectively “Grantor”), and THE CITY OF MCCALL, a municipal corporation in the State of Idaho, whose address is 216 E. Park Street, McCall, Idaho 83638 (hereafter “Grantee” or “the City”).

RECITALS:

WHEREAS, Grantor and Grantee previously executed a Pathway Utility Easement Agreement recorded with the Valley County, Idaho Recorder on August 3, 2005 as Instrument No. 298489, (“Original Easement Agreement”) and an Amendment to Pathway and Utility Easement Agreement recorded with the Valley County, Idaho Recorder on June 17, 2009 as Instrument No. 342388 (Amended Easement Agreement”). The Original Easement Agreement and Amended Easement Agreement are collectively referred to herein as “the Easement Agreement.” The pathway portion of the Easement Agreement will be further amended as provided herein.

WHEREAS, McCALL RIVER RANCH COMPANY and RRRMD LLC each own a 50% undivided tenant-in-common interest in that certain real property located in Valley County, Idaho, and more particularly described in the attached **EXHIBIT A**, which is incorporated herein.

WHEREAS, McCALL RIVER RANCH COMPANY is in the process of obtaining final approval for River Ranch Subdivision Phase 2, and as part of said approval Grantee requires the establishment of the final location of the pathway from Mission Street to Moonridge Road;

WHEREAS, Grantor and Grantee desire to finalize the location of the Pathway Easement connecting Mission Street to Moonridge Road, as described in **EXHIBIT B** and depicted on **EXHIBIT C**, and to memorialize each parties’ obligations regarding said Pathway Easement, under the terms and conditions outlined hereafter.

AGREEMENT:

WHEREFORE, the parties do covenant and agree as follows:

1. The legal description of the Pathway Easement is hereby amended to include the real property described in **EXHIBIT B** and depicted on **EXHIBIT C**. Grantor hereby grants to Grantee, and hereby dedicates to the public, a non-exclusive easement for non-motorized use of the Pathway Easement, in accordance with the terms of the Original Easement Agreement.
2. A portion of the Pathway Easement granted in the Original Easement Agreement and Amended Easement Agreement, as described in **EXHIBIT D** attached hereto, is hereby vacated and abandoned.
3. Grantor shall improve the pathway connecting Mission Street to Moonridge Road, which shall be at least 8 feet in width, to a gravel surface from Mission Street to Moonridge; provided that any portion of the pathway located within the old railroad grade is already existing and graveled, and will not require additional work from Grantor.
4. Grantee assumes all responsibility for maintenance and public safety of the entire pathway, including any portion within the River Ranch Subdivision. Except as necessary for maintenance or repair, no motorized vehicles shall be allowed on the pathway.
5. Grantor, or its successors in interest to the real property described in EXHIBIT A, shall have the unilateral right to relocate the Pathway Easement contained in EXHIBIT A to run adjacent to Mission Street and Moonridge Road. Should Grantor, or its successor, exercise this option, they shall construct a new pathway along Mission Street and Moonridge Road that is of the same appearance and quality of the paved path that currently runs along Mission Street. Additionally, the then existing pathway shall remain open to the public until the new pathway is constructed, at which point it may be vacated. Any such relocation shall be at Grantor's, or its successors, sole expense, and shall be built to the City of McCall, Department of Parks and Recreation's pathways specifications.
6. This Second Amendment to Pathway and Utility Easement shall satisfy McCall River Ranch's obligations under §3.1.6 of the Development Agreement, as amended, between McCall River Ranch Company and the City of McCall, and condition number 6 of the Conditions of Approval contained in the Findings of Facts for PUD 19-04 and SUB 19-06.
7. To the extent the terms of this Second Amendment modify or conflict with any provision of the Original Easement Agreement or the Amended Easement Agreement, the terms of this Second Amendment shall control. All other terms of the Original Easement Agreement, as amended, that are not modified by this Agreement shall remain the same, and shall remain in full force and effect.

SPACE INTENTIONALLY LEFT BLANK

WHEREFORE, the parties have set their hands to this Second Amendment to Pathway and Utility Easement Agreement the date and year first above indicated.

GRANTOR:

McCALL RIVER RANCH COMPANY

RRRMD LLC

By: _____
ELIZABETH HART WOOD
President

By: _____
DENNIS M. HART
Authorized Member

GRANTEE:

CITY OF McCALL, IDAHO

By: _____
ROBERT S. GILES, Mayor

Attest: _____
BESSIEJO WAGNER, City Clerk

NOTARIES ON FOLLOWING PAGES

STATE OF _____)
) ss.
County of _____)

On this ____ day of _____, 2023, before me _____, personally appeared ELIZABETH HART WOOD, known or identified to me (or proved to me on the oath of _____), to be the President of McCALL RIVER RANCH COMPANY, who subscribed said entity's names to the foregoing instrument, and acknowledged to me that she executed the same in said entity's names

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

NOTARY PUBLIC FOR _____
Residing at _____
My Commission Expires _____

STATE OF _____)
) ss.
County of _____)

On this ____ day of _____, 20__, before me _____, personally appeared DENNIS M. HART, known or identified to me (or proved to me on the oath of _____) to be the member of RRRMD, LLC, duly authorized to execute this Agreement, and acknowledged to me that said limited liability company executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

NOTARY PUBLIC FOR _____
Residing at _____
My Commission Expires _____

NOTARIES CONTINUE ON NEXT PAGE

STATE OF IDAHO)
 : ss
County of Valley)

On this ___ day of _____, 2023, before me, the undersigned, a Notary Public in and for said State, respectively of the CITY OF MCCALL, IDAHO, known to me or identified to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me that they executed the same and were so authorized to do so on behalf of the City of McCall, Idaho.

Notary Public for Idaho
Commission Expires: _____

DRAFT

EXHIBIT A

SECESH ENGINEERING, INC.

335 Deinhard Lane, Suite 1
P.O. Box 70
McCall, ID 83638
208-634-6336 • FAX 208-634-6322

BOUNDARY DESCRIPTION

A parcel of land situated in the southeast 1/4 of Section 20 and the northwest 1/4 of the northeast 1/4 of Section 29, T.18N., R.3E., B.M., more particularly described as follows:

BEGINNING at the southeast corner of said Section 20, as shown on the plat of River Ranch Subdivision Phase 1B, recorded in Book 12 at Page 33 of Plats, as Instrument Number 342383, Records of Valley County, Idaho; thence, along the south line of said Section 20,

- 1.) N.89°59'40"W., 1754.90 feet to the beginning of a tangent curve, a point on the boundary of said Phase 1B; thence, along said boundary,
- 2.) along said curve to the left having a radius of 635.00 feet, an arc length of 89.62 feet, through a central angle of 8°05'11", and a chord bearing and distance of S.66°51'06"W., 89.55 feet; thence,
- 3.) N.26°45'34"E., 1266.80 feet to the beginning of a non-tangent curve; thence,
- 4.) along said curve to the left having a radius of 410.00 feet, an arc length of 64.09 feet, through a central angle of 8°57'24", and a chord bearing and distance of N.31°14'16"E., 64.03 feet; thence, tangent from said curve,
- 5.) N.26°45'34"E., 621.37 feet to the beginning of a tangent curve; thence,
- 6.) along said curve to the left having a radius of 445.00 feet, an arc length of 174.84 feet, through a central angle of 22°30'43", and a chord bearing and distance of N.15°30'13"E., 173.72 feet to a point on the boundary of River Ranch Subdivision Phase 1A, recorded in Book 10 at Page 33 of Plats, as Instrument Number 304211, Records of Valley County, Idaho; thence, along said boundary,
- 7.) S.89°27'14"E., 925.30 feet to a point on the east line of said Section 20; thence, departing said subdivision boundary, along said section line,
- 8.) S.0°32'47"W., 1864.32 feet to the **POINT OF BEGINNING**.

CONTAINING 58.20 acres, more or less.

EXHIBIT B

Page 1 of 2

SECESH ENGINEERING, INC.

335 Deinhard Lane, Suite 1
P.O. Box 70
McCall, ID 83638
208-634-6336 • FAX 208-634-6322

**LEGAL DESCRIPTION
RIVER RANCH PATHWAY EASEMENT
PARCEL A**

A parcel of land situated in the southeast 1/4 of section 20, T.18N., R.3E., B.M., more particularly described as a 15 foot wide strip of land, 7.5 feet either side of the following centerline:

COMMENCING at the southeast corner of River Ranch Subdivision Phase 1A, filed in Book 10 Page 33 of Plats, Instrument Number 304211, Records of Valley County, Idaho; thence, along the south line of said Subdivision,

- A.) N.89°27'14"W., 74.52 feet to the **POINT OF BEGINNING**; thence, departing said subdivision boundary,
 - 1.) S.0°32'47"W., 33.14 feet; thence,
 - 2.) S.70°34'52"W., 595.18 feet; thence,
 - 3.) S.52°58'50"W., 537.00 feet; thence,
 - 4.) S.22°04'56"W., 289.89 feet; thence,
 - 5.) S.83°03'23"W., 179.68 feet; thence,
 - 6.) S.48°09'03"W., 26.54 feet to a point on the east line of River Ranch Subdivision Phase 1B, the **POINT OF TERMINATION**.

CONTAINING 0.57 Acres, more or less.

The sidelines of said easement begin on the south line of said River Ranch Subdivision Phase 1A and end on the east boundary of said River Ranch Subdivision Phase 1B.

EXHIBIT B

Page 2 of 2

**LEGAL DESCRIPTION
PATHWAY EASEMENT
PARCEL B**

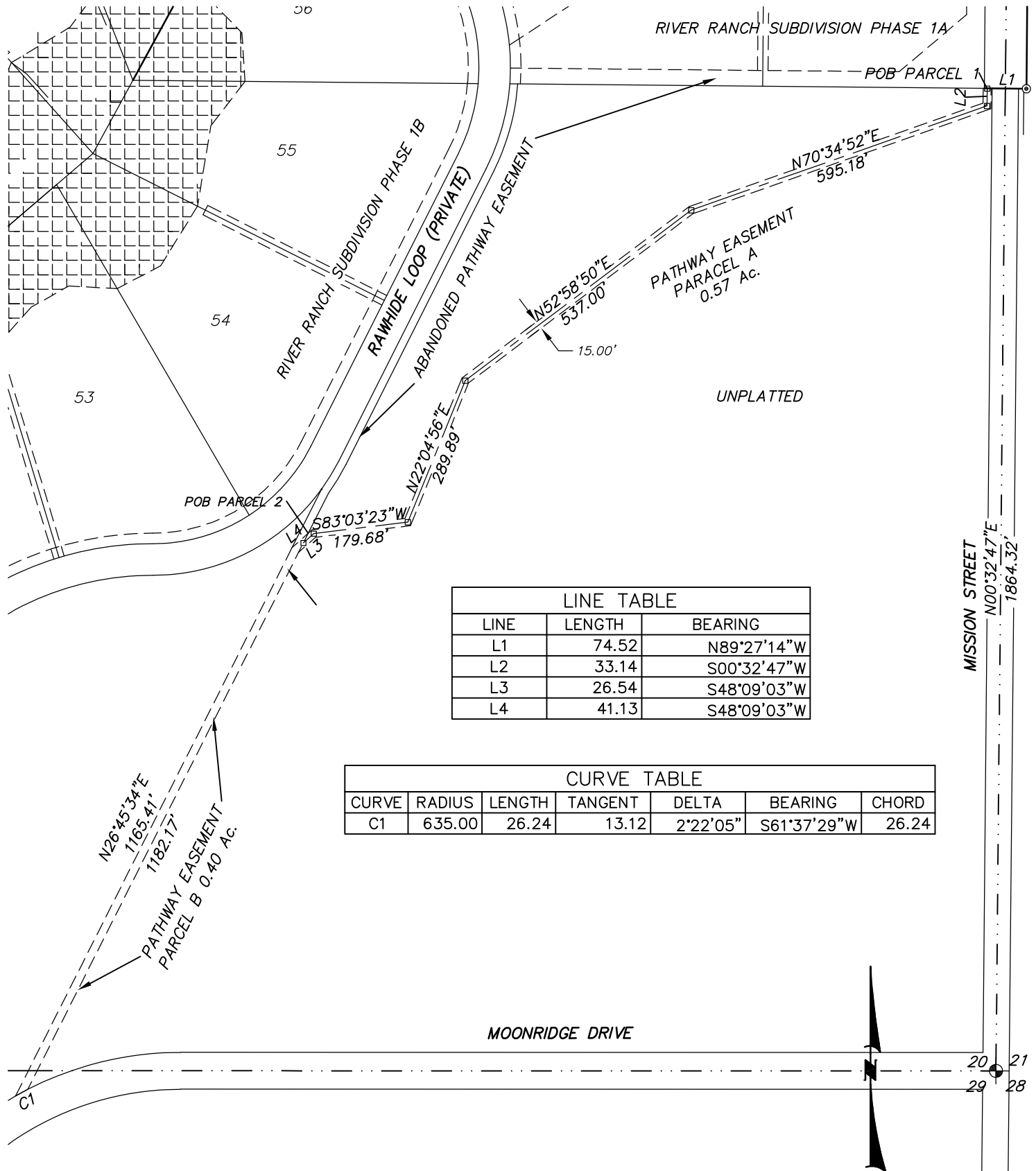
A parcel of land, a portion of Open Space Parcel E Block 7, River Ranch Subdivision Phase 1B, situated in the southeast 1/4 of Section 20, and the northeast 1/4 of Section 29, T.18N., R.3E., B.M., more particularly described as:

COMMENCING at the northeast corner of said Open Space Parcel E, as show on the Plat of said River Ranch Subdivision Phase 1B, filed in Book 12 Page 33 of Plats, Instrument Number 342383, Records of Valley County, Idaho; thence, along the east line of said Open Space Parcel E,

- A.) along a curve to the right having a radius of 445.00 feet, an arc length of 174.84 feet, through a central angle of 22°30'43", and a chord bearing and distance of S.15°30'13"W., 173.72 feet; thence, tangent from said curve,
- B.) S.26°45'34"W., 621.37 feet to the beginning of a tangent curve; thence,
- C.) along said curve to the right having a radius of 410.00 feet, an arc length of 64.09 feet, through a central angle of 8°57'24", and a chord bearing and distance of S.31°14'16"W., 64.03 feet; thence,
- D.) S.26°45'34"W., 84.62 feet to the **POINT OF BEGINNING**; thence, continuing along the boundary of said Open Space Parcel E,
 - 1.) S.26°45'34"W., 1182.17 feet to the beginning of a non-tangent curve; thence,
 - 2.) along said curve to the left having a radius of 635.00 feet, an arc length of 26.24 feet, through a central angle of 2°22'05", and a chord bearing and distance of S.61°37'29"W., 26.24 feet; thence,
 - 3.) N.26°45'34"E., 1165.41 feet; thence, departing the boundary of said Open Space Parcel E,
 - 4.) N.48°09'03"E., 41.13 feet to the **POINT OF BEGINNING**.

CONTAINING 0.40 Acres, more or less.

EXHIBIT C



LINE TABLE		
LINE	LENGTH	BEARING
L1	74.52	N89°27'14"W
L2	33.14	S00°32'47"W
L3	26.54	S48°09'03"W
L4	41.13	S48°09'03"W

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	CHORD
C1	635.00	26.24	13.12	2°22'05"	S61°37'29"W	26.24

MISSION STREET
 N00°32'47"E
 1864.32'

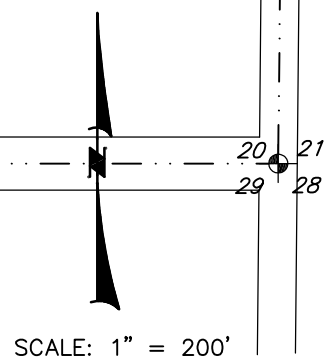


EXHIBIT D

Page 1 of 2

SECESH ENGINEERING, INC.

335 Deinhard Lane, Suite 1
P.O. Box 70
McCall, ID 83638
208-634-6336 • FAX 208-634-6322

LEGAL DESCRIPTION PATHWAY EASEMENT VACATION

A parcel of land, portions of Lots 32 and 33 Block 2, River Ranch Subdivision Phase 1A and Open Space Parcel E Block 7, River Ranch Subdivision Phase 1B, situated in the southeast 1/4 of Section 20, T.18N., R.3E., B.M., more particularly described as:

COMMENCING at the east 1/4 corner of said Section 20, as show on the Plat of said River Ranch Subdivision Phase 1B, filed in Book 12 Page 33 of Plats, Instrument Number 342383, Records of Valley County, Idaho; thence, along the east line of said Section 20,

- A.) S.0°32'47"W., 782.34 feet to a point on the south line of said River Ranch Subdivision Phase 1A; thence, departing said section line, along said subdivision boundary,
- B.) S.89°27'14"W., 55.15 feet to the **POINT OF BEGINNING**; thence, continuing along said boundary,
- 1.) S.89°27'14"W., 870.15 feet to the northeast corner of Open Space Parcel E Block 7 River Ranch Subdivision Phase 1B; thence, along the east boundary of said parcel,
- 2.) along a curve to the right having a radius of 445.00 feet, an arc length of 174.84 feet, through a central angle of 22°30'43", and a chord bearing and distance of S.15°30'13"W., 173.72 feet; thence, tangent from said curve,
- 3.) S.26°45'34"W., 621.37 feet to the beginning of a tangent curve; thence,
- 4.) along said curve to the right having a radius of 410.00 feet, an arc length of 64.09 feet, through a central angle of 8°57'24", and a chord bearing and distance of S.31°14'16"W., 64.03 feet; thence,
- 5.) S.26°45'34"W., 84.62 feet; thence,
- 6.) S.48°09'03"W., 41.13 feet to the west boundary of said Open Space Parcel E; thence, along said boundary,
- 7.) N.26°45'34"E., 124.09 feet; thence,
- 8.) along a curve to the left having a radius of 395.00 feet, an arc length of 62.92 feet,

EXHIBIT D

Page 2 of 2

through a central angle of $9^{\circ}07'38''$, and a chord bearing and distance of $N.31^{\circ}19'23''E.$, 62.86 feet; thence, tangent from said curve,

- 9.) $N.26^{\circ}45'34''E.$, 621.37 feet to the beginning of a tangent curve; thence,
- 10.) along said curve to the left having a radius of 430.00 feet, an arc length of 198.00 feet, through a central angle of $26^{\circ}22'58''$, and a chord bearing and distance of $N.13^{\circ}34'05''E.$, 196.26 feet; thence, departing the boundary of said Open Space Parcel E,
- 11.) $S.89^{\circ}27'14''E.$, 737.64 feet; thence,
- 12.) $N.49^{\circ}44'23''E.$, 167.44 feet; thence,
- 13.) $S.7^{\circ}33'19''E.$, 140.83 feet to the **POINT OF BEGINNING**;

CONTAINING 1.12 Acres, more or less.

DRAFT

**SUPPLEMENTAL COVENANTS, CONDITIONS
AND RESTRICTIONS
FOR
RIVER RANCH SUBDIVISION PHASE 2**

SUPPLEMENTAL COVENANTS, CONDITIONS AND RESTRICTIONS
FOR
RIVER RANCH SUBDIVISION
PHASE 2

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DRAFT

SUPPLEMENTAL COVENANTS, CONDITIONS AND RESTRICTIONS FOR RIVER RANCH SUBDIVISION PHASE 2

These Supplemental Covenants, Conditions and Restrictions are made this ____ day of _____, 2023, by McCall River Ranch Company, an Idaho corporation.

ARTICLE 1. Introduction & Purpose

1.1 These Supplemental Covenants, Conditions and Restrictions (“Supplemental CC&Rs”) (a) are filed pursuant to Section 7.1 of the General Covenants, Conditions and Restrictions for River Ranch, McCall, Idaho (the “General CC&Rs”) recorded December 22, 2005 as Instrument No. 304213 with the Valley County, Idaho Recorder, as may be amended; and, (b) affects only Phase 2 of River Ranch McCall, Idaho, according to the recorded Plat thereof described at Section 2.3 below, and any amendments thereto (the “Affected Property”).

1.2 The purposes of these Supplemental CC&Rs are to set forth additional covenants and conditions with respect to the use, density and design of improvements on the Affected Property, in order to preserve the natural beauty of River Ranch and its setting, to maintain River Ranch as a pleasant and desirable environment, to establish and preserve a harmonious design for the community, and to protect and promote the value of the Affected Property and River Ranch.

ARTICLE 2. Definitions

2.1 Lot: Each parcel of real property depicted on the River Ranch, McCall, Idaho Phase 2 Plat as a Lot which may be independently owned and conveyed, as defined in Section 2.16 of the General CC&Rs.

2.2 Affected Lot: Collectively, Lots 15 through Lot 23 of Block 6; Lots 40 through 50 and 66 through 71 of Block 5 and Lot 72 of Block 7, as set forth on the Phase 2 Plat (each an “Affected Lot”).

2.3 Phase 2 Plat: That certain Plat recorded on _____, 2023, as Instrument No. _____ with the Valley County, Idaho Recorder and entitled “River Ranch Subdivision, Phase 2,” as the same may be amended.

2.4 Phase 2 Supplemental CC&Rs: These Phase 2 Supplemental CC&Rs, as may be amended and supplemented.

2.5 Phase 1A Plat: That certain Plat recorded December 22, 2005, as Instrument No. 304211 with the Valley County, Idaho Recorder and entitled “River Ranch Subdivision, Phase 1A,” and as the same may be amended.

2.6 Phase 1A Supplemental CC&Rs: That certain Supplemental Covenants, Conditions and Restrictions for River Ranch Subdivision Phase 1A recorded December 22, 2005, as Instrument No. 304216 with the Valley County, Idaho Recorder, and as the same may be amended.

2.7 Phase 1B Plat: That certain Plat recorded June 17, 2009, as Instrument No. 342383 with the Valley County, Idaho Recorder and entitled “River Ranch Subdivision, Phase 1B,” as the same may be amended.

2.8 Phase 1B Supplemental CC&Rs: That certain Supplemental Covenants, Conditions and Restrictions for River Ranch Subdivision Phase 1B recorded June 17, 2009, as Instrument No. 342386 with the Valley County, Idaho Recorder, as the same may be amended.

2.9 Phase 3 Plat: That certain Plat recorded November 18, 2021, as Instrument No. 446095 with the Valley County, Idaho Recorder and entitled “River Ranch Subdivision, Phase 3,” as the same may be amended.

2.10 Phase 3 Supplemental CC&Rs: That certain Supplemental Covenants, Conditions and Restrictions for River Ranch Subdivision Phase 3 recorded November 18, 2021, as Instrument No. 446096 with the Valley County, Idaho Recorder, as the same may be amended.

2.11 Living Unit: One or more rooms designed for or which may readily be occupied exclusively by one family or group of people living independently from any other family or group of people, and having not more than one Cooking Facility.

2.12 Primary Single-Family Structure: A building which contains one Living Unit, meant for primary residential use.

2.13 Primary/Secondary Structure: A building which contains two Living Units, one being for Guests, which Living Units cannot be separately sold, rented or leased. The Secondary Unit must be attached to the Primary Unit.

2.14 Secondary Living Structure: A building which contains one Living Unit, and which is not the Primary Single-Family Structure meant for primary residential use.

2.15 Attached Garage: An Attached Garage is a garage which is attached directly to a Living Unit. A garage which is attached to a Living Unit by a breezeway or some other covered but unenclosed outdoor route shall be considered an Attached Garage. A Detached Garage, which may not contain a Living Unit, is a garage which is not attached.

2.16 Cooking Facility: Fixtures and equipment for food storage and preparation of meals, including at least a sink, oven and refrigerator.

2.17 Building Improvements: Any material improvement of any of the Affected Property including, but not limited to landscaping, site preparation, paving, building construction, exterior changes, or interior changes which change the use of interior space to an unauthorized use or which would change the number of Living Units.

2.18 Other: Other capitalized terms used herein shall have the meaning set forth in the General CC&Rs or in these Phase 2 Supplemental CC&Rs.

ARTICLE 3. Applicability of the Phase 2 Supplemental CC&Rs

3.1 Applicability of the Phase 2 Supplemental CC&Rs: These Phase 2 Supplemental CC&Rs shall apply to the Affected Property only, and supplement the provisions contained in the General CCRs. The Phase 1A Supplemental CC&Rs, the Phase 1B Supplemental CC&Rs, and the Phase 3 Supplemental CC&Rs shall not be applicable to any of the Affected Property, including but not limited to any portions of the Affected Property that may have been originally platted under the Phase 1A Plat, the Phase 1B Plat, or the Phase 3 Plat.

ARTICLE 4. River Ranch Association

4.1 Membership: Each Owner of an Affected Lot shall be a Class A Ranch Owner member of the River Ranch McCall Owners Association, pursuant to the River Ranch McCall Owners Association Articles of Incorporation and Bylaws.

4.2 Slope Stability: The Ranch Association shall be the responsible party to monitor slope stability of the river bluffs. Any instability or requirement for mechanical stabilization of any portion of the slopes shall be immediately reported to the City of McCall before any work may be performed. The City of McCall may, at its discretion, require the Ranch Association and/or property owner to obtain professional engineering services if it may deem necessary prior to any stabilization efforts. Costs of annual monitoring of the slopes shall be included as part of the Common Assessments for the Ranch Association. Any costs associated with repair and maintenance of the slopes shall be assessed as a Level Maintenance Assessment to the Owners of the Lots needing repair in proportion to the benefit received to each Lot.

4.3 Erosion Prevention: The Ranch Association and Owners of Lots adjacent to the Payette River shall be responsible to take every reasonable effort to prevent erosion and sedimentation from occurring from the project, and shall take every reasonable effort to prevent any such sedimentation from entering into the Payette riverbed.

ARTICLE 5. Common Areas, Easements, Roads and Utilities

5.1 Common Areas: The Phase 2 Plat does not designate any additional Common Areas for River Ranch. However, all Owners of the Affected Lots shall have a right and nonexclusive easement of use, access, and enjoyment in and to the Common Areas within River Ranch in accordance with Section 5.1 of the General CC&Rs.

5.2 Easements:

(a) **Utility Easements:** Declarant reserves the right to construct and maintain utilities, including but not limited to the drilling of wells, as well as irrigation facilities and recirculation facilities for lakes, within any Utility Easement and within any Common Area Lot which is depicted on the Phase 2 Plat, and to grant easements for the use, repair and maintenance of any such utility or facility. No Building Improvements shall be constructed within any Utility Easement other than utility or irrigation-related improvements, or as may be permitted pursuant to the Design Guidelines. The Ranch Association Board may draft additional Rules and Regulations with regard to Utility Easements.

(b) **Snow Removal Easements:** An easement is reserved in favor of the Ranch Association within any Snow Removal Easement which is depicted on the Phase 2 Plat for the placement of snow plowed, blown or otherwise cleared from driveways, roads, or Common Areas. No Building Improvements shall be constructed within any Snow Removal Easement other than utility-related improvements, and signage, entry monuments and lighting, and mail boxes which are permitted or required pursuant to the Design Guidelines.

(c) **Recreation Easements:** The Recreation Easements depicted on the Phase 2 Plat shall be reserved for such non-motorized recreational uses as the Declarant shall designate, in Declarant's sole discretion, including but not limited to the following uses: pedestrian, bicyclists, non-motorized watercraft, and skiers, and the use of motorized equipment to maintain, construct, and prepare trails for the same. Declarant shall also have the right to maintain, construct and prepare trails for recreational uses within Common Areas and road rights of way, as well as Association Maintained Envelope Easements as provided at subsection (d) below. The Recreation Easements cover lakes that have been constructed within River Ranch that are located within the Phase 2 Plat, in addition to easements on land. Declarant shall have the sole discretion to identify allowable users of the Recreation Easements and trails.

(d) **Association Maintained Envelope Easement:** The Owner of each Affected Lot hereby grants to the Ranch Association a permanent, nonexclusive easement to maintain all improvements within the Association Maintained Envelope on its Lot. The "Riparian and Shoreline Maintenance Easement" as depicted on the Phase 2 Plat shall also be deemed to be part of the Association Maintained Envelopes and shall be an Association Maintained Envelope Easement pursuant to the General CC&Rs. Association Maintained Envelopes are defined and described at Section 7.17 of the General CC&Rs, and Association Maintained Envelope Easements are described at Section 9.3 of the General CC&Rs. Motorized equipment may be utilized to the extent necessary to properly maintain the Association Maintained Envelope, including but not limited to landscaping (including, without limitation, tree maintenance and spraying for noxious weed abatement as allowed by law) and any and all maintenance necessary to maintain the lakes in River Ranch. Declarant shall also have the right to install any utilities allowed in a Utility Easement, as described at subsection (a) above, within an Association Maintained Envelope Easement, as well as the right to maintain, construct and prepare ski and hiking trails within the Association Maintained Envelope Easements, and shall have the sole discretion to identify allowable users of such trails.

(e) **75' Riparian and Shoreline Maintenance Easement:** The 75' Riparian and Shoreline Maintenance Easement depicted on the Phase 3 Plat ("**Riparian Easement**") is reserved for use by the Ranch Association as needed to protect the natural vegetation, prevent riverbank erosion, and to repair and maintain the same. No permanent structure may be built within the Riparian Easement, provided that certain improvements may be constructed in accordance with the provisions of Section _____, below. All landscaping within the Riparian Easement shall be in accordance with the provisions of Section _____, below. Removal of live vegetation within the Riparian Easement is prohibited, except for the removal of hazardous trees, approved by the City

arborist. Pruning of trees within the Riparian Easement is permitted to alleviate danger from wildfire. The Riparian Easement shall be fenced off during any construction on an adjacent Lot.

(f) **Bike Path Easements:** Declarant has entered into an agreement with the City of McCall whereby the bike path easement depicted on the Plat has been dedicated to the City of McCall for use by the general public.

5.3 Roads: All roads which are depicted on the Phase 2 Plat (including, but not limited to, those roads which are labeled as “Drive,” “Place,” or “Court”) are private roads and shall permanently remain private roads. Said private roads are hereby irrevocably dedicated for the nonexclusive use and enjoyment of the members of the Ranch Association, together with their guests, invitees, and assigns, subject to the terms, conditions, and reserved Declarant’s rights contained in the General CC&Rs and these Phase 2 Supplemental CC&Rs, which shall in no event divest the members’ right of use as aforesaid. As provided in the General CC&Rs, the Ranch Association shall be responsible for the maintenance and repair of the above-described private roads.

5.4 Utilities: River Ranch will be serviced by the City of McCall for its water facilities, which Declarant will provide to the boundary of each Lot. Owners will be obligated to connect to the City’s water system, pursuant to the rules and regulations of the City of McCall. Sewage disposal for each Lot shall be supplied by means of individual septic/drainfield systems, which shall be the responsibility of the Owner. Permits therefor shall be required from the Central District Health Department.

ARTICLE 6 Limitation of Building Improvements

6.1 Building Improvements on Affected Lots: Affected Lots may not contain any Building Improvements except:

- (a) Primary Single-Family Structure and a Secondary Living Structure, or a Primary/Secondary Structure;
- (b) A garage of a size and at a location approved in writing by the DRC, which may be attached or detached;
- (c) Such fences, walls, parking areas as may be approved in writing by the DRC;
- (d) A driveway in the location of the described driveway as shown on the Phase 2 Plat, or as otherwise approved by the DRC;
- (e) Landscaping improvements approved in writing by the DRC; and,
- (f) Such other improvements as may be approved in writing by the DRC. Maximum and minimum square footages are defined in the Design Guidelines.

A minimum of two structures are encouraged to be constructed on each Affected Lot. All improvements on Affected Lots shall be subject to (i) the Design Guidelines promulgated in accordance with the General CC&Rs and (ii) any approvals required by the DRC and/or the Board as required by the General CC&Rs or the Design Guidelines.

6.2 Lot Specific Restrictions: The following additional requirements shall apply to Lots 15, 16, 17, 18, 19, and 20.

(a) Individual stormwater reports shall be required for construction on each Affected Lot that is adjacent to the Payette River in order to demonstrate compliance with the City of McCall's Drainage Management Guidelines;

(b) The City of McCall may at its discretion require that geotechnical investigation(s) be performed by a licensed and qualified professional geotechnical engineer in order to demonstrate that soils on the Affected Property are adequate to support proposed improvements and that the slopes will not be adversely impacted by such improvement or post-development runoff.

(c) Permitted improvements within the 75' Riparian and Shoreline Maintenance Easement, such as in-ground ponds, patios, pathways/walkways, steps and landscaping features less than 30", shall be limited to within 15' of the Building Envelope and shall be approved by the DCR and the City of McCall. Any such improvements shall be designed to drain away from the slope.

(d) All landscaping within the 75' Riparian and Shoreline Maintenance Easement shall be approved by the DCR and City of McCall's Arborist. Any such landscaping shall be limited to native species that are appropriate to the setting and shall be hand-watered. No pipe or tubing irrigation (sprinklers or drip systems) shall be allowed within the 75' Riparian and Shoreline Maintenance Easement.

ARTICLE 7. Use of Affected Lots

7.1 Single-Family Residential Use: The Affected Lots shall be used only for single-family residential purposes with customary accessory uses, except as permitted under Section 7.4. Customary accessory uses may include long term rentals to persons who use such improvements for residential or lodging purposes, as restricted by the terms of Section 7.18 of the General CC&Rs; but short-term rentals under 60 days are specifically excluded as a permissible use. Provisions of the McCall City Code currently require a permit for the rental of any Accessory Dwelling Unit, as that term is defined in the McCall City Code.

7.2 No Further Division: No Owner of any Affected Lot may apply to the City of McCall, Idaho, or any governmental jurisdiction to further divide any Affected Lot, except that Declarant may further divide an Affected Lot, or adjust lot lines between Affected Lots, prior to sale of such Affected Lot(s), as approved by the City of McCall and the District Health Department.

7.3 Condominiums: No Owner of any Affected Lot shall dedicate or submit such Owners' Lot to a condominium form of ownership.

7.4 Home Office: An Affected Lot may also be used for a Home Office, only if the Ranch Association has issued a written permit for such activity. The Ranch Association may refuse to issue a permit in its sole and absolute discretion, if, in the Ranch Association's reasonable judgment, such activity would:

- (a) create additional vehicular traffic to or from such Lot;
- (b) employ persons at such lot other than those residing at such Lot;
- (c) require storage of any significant materials, machinery, inventory or other items on such Lot;
- (d) require processing of materials into finished products or the assembly of parts produced off site;
- (e) require additional parking at such lot, whether for customers, delivery or otherwise;
- (f) be incompatible with the quiet enjoyment of the surrounding Lots by such Lots' Owners; or,
- (g) otherwise violate the provisions of Article 7 or 8 of the General CC&Rs.

Any such permit shall be issued for a one-year period and upon such terms as the Ranch Association, in its sole discretion, deems reasonable, provided that such permit may be renewed annually upon the written request of the owner, which renewal may be granted or denied in the Ranch Association's sole discretion.

7.5 Fire Hydrants: Fire hydrants shall be kept clear of snow and other obstructions (fences, landscape, trees, etc.) at all times.

7.6 Wildland Fire Protection Requirements: All property located within Affected Property shall be subject to wildland fire protection requirements. The Ranch Association may adopt additional Rules and Regulations in this regard.

ARTICLE 8. Building Guidelines

8.1 All Building Improvements on any Affected Lot must be built strictly in accordance with the provisions of the Design Guidelines.

8.2 By acquiring any interest in an Affected Lot, the Owner of such Lot consents to and accepts the authority of the Design Committee to review and approve the plans and specifications for any Building Improvements on such Lot in accordance with the Design Guidelines in effect from time to time. In particular, such Owner recognizes that certain of the judgments which will be made by the DRC are subjective in nature, and such Owner agrees not to contest such subjective judgments unless they are made in bad faith or in an arbitrary and capricious manner.

ARTICLE 9. Future Development of Open Space Parcels

Notwithstanding any provision to the contrary contained in these Supplemental CCRs, Declarant reserves the right to further develop any parcels or areas designated as "Open Space" on the Phase 2 Plat as Declarant may determine in its sole discretion. Declarant need not seek or obtain approval from the Ranch Association or any Owners of Affected Lots for any such improvements or for platting of the same. All Owners of the Affected Lots hereby consent to such future development and waive any claim that such development is incompatible with or otherwise diminishes the value of their Lot or River Ranch.

ARTICLE 10. Miscellaneous

10.1 Duration of Phase 2 Supplemental CC&Rs: These Phase 2 Supplemental CC&Rs shall run with and bind the Affected Property and shall inure to the benefit of and shall be enforceable by the Ranch Association or any Owner of an Affected Lot, their respective legal representatives, heirs, successors, and assigns, for a term of 50 years from the date these Phase 2 Supplemental CC&Rs is recorded. After such time, these Phase 2 Supplemental CC&Rs shall be automatically extended for successive periods of ten years, unless an instrument in writing, signed by the Declarant and the Ranch Association upon the affirmative vote of the Class E Declarant Member, the Ranch Association Board, and 90% of the Owners of the Affected Lots, has been recorded within the year preceding each extension, agreeing to terminate these Phase 2 Supplemental CC&Rs, in which case these Phase 2 Supplemental CC&Rs shall be terminated as specified therein.

10.2 Amendment:

(a) **By the Board:** Except as limited or committed to action by the members, either by the Articles, the Bylaws, the General CC&Rs or these Phase 2 Supplemental CC&Rs, the Board shall have the power to amend these Phase 2 Supplemental CC&Rs at any regular meeting of the Board or at any special meeting called for that purpose at which a quorum is represented. However, if the members shall amend any portion of these Phase 2 Supplemental CC&Rs, the directors shall not thereafter amend the same in such manner as to defeat or impair the object of the members in taking such action. Any amendment to these Phase 2 Supplemental CC&Rs approved by the Board shall have no material adverse effect upon any right of any Owner or member.

(b) **By Owners:** Thereafter and otherwise, these Phase 2 Supplemental CC&Rs may be amended upon the affirmative vote of 75% of the Owners of the Affected Lots and the approval of Declarant and the Ranch Association, by the recording of a written instrument or instruments specifying the amendment or the repeal, executed by the Declarant and the Ranch Association.

Notwithstanding the above, the percentage of votes necessary to amend a specific clause shall not be less than the prescribed percentage of affirmative votes required for action to be taken under that clause.

(c) **Validity and Effective Date of Amendments:** Amendments to these Phase 2 Supplemental CC&Rs shall become effective upon recordation in the land

records of Valley County, Idaho, unless a later effective date is specified therein. Any procedural challenge to an amendment must be made within six months of its recordation or such amendment shall be presumed to have been validly adopted. In no event shall a change of conditions or circumstances operate to amend any provisions of these Phase 2 Supplemental CC&Rs.

If an Owner consents to any amendment to these Phase 2 Supplemental CC&Rs or the Residential Association Articles of Incorporation or Bylaws, it will be conclusively presumed that such Owner has the authority to so consent, and no contrary provision in any Mortgage or contract between the Owner and a third party will affect the validity of such amendment. No amendment shall be contrary to the terms or conditions of any valid County, State, or Federal Permit applicable to the PUD; nor, shall any Amendment divest any Owner of any material and substantial vested property rights.

No amendment may remove, revoke, or modify any right or privilege of the Declarant without the written consent of the Declarant or the assignee of such right or privilege.

10.3 Effect of Provisions of Phase 2 Supplemental CC&Rs: Each provision of these Phase 2 Supplemental CC&Rs, and a promise, covenant and undertaking to comply with each such provision: (a) shall be deemed incorporated in each deed or other instrument by which any right, title or interest in any real property within the Affected Property is granted, devised or conveyed, whether or not set forth or referred to in such deed or other instrument; (b) shall, by virtue of acceptance of any right, title or interest in any real property within the Affected Property by an Owner or the Ranch Association, be deemed accepted, ratified, adopted and declared as a personal covenant of such Owner or the Ranch Association, as the case may be; (c) shall, as a personal covenant, be binding on such Owner or the Ranch Association and such Owner's or the Ranch Association's respective heirs, personal representatives, successors and assigns; (d) shall, as a personal covenant of an Owner, shall be deemed a personal covenant to, with and for the benefit of Declarant and to, with and for the benefit of the Ranch Association but not to, with or for the benefit of any other Owner; (e) shall, if a personal covenant of the Ranch Association, be deemed a personal covenant to, with and for the benefit of Declarant and to, with and for the benefit of an Owner; (f) shall be deemed a real covenant by Declarant, for itself, its successors and assigns, and also an equitable servitude, running, in each case, as a burden with and upon the title to each parcel of real property within the Affected property; (g) shall, as a real covenant and also as an equitable servitude, be deemed a covenant and servitude for the benefit of any real property now or hereafter owned by Declarant within the Affected property and for the benefit of any and all other real property within River Ranch; and (h) shall be deemed a covenant, obligation and restriction secured by a lien, binding, burdening and encumbering the title to each parcel of real property within the Affected Property which lien with respect to any Unit shall be deemed a lien in favor of Declarant and the Ranch Association, jointly and severally, and, with respect to any real property owned by the Ranch Association, shall be deemed a lien in favor of Declarant.

10.4 Enforcement and Remedies: Each provision of these Phase 2 Supplemental CC&Rs with respect to an Owner or property of an Owner shall be enforceable by Declarant or the Ranch Association as provided in Section 16.4 of the General CC&Rs.

10.5 Protection of Encumbrancer: No violation or breach of, or failure to comply with, any provision of these Phase 2 Supplemental CC&Rs and no action to enforce any such provision shall affect, defeat, render invalid or impair the lien of any mortgage, deed of trust or other lien on any property taken in good faith and for value and perfected by recording in the office of the Recorder of Valley County, Idaho, prior to the time of recording in said office of an instrument describing such property and listing the name or names of the Owner or Owners of fee simple title to the property and giving notice of such violation, breach or failure to comply, nor shall such violation, breach, failure to comply or action to enforce affect, defeat, render invalid or impair the title or interest of the holder of any such mortgage, deed of trust, or other lien or title or interest acquired by any purchaser upon foreclosure of any such mortgage, deed of trust or other lien or result in any liability, personal or otherwise, of any such holder or purchaser. Any such purchaser upon foreclosure shall, however, take subject to these Phase 2 Supplemental CC&Rs with the exception that violations or breaches of, or failures to comply with, any provisions of these Phase 2 Supplemental CC&Rs which occurred prior to the vesting of fee simple title in such purchaser, and which are not on-going in nature, shall not, be deemed breaches or violations hereof or failures to comply herewith with respect to such purchaser, his heirs, personal representatives, successors or assigns.

10.6 Limited Liability: Neither Declarant, the Ranch Association, the DRC, the Board of Directors of the Ranch Association, nor any member, agent or employee of any of the same shall be liable to any party for any action or for any failure to act with respect to any matter if the action taken or failure to act was in good faith and without malice.

10.7 Successors and Assigns: Except as otherwise provided herein, these Phase 2 Supplemental CC&Rs shall be binding upon and shall inure to the benefit of Declarant, the Ranch Association, and each Owner of an Affected Lot and their respective heirs, personal representatives, successors and assigns.

10.8 Severability: Invalidity or unenforceability of any provision of these Phase 2 Supplemental CC&Rs in whole or in part shall not affect the validity or enforceability of any other provision or any valid and enforceable part of a provision of these Phase 2 Supplemental CC&Rs.

10.9 No Waiver: Failure to enforce any provisions of these Phase 2 Supplemental CC&Rs shall not operate as a waiver of any such provision or of any other provision of these Phase 2 Supplemental CC&Rs.

IN WITNESS WHEREOF Declarant has executed these Phase 2 Supplemental CC&Rs the day and year first above written.

MCCALL RIVER RANCH COMPANY
an Idaho corporation

By: _____
Elizabeth Hart Wood, President

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE PROJECT NOTES, DETAILS, SPECIFICATIONS, AND THE CITY OF McCALL STANDARDS. WHERE NOT SPECIFIED, ALL WORK SHALL CONFORM TO THE 2020, OR MOST CURRENT, EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC). IN THE EVENT THAT ANY OF THESE STANDARDS CONFLICT, THE MORE STRINGENT SHALL BE THE CONTROLLING STANDARDS OR SPECIFICATIONS.
- ONLY PLAN SETS STAMPED "APPROVED FOR CONSTRUCTION" AND SIGNED BY THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE SHALL BE USED BY THE PROJECT CONTRACTOR(S). USE OF ANY PLANS ON THE JOB WITHOUT THE "APPROVED FOR CONSTRUCTION" STAMP SHALL BE GROUNDS FOR THE ISSUANCE OF A STOP WORK ORDER.
- THE CONTRACTOR SHALL KEEP ON-SITE AT ALL TIMES A COPY OF THE APPROVED CONSTRUCTION PLANS. THESE PLANS SHALL BE USED TO RECORD THE ACTUAL LOCATIONS OF THE CONSTRUCTED PIPELINE(S) AND ANY OTHER UTILITIES ENCOUNTERED. THE CONTRACTOR SHALL PROVIDE THESE RECORDED LOCATIONS TO THE PROJECT ENGINEER FOR USE IN THE PRODUCTION OF RECORD DRAWINGS PRIOR TO FINAL APPROVAL/ACCEPTANCE OF THE PROJECT.
- EXISTING SITE INFORMATION INCLUDING THE LOCATION OF EXISTING SITE CONDITIONS AND SURFACE TOPOGRAPHY AS SHOWN ON THESE PLANS HAS BEEN PROVIDED BY THE SECESH ENGINEERING, INC. THE EXISTING SITE INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR'S CONSTRUCTION SURVEY PRIOR TO THE START OF ANY PROJECT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL CONSTRUCTION STAKING.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. THE PROJECT ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES, OR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY EXACT LOCATIONS OF EXISTING UTILITIES PRIOR TO THE START OF ANY PROJECT CONSTRUCTION. ANY LOCATION WHICH MAY POSE A CONFLICT WITH THE PROPOSED CONSTRUCTION MUST BE REPORTED TO THE PROJECT ENGINEER PRIOR TO THE START OF ANY PROJECT CONSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT A PROJECT SCHEDULE AND SEQUENCING PLAN TO THE OWNER AND THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL CALL DIG LINE (800-342-1585) TO LOCATE ALL EXISTING UTILITIES AT LEAST THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF McCALL AND VALLEY COUNTY A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO THE START OF PROJECT CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN A PERMIT TO EXCAVATE IN PUBLIC RIGHT-OF-WAY, FROM THE CITY OF McCALL/VALLEY COUNTY AND PROVIDE A COPY TO THE OWNER AND THE PROJECT ENGINEER PRIOR TO THE START OF PROJECT CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL ASSOCIATED WITH THE PROJECT AND SHALL DEVELOP/SUBMIT A PLAN TO THE CITY OF McCALL, VALLEY COUNTY, AND THE PROJECT ENGINEER FOR APPROVAL PRIOR TO THE START OR PROJECT CONSTRUCTION. PLAN TO BE IN ACCORDANCE WITH MUTCD AND PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESS AT THE END OF EACH DAY AND PROVIDE DETOURS OR ONE-WAY TRAFFIC DURING CONSTRUCTION. WHEN CONSTRUCTION TECHNIQUES ALLOW, CONTRACTOR SHALL PROVIDE ACCESS THROUGH THE CONSTRUCTION ZONE TO PRIVATE PROPERTIES.
- CONTRACTOR SHALL SECURE A SHORT TERM ACTIVITY EXEMPTION FROM THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY (IDEQ) PRIOR TO THE START OF PROJECT CONSTRUCTION IF WORK IN GROUNDWATER IS ANTICIPATED. IN ADDITION TO THE EXEMPTION, CONTRACTOR SHALL SUBMIT A DEWATERING PLAN TO THE PROJECT ENGINEER PRIOR TO COMMENCEMENT OF DEWATERING OPERATIONS.
- DURING PIPELINE INSTALLATION AND SERVICE CONNECTIONS, GROUNDWATER LEVELS SHALL BE MAINTAINED ONE (1') FOOT OR MORE BELOW PIPE INVERTS PER ISPWC. ONCE DEWATERING OPERATIONS CEASE, CONTRACTOR SHALL CLEAN AND RESTORE TO THEIR ORIGINAL STATE ANY DITCHES OR STORMDRAIN FACILITIES THAT ARE SILTED DUE TO THEIR DEWATERING EFFORTS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING MONUMENTS, SURVEY MARKERS, STREET SIGNS, UTILITIES, IRRIGATION LINES, PAVEMENT, TREES, FENCES, AND ANY OTHER IMPORTANT OBJECTS ON/OR ADJACENT TO THE JOB SITE FROM DAMAGE AND REPAIR OR REPLACE DAMAGED FACILITIES AS REQUIRED BY THE OWNER AND THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES.
- UNLESS DETAILED, SPECIFIED, OR OTHERWISE INDICATED ON THE PLAN SET, CONSTRUCTION SHALL BE AS INDICATED ON THE APPLICABLE TYPICAL DETAILS AND GENERAL NOTES. TYPICAL DETAILS SHALL APPLY EVEN THOUGH NOT REFERENCED AT SPECIFIC LOCATIONS ON DRAWINGS.

- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
- CONTRACTOR TO PROVIDE SUBMITTALS FOR ALL PRODUCTS NECESSARY FOR COMPLETING PROJECT PRIOR TO THE START OF CONSTRUCTION.
- ANY CHANGES TO THE DESIGN AS SHOWN IN THESE CONSTRUCTION DRAWINGS MUST BE REVIEWED AND APPROVED BY THE PROJECT ENGINEER BEFORE CHANGES ARE MADE. THIS INCLUDES CHANGES REQUESTED BY THE OWNER AND SUBCONTRACTORS.
- CONTRACTOR SHALL PROVIDE THE PROJECT ENGINEER WITH ONE COPY OF REDLINED AS-BUILT DRAWINGS PRIOR TO PROJECT ACCEPTANCE IF DETERMINED NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL WORK CONSTRUCTED BY THEIR WORK CREWS UNTIL THE WORK IS ACCEPTED BY THE OWNER FOR CONTINUOUS OPERATION AND MAINTENANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY INCLUDING, BUT NOT LIMITED TO, SAFE WORKING PRACTICES WITHIN AND AROUND THE CONSTRUCTION AREA. IN ADDITION, JURISDICTIONAL AGENCIES, THE OWNER, AND THE PROJECT ENGINEER SHALL NOT BE RESPONSIBLE FOR ENFORCING SAFETY REGULATIONS.
- THE CONTRACTOR IS TO OBTAIN ALL APPLICABLE PERMITS NOT PROVIDED BY THE OWNER OR PROJECT ENGINEER. COPIES OF THESE PERMITS SHALL BE PROVIDED TO THE OWNER AND PROJECT ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY EXCESS ON-SITE MATERIALS AS NECESSARY TO COMPLETE THE PROJECT.
- DOMESTIC WATER MAINS AND NON-POTABLE MAINS (SEWER, STORM DRAIN, AND IRRIGATION) SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF TEN (10') FEET AND A MINIMUM VERTICAL SEPARATION OF EIGHTEEN (18") INCHES. REFER TO ISPWC SD-407 "NON-POTABLE WATER LINE (NPWL) SEPARATION," C414/GC-2 AND IDAPA 58.01.16.430.02.0 FOR ADDITIONAL INFORMATION AS WELL AS SEPARATION REQUIREMENTS FOR POTABLE SERVICE LINES IN RELATION TO NON-POTABLE SERVICE LINES.
- WHEN MINIMUM VERTICAL SEPARATION IS NOT OBTAINED, NON-POTABLE MAINS SHALL BE ENCASED WITH A SLEEVING MATERIAL ACCEPTABLE TO THE IDEQ FOR A HORIZONTAL DISTANCE OF TEN (10') FEET ON BOTH SIDES OF THE CROSSING.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE CITY OF McCALL A MINIMUM OF FOURTY-EIGHT (48) HOURS PRIOR TO ANY PROJECT TESTING AND THE POURING OF ANY PROJECT CONCRETE.
- CONTRACTOR IS REQUIRED TO PAY FOR ALL ASPHALT, CONCRETE AND COMPACTION TESTING, INCLUDING ASSOCIATED COSTS IN ACCORDANCE WITH ISPWC SPECIFIC TESTING REQUIREMENTS.
- ALL TESTING SHALL BE CONDUCTED BY AN INDEPENDENT THIRD PARTY.
- IF ANY ITEMS OF SUSPECTED HISTORICAL OR ARCHAEOLOGICAL VALUE ARE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR WILL BE REQUIRED TO STOP WORK AND CONTACT THE OWNER, PROJECT ENGINEER, AS WELL AS THE STATE HISTORICAL PRESERVATION OFFICE.
- CONTRACTOR SHALL CONFORM TO OSHA AND OTHER LOCAL, STATE, AND FEDERAL REQUIREMENTS WHEN REMOVING ASBESTOS CEMENT (AC) PIPE AND MATERIALS.
- IF DURING CONSTRUCTION OF THE PROJECT, AN UNDERGROUND STORAGE TANK, BURIED DRUM, OTHER CONTAINER, CONTAMINATED SOIL, OR DEBRIS NOT SCHEDULED FOR REMOVAL UNDER THE CONTRACT IS DISCOVERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE PROJECT ENGINEER. NO ATTEMPT SHALL BE MADE TO EXCAVATE, OPEN, OR REMOVE SUCH MATERIAL WITHOUT WRITTEN APPROVAL.

TREE PROTECTION NOTES:

- CONTRACTOR TO TAKE EXTRA PRECAUTION WHEN WORKING NEAR TREES WITHIN THE PROJECT AREA.
- INSTALL CONSTRUCTION FENCING AROUND THE DRIP LINES OF ALL SIGNIFICANT (12" OR LARGER TRUNK DIAMETER) TREES TO PREVENT VEHICLE/CONSTRUCTION EQUIPMENT TRAFFIC AND COMPACT SOIL ABOVE TREES ROOT SYSTEM.
- WHEN DIGGING IN CLOSE PROXIMITY/UNDER DRIPLINES OF TREES, CONTRACTOR TO POT HOLE/HAND DIG AROUND TREE ROOTS TO PREVENT PULLING IMPACTS AND/OR TENSION ON THE ROOT SYSTEM.
- IF IMPACTS ARE UNAVOIDABLE, CONTRACTOR TO COORDINATE IMPACTS WITH THE CITY OF McCALL ARBORIST AND PROJECT ENGINEER TO TRY AND MINIMIZE IMPACTS TO THE GREATEST EXTENT POSSIBLE.
- IN THE EVENT THAT THERE IS A CONFLICT WITH TREE ROOTS, CONTRACTOR TO GENTLY EXPOSE AND CUT THE ROOT CLEANLY WITH A SAW TO HELP MITIGATE IMPACTS. DO NOT TREAT THE ENDS OF CUT ROOTS.
- ONCE TREE ROOTS ARE CUT AND/OR IMPACTED, THERE IS NO GUARANTEE OF THEIR SURVIVAL.
- ANY ROOT IMPACTS SHOULD BE APPROVED BY THE CITY ARBORIST AND KEPT TO ONE SIDE OF THE TREE WHERE AT ALL POSSIBLE.

WATER CONSTRUCTION NOTES:

- ALL WATER MAINS SHALL BE BELL AND SPIGOT, POLYVINYL CHLORIDE (PVC), DR 18, AWWA 900 OR C905 WITH GASKETS MEETING ASTM F477 AND JOINTS IN COMPLIANCE. ALL GATE VALVES SHALL BE RESILIENT SEAT GATE VALVES MEETING AWWA C509-994 SPECIFICATIONS. ALL FITTINGS SHALL BE DUCTILE IRON, ANSI/NF APPROVED.
- ALL GATE VALVES TO BE INSTALLED IN ACCORDANCE WITH ISPWC SECTION 402, STANDARD DRAWING SD-403 (VALVE ANCHOR DETAIL), STANDARD DRAWING SD-406 (VALVE BOX AND LID DETAIL) AND C412/GC-2. FIRE VALVES BOX LIDS TO BE STAMPED "FIRE".
- FIRE HYDRANTS SHALL BE PACER 100 WITH A THIRTY-FOUR (34") INCH TRAFFIC SECTION, MANUFACTURED BY WATEROUS COMPANY AND INSTALLED WITH HOSE ATTACHMENTS FOUR (4') FEET ABOVE FINISHED GROUND. REFER TO ISPWC SD-404 AND CIVIL TYPICAL DETAIL C408/GC-1 FOR TYPICAL INSTALLATION DETAILS. FINAL HYDRANT LOCATIONS SHALL BE FIELD APPROVED BY THE CITY OF McCALL AND McCALL FIRE & EMS PRIOR TO INSTALLATION.
- THRUST BLOCKS SHALL BE INSTALLED AT ALL FITTINGS IN ACCORDANCE WITH ISPWC SD-403 AND C406/GC-1 AND VISUALLY INSPECTED BY THE PROJECT ENGINEER PRIOR TO BACKFILL.
- ALL WATER SERVICE PIPE SHALL BE CLASS 200, SDR 7 POLYETHYLENE PRESSURE PIPE CONFORMING TO AWWA C901.
- WATER MAINS AND SERVICE LINES SHALL BE INSTALLED WITH A MINIMUM COVER OF SIX (6') FEET AND SHALL HAVE TYPE III BEDDING. REFER TO ISPWC SD-301 AND CIVIL TYPICAL DETAIL C302/GC-1 FOR TYPICAL TRENCH DETAILS.
- THE CONTRACTOR SHALL INSTALL NO. 12 COPPER LOCATOR WIRE IN THE TRENCH WITH ALL WATER MAIN AND SERVICE LINES. LOCATOR WIRE SHALL BE TAPED TO THE TOP CENTER OF THE PIPE AND BROUGHT UP TO THE TOP OF ALL VALVE BOXES, FIRE HYDRANTS AND SERVICES. BLUE TAPE MARKED "WATER" SHALL BE INSTALLED APPROXIMATELY TWO (2') FEET ABOVE ALL WATER MAIN LINES.
- ALL WATER MAINS AND SERVICE LINES SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH ISPWC SECTION 401 PRIOR TO PROJECT ACCEPTANCE.
- ALL WATER MAINS AND SERVICE LINES SHALL BE VISUALLY INSPECTED BY THE PROJECT ENGINEER AND THE CITY OF McCALL UNDER WORKING SYSTEM PRESSURE PRIOR TO BACKFILLING IF HYDROSTATIC TESTING IS NOT POSSIBLE WHEN CONNECTING TO EXISTING WATER MAIN LINES IN SERVICE.
- ALL WATER PIPE AND FITTINGS THAT ARE UNABLE TO BE TESTED AND DISINFECTED SHALL BE WASHED/SANITIZED USING A CHLORINE/LIQUID BLEACH SOLUTION UNDER THE PRESENCE OF THE PROJECT ENGINEER PRIOR TO INSTALLATION. LINES ARE TO BE FLUSHED UNDER THE SUPERVISION OF CITY OF McCALL AFTER THE COMPLETION OF PROJECT CONSTRUCTION/PRIOR TO BEING RETURNED TO SERVICE.
- ALL NEW TRACE WIRE INSTALLATIONS SHALL BE LOCATED USING TYPICAL LOW FREQUENCY (512HZ) LINE TRACING EQUIPMENT WITNESSED BY THE CONTRACTOR, ENGINEER AND THE CITY OF McCALL WHEN APPLICABLE, PRIOR TO FINAL ACCEPTANCE. THIS VERIFICATION SHALL BE PERFORMED UPON COMPLETION OF ROUGH GRADING AND AGAIN PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. CONTINUITY TESTING IN LIEU OF ACTUAL LINE TRACING SHALL NOT BE ACCEPTED.
- DISPOSAL OF SUPER-CHLORINATED DISINFECTION WATER TO BE IN ACCORDANCE WITH THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY'S (IDEQ), DRINKING WATER PROGRAMS GUIDANCE FOR PUBLIC WATER SYSTEM DISPOSAL OF WATER FROM CONSTRUCTION, MAINTENANCE, AND OPERATIONS (APRIL, 2014). CONTRACTOR SHALL SUBMIT A FLUSHING PLAN IN ACCORDANCE WITH THE GUIDANCE TO THE PROJECT ENGINEER PRIOR TO THE START OF ANY FLUSHING TO ENSURE COMPLIANCE WITH PROPER DISPOSAL REQUIREMENTS.
- ALL ASPHALT SURFACE REPAIRS SHALL BE IN ACCORDANCE WITH CITY OF McCALL STANDARDS AND TYPICAL DETAIL C306A/GC-1.

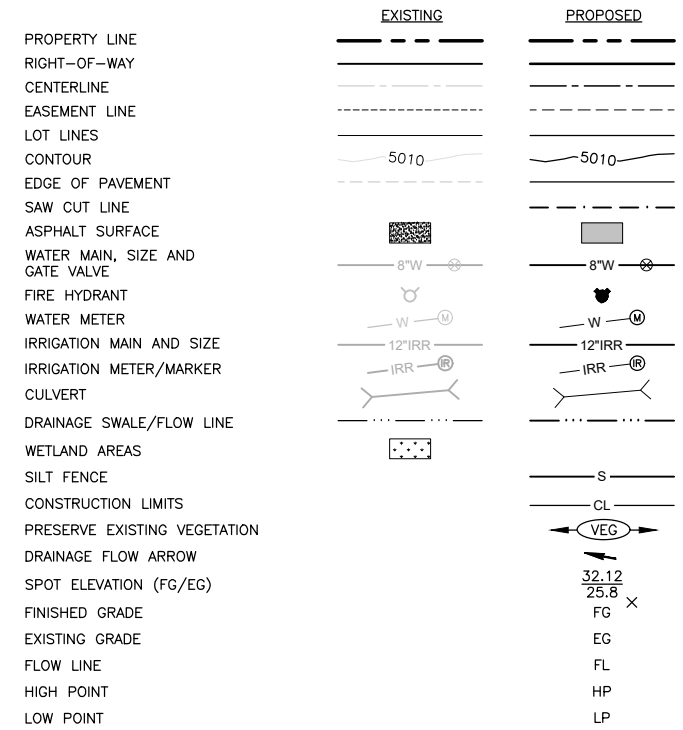
IRRIGATION CONSTRUCTION NOTES:

- UNLESS OTHERWISE NOTED BELOW, IRRIGATION CONSTRUCTION TO BE IN ACCORDANCE WITH THE GENERAL AND WATER CONSTRUCTION NOTES ON THIS SHEET.
- ALL IRRIGATION MAINS FOUR (4") INCHES OR GREATER SHALL BE CLASS 200 SOLVENT WELD.
- IRRIGATION MAINS SHALL BE INSTALLED WITH A MINIMUM COVER OF FOUR (4') FEET UNDER NATURAL GROUND AND A MINIMUM COVER OF SEVEN (7') FEET UNDER GRAVEL/ASPHALT ROADS AND SHALL HAVE TYPE III BEDDING. REFER TO ISPWC SD-301 AND CIVIL TYPICAL DETAIL C302/GC-1 FOR TYPICAL TRENCH DETAILS.
- THE CONTRACTOR SHALL INSTALL NO. 12 COPPER LOCATOR WIRE IN THE TRENCH WITH ALL IRRIGATION MAINS. LOCATOR WIRE SHALL BE TAPED TO THE TOP CENTER OF THE PIPE AND BROUGHT UP TO THE TOP OF ALL VALVE BOXES.
- ALL IRRIGATION MAINS SHALL BE TESTED IN ACCORDANCE WITH ISPWC SECTION 901 PRIOR TO PROJECT ACCEPTANCE.
- ALL IRRIGATION SERVICE LINES ARE TO BE EXTENDED MINIMUM OF 10' OFF THE PROPERTY LINE AND 12' INTO THE PROPERTY FROM THE RIGHT-OF-WAY UNLESS OTHERWISE INDICATED ON THESE PLANS. IRRIGATION SERVICE LINES SHALL BE INSTALLED PER CIVIL TYPICAL DETAIL C912/GC-3.
- CONTRACTOR SHALL INSTALL LOCATION TAPE OVER ALL IRRIGATION MAINS. TAPE SHALL BE 2" WIDE, METALLIC RED IN COLOR, WITH THE WORDS DANGER-UNSAFE WATER OR NON-POTABLE WATER CLEARLY MARKED ALONG THE LENGTH OF THE TAPE. THE TAPE SHALL BE PLACE 6" BELOW THE SURFACE AND 18" ABOVE THE TOP OF THE PIPE.

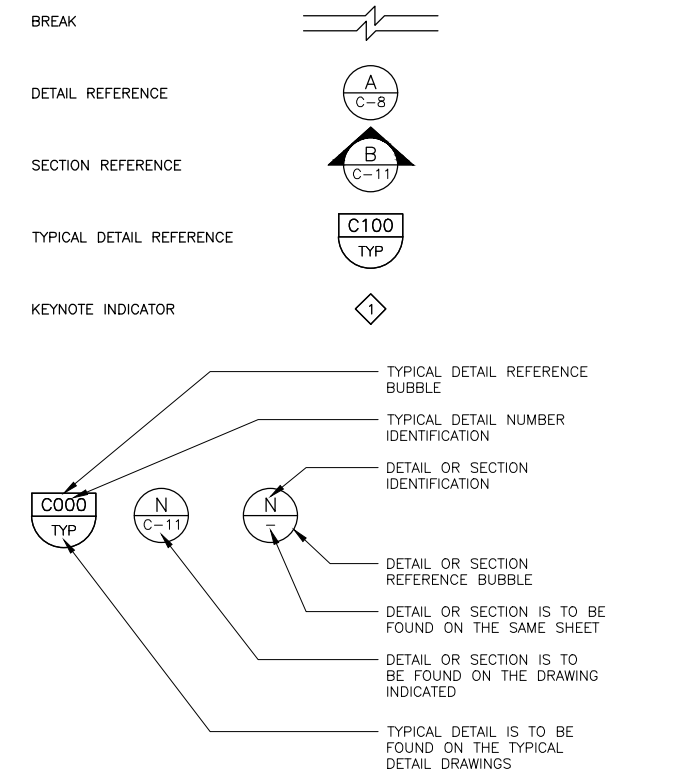
EROSION AND SEDIMENT CONTROL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BMP'S IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- STORMWATER MANAGEMENT INCLUDING EROSION AND SEDIMENT CONTROL FOR THE PROJECT WILL BE IMPLEMENTED PER THE CITY OF McCALL DRAINAGE MANAGEMENT GUIDELINES (DMG'S).
- REFER TO THE "STATE OF IDAHO, CATALOG OF STORMWATER BEST MANAGEMENT PRACTICES FOR IDAHO CITIES AND COUNTIES" FOR FURTHER DETAILS ON BMP IMPLEMENTATION AND INSTALLATION.
- REFER TO THE PROJECTS STORMWATER DRAINAGE REPORT FOR ADDITIONAL INFORMATION PERTAINING TO EROSION AND SEDIMENT CONTROL INSTALLATION AS WELL AD OPERATION AND MAINTENANCE PROCEDURES.
- THE CONTRACTOR SHALL COMPLY WITH THE PREVISIONS OF THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY'S (IDEQ) IDAHO POLLUTION DISCHARGE ELIMINATION SYSTEM (IPDES) 2022 GENERAL PERMIT FOR DISCHARGES FROM CONSTRUCTION ACTIVITIES (CGP). THE CGP REQUIRES THAT PROJECTS WHICH INTEND TO DISTURB MORE THAN ONE (1) ACRE PREPARE/PROVIDE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). IF THE CONTRACTORS MEANS AND METHODS DISTURB MORE THAN ONE (1) ACRE, THE CONTRACTOR SHALL PREPARE A SWPPP AND OBTAIN COVERAGE UNDER THE IDEQ 2022 CGP.
- THIS PLAN SHEET IS NOT INTENDED TO BE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR IS RESPONSIBLE FOR PREPARING, IMPLEMENTING, AND MAINTAINING THE SWPPP INCLUDING THE ASSOCIATED STORMWATER NOTICE OF INTENT (NOI) IN ACCORDANCE WITH THE IDEQ'S CGP. TOTAL PROPERTY/DEVELOPMENT AREA = 127.11 AC. TOTAL ON-SITE/OFF-SITE DISTURBED AREA = ±32.27 AC.
- ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED PRIOR TO THE START OF ANY PROJECT CONSTRUCTION OR EARTH DISTURBING ACTIVITIES AND SHOULD REMAIN IN PLACE UNTIL ALL DISTURBED/EXPOSED AREAS HAVE BEEN STABILIZED AND/OR REVEGETATED.
- THE IMPLEMENTATION OF THESE EROSION AND SEDIMENT CONTROL MEASURES INCLUDING INSTALLATION, REGULAR INSPECTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THIS PLAN IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL PROJECT CONSTRUCTION IS COMPLETED AND STABILIZATION IS ACHIEVED PER THE CGP.
- WORK ACTIVITIES SHALL TAKE PLACE WITHIN THE CLEARING LIMITS AS SHOWN ON THIS PLAN. CONTRACTOR SHALL PRESERVE NATURAL VEGETATION OUTSIDE OF CLEARING LIMITS.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL ENTRANCES/EXITS TO THE SITE AND CONSTRUCTION STAGING AREAS.
- CONTRACTOR SHALL MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ONE TIME.
- DURING CONSTRUCTION, CONTRACTOR SHALL WATER ALL DISTURBED AREAS AS NECESSARY FOR DUST ABATEMENT.
- CONTRACTOR SHALL CONTROL SURFACE DRAINAGE FROM EXCAVATION, BORROW AND WASTE DISPOSAL AREAS AS WELL AS PROVIDE CONTROL STRUCTURES AS NECESSARY TO PREVENT CONTAMINATED RUNOFF FROM LEAVING THE PROJECT SITE.
- CONTRACTOR SHALL SECURE A SHORT TERM ACTIVITY EXEMPTION FROM IDEQ PRIOR TO THE START OF CONSTRUCTION. IF TRENCH DEWATERING IS REQUIRED, CONTRACTOR SHALL SUBMIT A DEWATERING PLAN TO THE THE PROJECT ENGINEER PRIOR TO COMMENCEMENT OF DEWATERING OPERATIONS.
- CONTRACTOR TO PROVIDE TEMPORARY MEASURES SUCH AS BERMS, DIKES, AND DRAINS AS NECESSARY, TO PREVENT RUNOFF FROM FLOWING INTO PIPE TRENCHES DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE INLET PROTECTION ON ALL STORMWATER DRAIN INLETS (EXISTING AND PROPOSED) UNTIL THE SITE IS STABILIZED AND VEGETATION IS REESTABLISHED.
- REVEGETATION AND STABILIZATION OF ALL DISTURBED PROJECT AREAS SHALL BE IN ACCORDANCE WITH THE PROJECTS LANDSCAPE DESIGN/PLAN. IF A LANDSCAPE DESIGN/PLAN IS NOT AVAILABLE, DISTURBED AREAS SHALL BE REVEGETATED WITH A GRASS SEED MIXTURE NATIVE TO THE PROJECT AREA.
- ALL SILT FENCE MUST BE INSTALLED ONSITE PRIOR TO THE START OF ANY MASS GRADING NEAR WETLAND AREAS.
- RIPRAP DITCHES AND INLET/OUTLET PROTECTION SHALL BE COMPLETED IMMEDIATELY AFTER GRADING.

LEGEND:

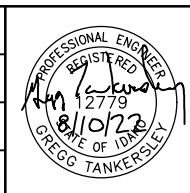


GENERAL SYMBOLS:



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NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCALL ENGINEERING SUBMITTAL	AMD	8/10/2022	AMD
				DRAWN
				AMD
				CHECKED
				BEJ
				APPROVED
				GTT



CRESTLINE ENGINEERS

 323 DEINHARD LANE, SUITE C · PO BOX 2330

 McCALL, IDAHO 83638

 208.634.4140 · 208.634.4146 FAX

RIVER RANCH PHASE 2

McCALL, IDAHO

 ROAD, GRADING, DRAINAGE, WATER AND

 IRRIGATION IMPROVEMENTS

 GENERAL INFORMATION AND NOTES

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	21076
DATE	8/10/2022
DRAWING NO.	G-2
SHEET NO.	2 OF 16

NOTES:

- REFER TO DRAWING NO. G-2, SHEET 2 FOR PROJECT NOTES, LEGEND, AND SYMBOLS.

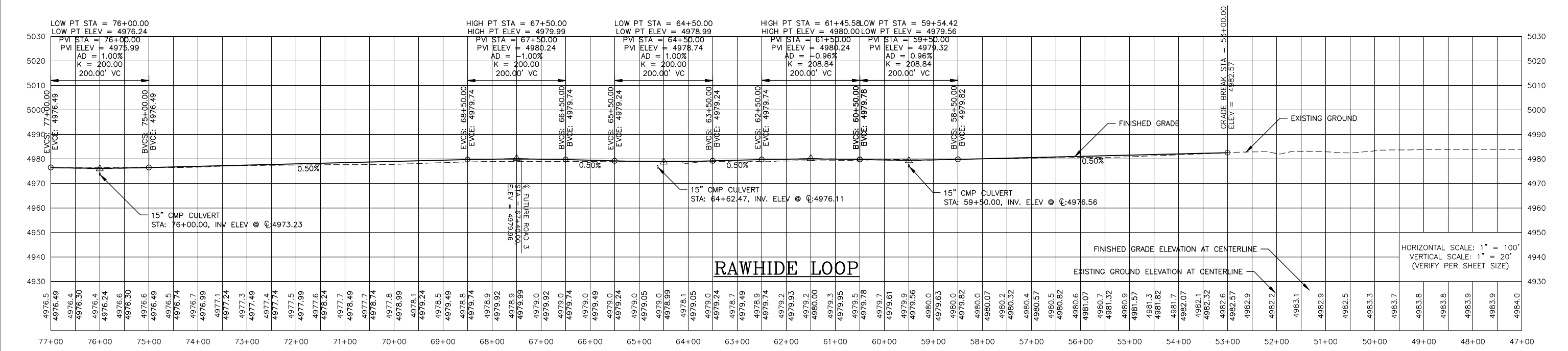
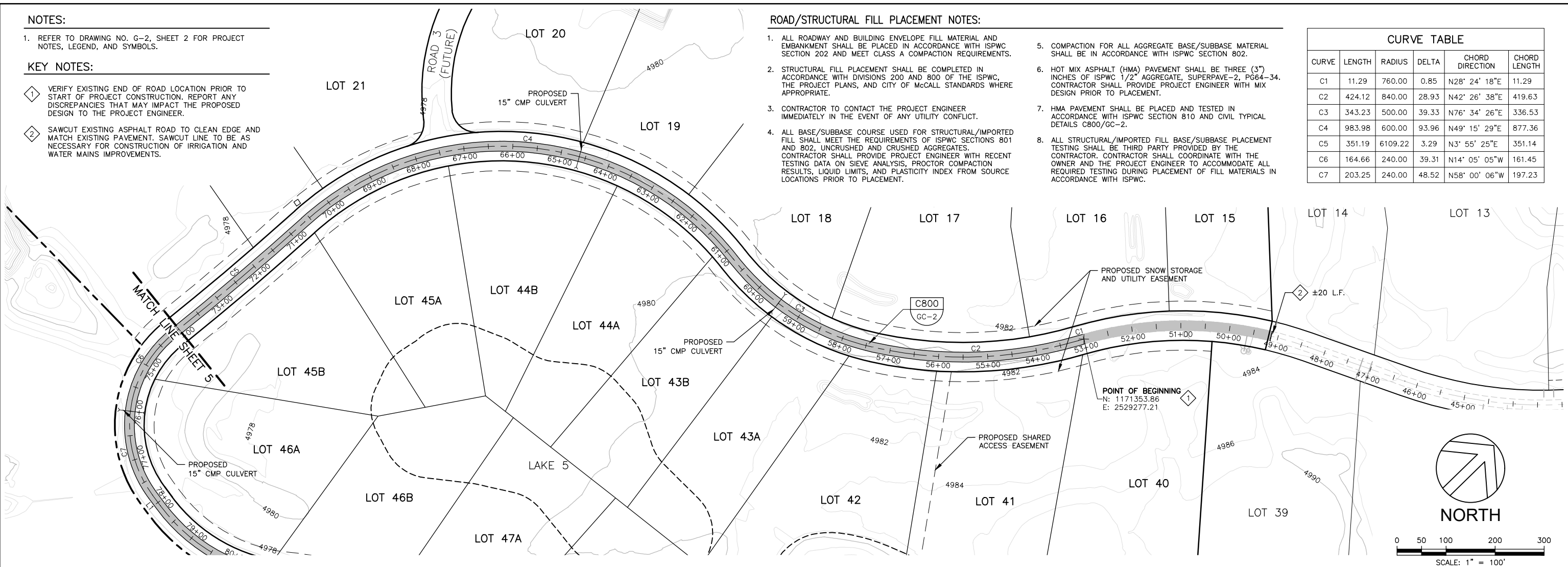
KEY NOTES:

- VERIFY EXISTING END OF ROAD LOCATION PRIOR TO START OF PROJECT CONSTRUCTION. REPORT ANY DISCREPANCIES THAT MAY IMPACT THE PROPOSED DESIGN TO THE PROJECT ENGINEER.
- SAWCUT EXISTING ASPHALT ROAD TO CLEAN EDGE AND MATCH EXISTING PAVEMENT. SAWCUT LINE TO BE AS NECESSARY FOR CONSTRUCTION OF IRRIGATION AND WATER MAINS IMPROVEMENTS.

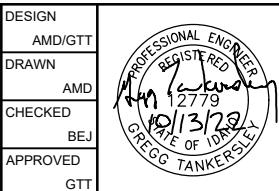
ROAD/STRUCTURAL FILL PLACEMENT NOTES:

- ALL ROADWAY AND BUILDING ENVELOPE FILL MATERIAL AND EMBANKMENT SHALL BE PLACED IN ACCORDANCE WITH ISWPC SECTION 202 AND MEET CLASS A COMPACTION REQUIREMENTS.
- STRUCTURAL FILL PLACEMENT SHALL BE COMPLETED IN ACCORDANCE WITH DIVISIONS 200 AND 800 OF THE ISWPC, THE PROJECT PLANS, AND CITY OF McCALL STANDARDS WHERE APPROPRIATE.
- CONTRACTOR TO CONTACT THE PROJECT ENGINEER IMMEDIATELY IN THE EVENT OF ANY UTILITY CONFLICT.
- ALL BASE/SUBBASE COURSE USED FOR STRUCTURAL/IMPORTED FILL SHALL MEET THE REQUIREMENTS OF ISWPC SECTIONS 801 AND 802, UNCRUSHED AND CRUSHED AGGREGATES. CONTRACTOR SHALL PROVIDE PROJECT ENGINEER WITH RECENT TESTING DATA ON SIEVE ANALYSIS, PROCTOR COMPACTION RESULTS, LIQUID LIMITS, AND PLASTICITY INDEX FROM SOURCE LOCATIONS PRIOR TO PLACEMENT.
- COMPACTION FOR ALL AGGREGATE BASE/SUBBASE MATERIAL SHALL BE IN ACCORDANCE WITH ISWPC SECTION 802.
- HOT MIX ASPHALT (HMA) PAVEMENT SHALL BE THREE (3") INCHES OF ISWPC 1/2" AGGREGATE, SUPERPAVE-2, PG64-34. CONTRACTOR SHALL PROVIDE PROJECT ENGINEER WITH MIX DESIGN PRIOR TO PLACEMENT.
- HMA PAVEMENT SHALL BE PLACED AND TESTED IN ACCORDANCE WITH ISWPC SECTION 810 AND CIVIL TYPICAL DETAILS C800/GC-2.
- ALL STRUCTURAL/IMPORTED FILL BASE/SUBBASE PLACEMENT TESTING SHALL BE THIRD PARTY PROVIDED BY THE CONTRACTOR. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE PROJECT ENGINEER TO ACCOMMODATE ALL REQUIRED TESTING DURING PLACEMENT OF FILL MATERIALS IN ACCORDANCE WITH ISWPC.

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	11.29	760.00	0.85	N28° 24' 18"E	11.29
C2	424.12	840.00	28.93	N42° 26' 38"E	419.63
C3	343.23	500.00	39.33	N76° 34' 26"E	336.53
C4	983.98	600.00	93.96	N49° 15' 29"E	877.36
C5	351.19	6109.22	3.29	N3° 55' 25"E	351.14
C6	164.66	240.00	39.31	N14° 05' 05"W	161.45
C7	203.25	240.00	48.52	N58° 00' 06"W	197.23



NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCALL ENGINEERING SUBMITTAL	AMD	8/10/2022	AMD/GTT
2.	REVISED PER CITY OF McCALL COMMENTS	AMD	9/16/2022	DRAWN
3.	REVISED ROAD BASE/SUBBASE NOTE	AMD	10/13/2022	AMD



CRESTLINE ENGINEERS
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 208.634.4140 · 208.634.4146 FAX

RIVER RANCH PHASE 2
McCALL, IDAHO
 ROAD, GRADING, DRAINAGE, WATER AND IRRIGATION IMPROVEMENTS
RAWHIDE LOOP PLAN AND PROFILE - 1

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	1"
PROJECT	21076
DATE	10/13/2022
DRAWING NO.	C-2
SHEET NO.	4 OF 16

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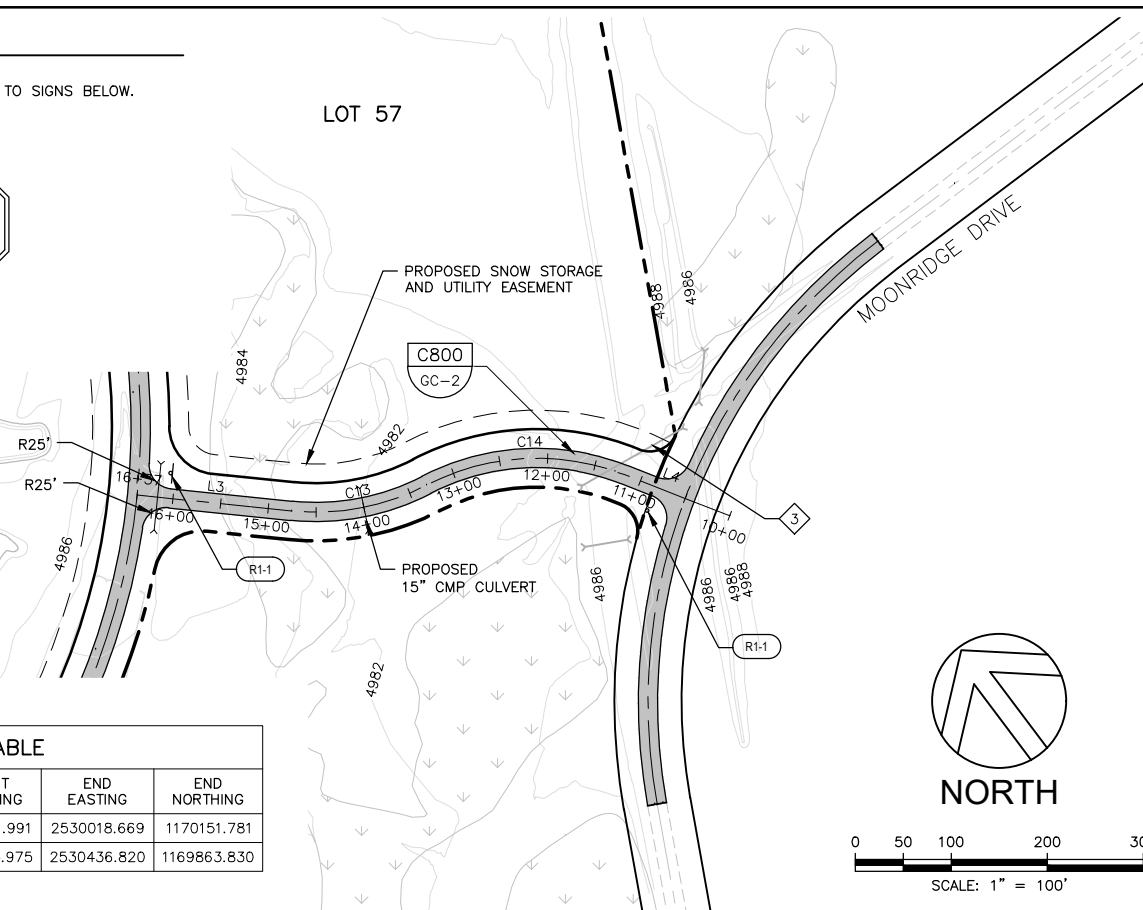
SIGN LEGEND:

R1-1 CALLOUT NUMBERS COORDINATE TO SIGNS BELOW.



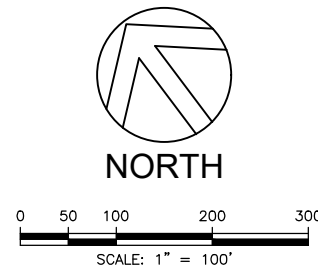
LOT 57

LOT 50A



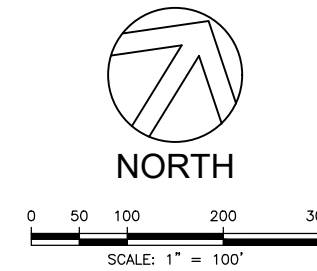
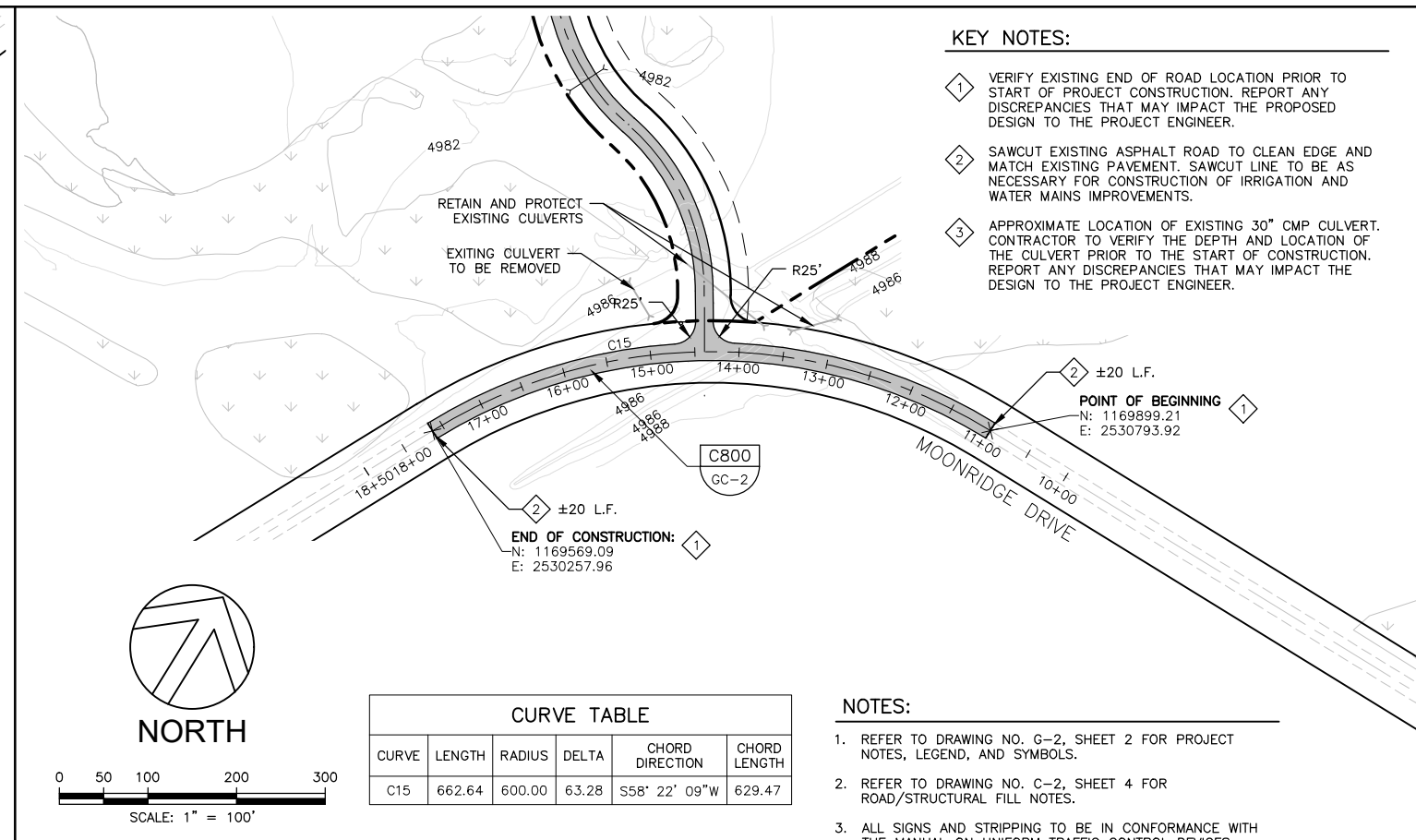
LINE TABLE					
LINE	LENGTH	START EASTING	START NORTHING	END EASTING	END NORTHING
L3	161.56	2530137.199	1170041.991	2530018.669	1170151.781
L4	68.03	2530472.607	1169805.975	2530436.820	1169863.830

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C13	145.16	250.00	33.27	N63° 49' 32"W	143.13
C14	212.58	249.99	48.72	N56° 05' 57"W	206.23



KEY NOTES:

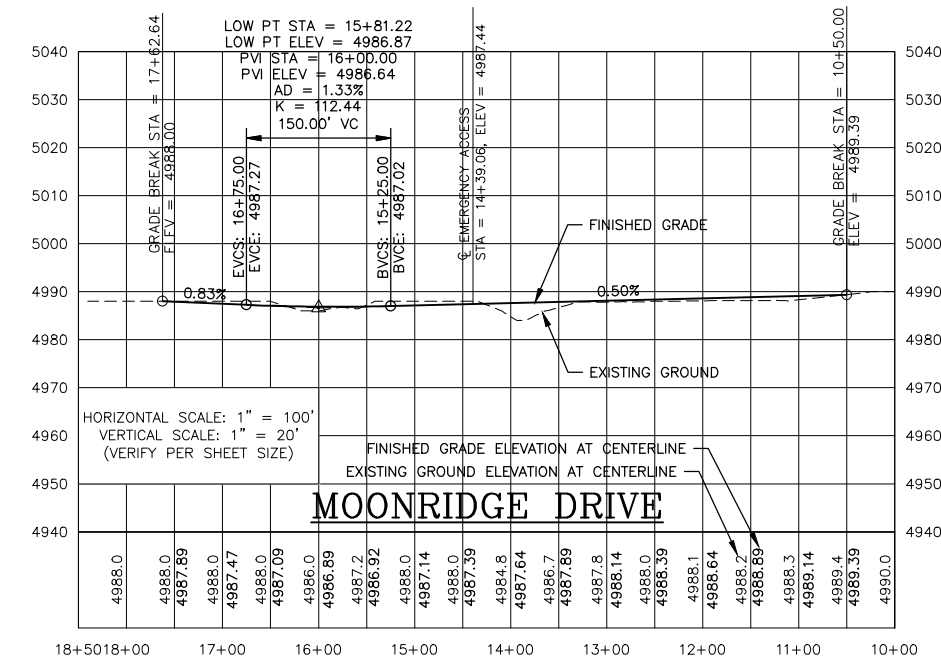
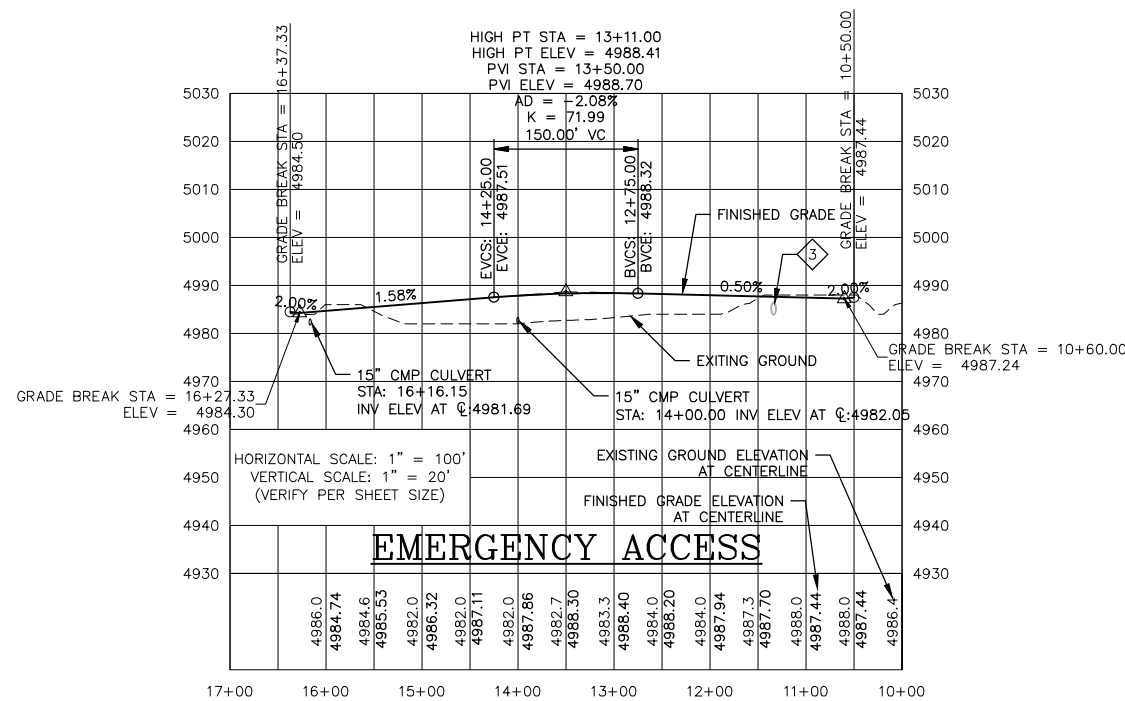
- 1 VERIFY EXISTING END OF ROAD LOCATION PRIOR TO START OF PROJECT CONSTRUCTION. REPORT ANY DISCREPANCIES THAT MAY IMPACT THE PROPOSED DESIGN TO THE PROJECT ENGINEER.
- 2 SAWCUT EXISTING ASPHALT ROAD TO CLEAN EDGE AND MATCH EXISTING PAVEMENT. SAWCUT LINE TO BE AS NECESSARY FOR CONSTRUCTION OF IRRIGATION AND WATER MAINS IMPROVEMENTS.
- 3 APPROXIMATE LOCATION OF EXISTING 30" CMP CULVERT. CONTRACTOR TO VERIFY THE DEPTH AND LOCATION OF THE CULVERT PRIOR TO THE START OF CONSTRUCTION. REPORT ANY DISCREPANCIES THAT MAY IMPACT THE DESIGN TO THE PROJECT ENGINEER.



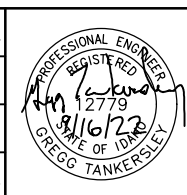
CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C15	662.64	600.00	63.28	S58° 22' 09"W	629.47

NOTES:

1. REFER TO DRAWING NO. G-2, SHEET 2 FOR PROJECT NOTES, LEGEND, AND SYMBOLS.
2. REFER TO DRAWING NO. C-2, SHEET 4 FOR ROAD/STRUCTURAL FILL NOTES.
3. ALL SIGNS AND STRIPPING TO BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
4. ALL SIGNS TO BE INSTALLED PER ISPCW SD-1130.



NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCall ENGINEERING SUBMITTAL	AMD	8/10/2022	AMD/GTT
2.	REVISED PER CITY OF McCall COMMENTS	AMD	9/16/2022	DRAWN
				AMD
				CHECKED
				BEJ
				APPROVED
				GTT

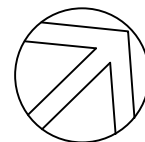


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 323 DEINHARD LANE, SUITE C · PO BOX 2330
 McCall, IDAHO 83638
 208.634.4140 · 208.634.4146 FAX

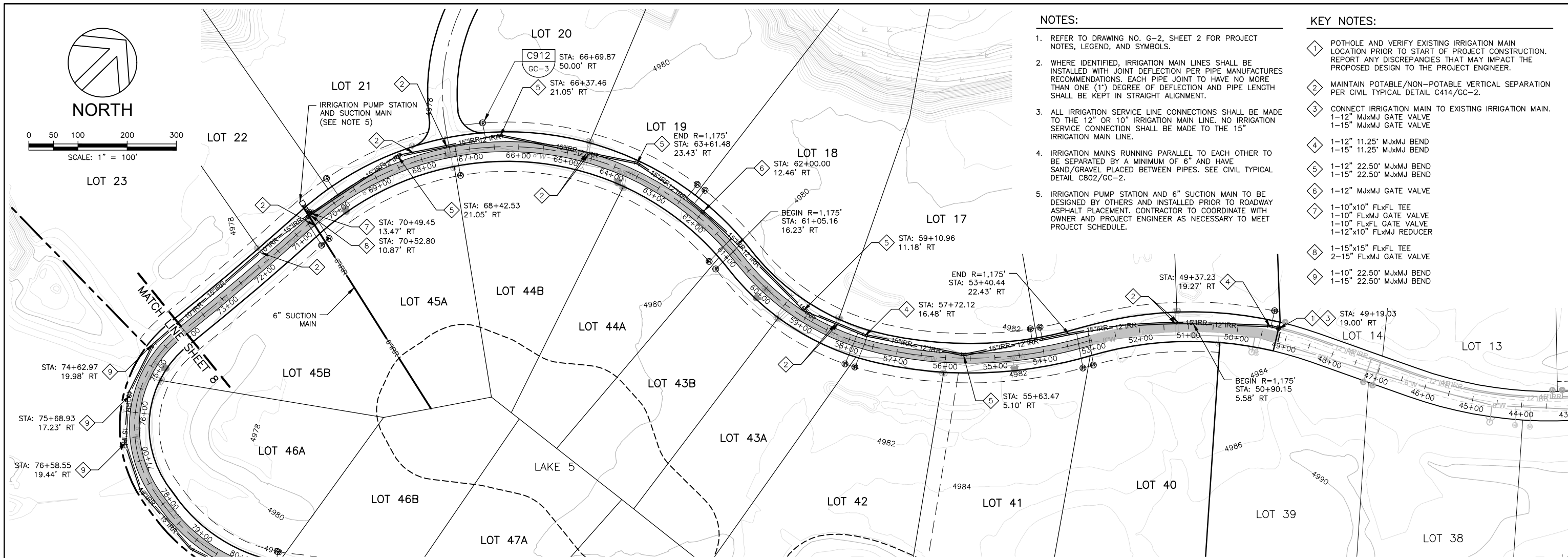
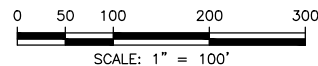
RIVER RANCH PHASE 2
 McCall, IDAHO
 ROAD, GRADING, DRAINAGE, WATER AND IRRIGATION IMPROVEMENTS
 EMERGENCY ACCESS AND MOONRIDGE DRIVE PLAN AND PROFILE

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	21076
DATE	9/16/2022
DRAWING NO.	SHEET NO.
C-4	6 OF 16

Path: M:\0101\River Ranch\Drawings\21076\CAD\DWG\21076_C-4_Road.dwg File Name: 21076_C-4_Road.dwg Plot Date: 12/12/2022 2:00 PM Crestline



NORTH

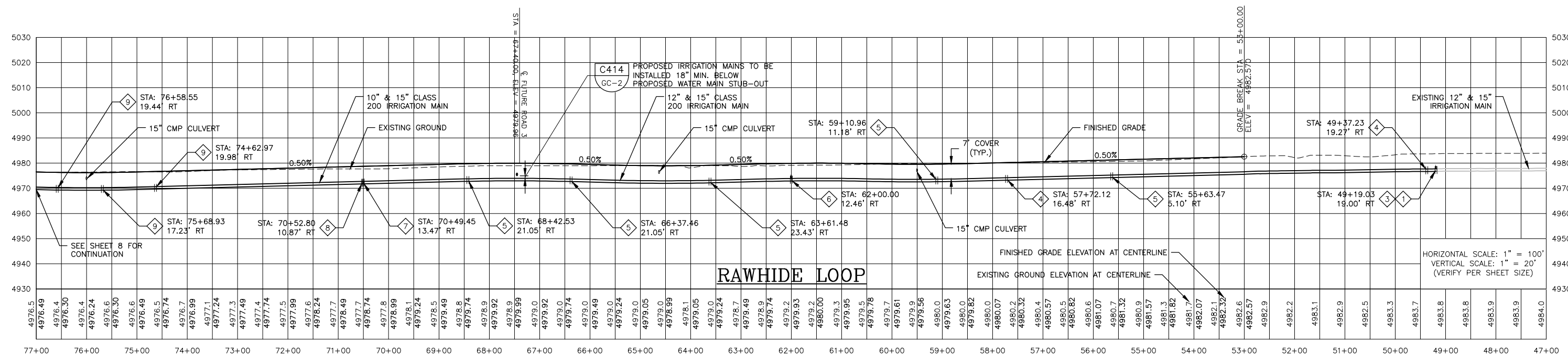


NOTES:

- REFER TO DRAWING NO. G-2, SHEET 2 FOR PROJECT NOTES, LEGEND, AND SYMBOLS.
- WHERE IDENTIFIED, IRRIGATION MAIN LINES SHALL BE INSTALLED WITH JOINT DEFLECTION PER PIPE MANUFACTURERS RECOMMENDATIONS. EACH PIPE JOINT TO HAVE NO MORE THAN ONE (1) DEGREE OF DEFLECTION AND PIPE LENGTH SHALL BE KEPT IN STRAIGHT ALIGNMENT.
- ALL IRRIGATION SERVICE LINE CONNECTIONS SHALL BE MADE TO THE 12" OR 10" IRRIGATION MAIN LINE. NO IRRIGATION SERVICE CONNECTION SHALL BE MADE TO THE 15" IRRIGATION MAIN LINE.
- IRRIGATION MAINS RUNNING PARALLEL TO EACH OTHER TO BE SEPARATED BY A MINIMUM OF 6" AND HAVE SAND/GRAVEL PLACED BETWEEN PIPES. SEE CIVIL TYPICAL DETAIL C802/GC-2.
- IRRIGATION PUMP STATION AND 6" SUCTION MAIN TO BE DESIGNED BY OTHERS AND INSTALLED PRIOR TO ROADWAY ASPHALT PLACEMENT. CONTRACTOR TO COORDINATE WITH OWNER AND PROJECT ENGINEER AS NECESSARY TO MEET PROJECT SCHEDULE.

KEY NOTES:

- POTHOLE AND VERIFY EXISTING IRRIGATION MAIN LOCATION PRIOR TO START OF PROJECT CONSTRUCTION. REPORT ANY DISCREPANCIES THAT MAY IMPACT THE PROPOSED DESIGN TO THE PROJECT ENGINEER.
- MAINTAIN POTABLE/NON-POTABLE VERTICAL SEPARATION PER CIVIL TYPICAL DETAIL C414/GC-2.
- CONNECT IRRIGATION MAIN TO EXISTING IRRIGATION MAIN.
- 1-12" 11.25' MjxMj BEND
1-15" 11.25' MjxMj BEND
- 1-12" 22.50' MjxMj BEND
1-15" 22.50' MjxMj BEND
- 1-12" MjxMj GATE VALVE
- 1-10"x10" FLxFL TEE
1-10" FLxMj GATE VALVE
1-10" FLxFL GATE VALVE
1-12"x10" FLxMj REDUCER
- 1-15"x15" FLxFL TEE
2-15" FLxMj GATE VALVE
- 1-10" 22.50' MjxMj BEND
1-15" 22.50' MjxMj BEND



RAWHIDE LOOP

NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCALL ENGINEERING SUBMITTAL	AMD	8/10/2022	AMD/GTT
				DRAWN
				AMD
				CHECKED
				BEJ
				APPROVED
				GTT



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 McCALL, IDAHO 83638
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RIVER RANCH PHASE 2
McCALL, IDAHO
 ROAD, GRADING, DRAINAGE, WATER AND
 IRRIGATION IMPROVEMENTS
 IRRIGATION MAIN PLAN AND PROFILE - 1

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	21076
DATE	8/10/2022
DRAWING NO.	C-5
SHEET NO.	7 OF 16

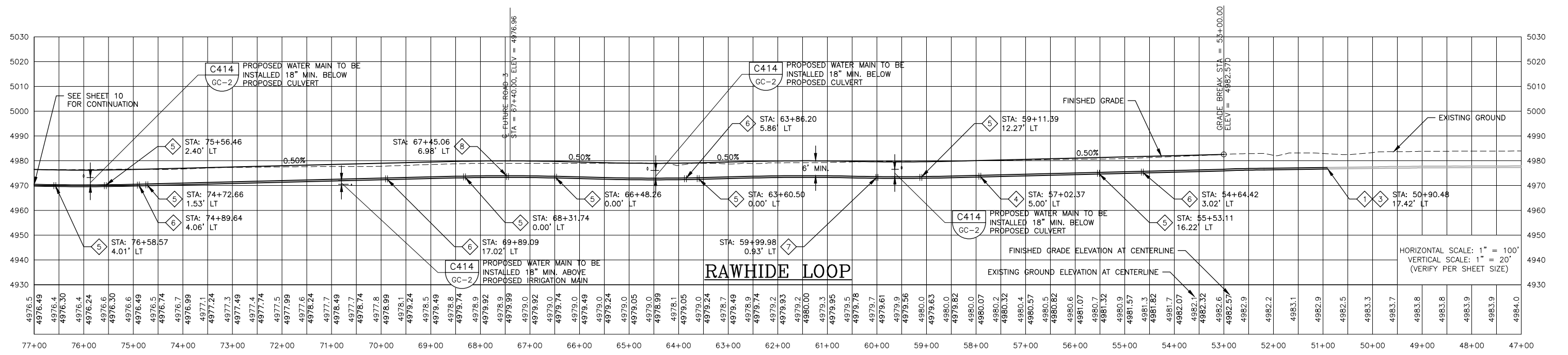
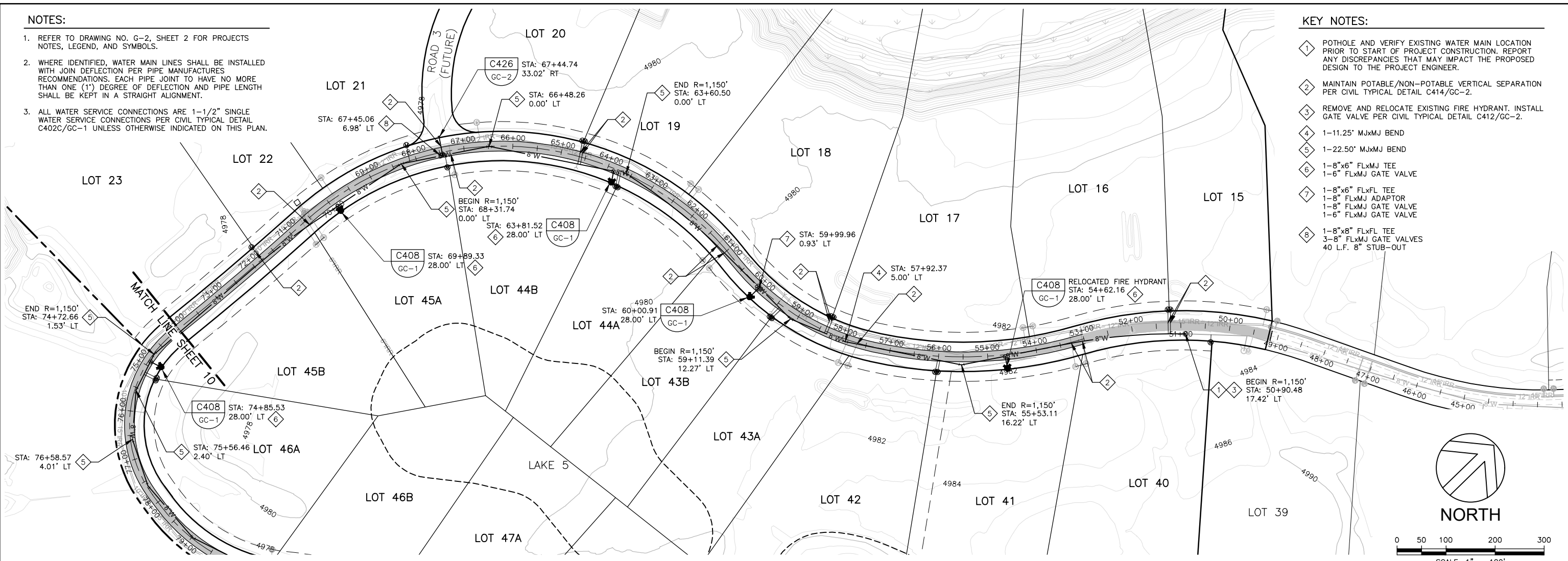
Path: M:\0101\River Ranch\Drawings\21076-C5-6-Irrigation.dwg File Name: 21076_C5-6_Irrigation.dwg Plot Date: 12/12/2022 2:01 PM C:\msd...

NOTES:

- REFER TO DRAWING NO. G-2, SHEET 2 FOR PROJECTS NOTES, LEGEND, AND SYMBOLS.
- WHERE IDENTIFIED, WATER MAIN LINES SHALL BE INSTALLED WITH JOIN DEFLECTION PER PIPE MANUFACTURERS RECOMMENDATIONS. EACH PIPE JOINT TO HAVE NO MORE THAN ONE (1") DEGREE OF DEFLECTION AND PIPE LENGTH SHALL BE KEPT IN A STRAIGHT ALIGNMENT.
- ALL WATER SERVICE CONNECTIONS ARE 1-1/2" SINGLE WATER SERVICE CONNECTIONS PER CIVIL TYPICAL DETAIL C402C/GC-1 UNLESS OTHERWISE INDICATED ON THIS PLAN.

KEY NOTES:

- POTHOLE AND VERIFY EXISTING WATER MAIN LOCATION PRIOR TO START OF PROJECT CONSTRUCTION. REPORT ANY DISCREPANCIES THAT MAY IMPACT THE PROPOSED DESIGN TO THE PROJECT ENGINEER.
- MAINTAIN POTABLE/NON-POTABLE VERTICAL SEPARATION PER CIVIL TYPICAL DETAIL C414/GC-2.
- REMOVE AND RELOCATE EXISTING FIRE HYDRANT. INSTALL GATE VALVE PER CIVIL TYPICAL DETAIL C412/GC-2.
- 1-11.25' MxMJ BEND
- 1-22.50' MxMJ BEND
- 1-8"x6" FLxMJ TEE
1-6" FLxMJ GATE VALVE
- 1-8"x6" FLxFL TEE
1-8" FLxMJ ADAPTOR
1-8" FLxMJ GATE VALVE
1-6" FLxMJ GATE VALVE
- 1-8"x8" FLxFL TEE
3-8" FLxMJ GATE VALVES
40 L.F. 8" STUB-OUT



Path: M:\0101\River Ranch\Drawings\21076-C7-9-Water.dwg File Name: 21076-C7-9-Water.dwg Plot Date: 12/1/2022 2:05 PM Crestline

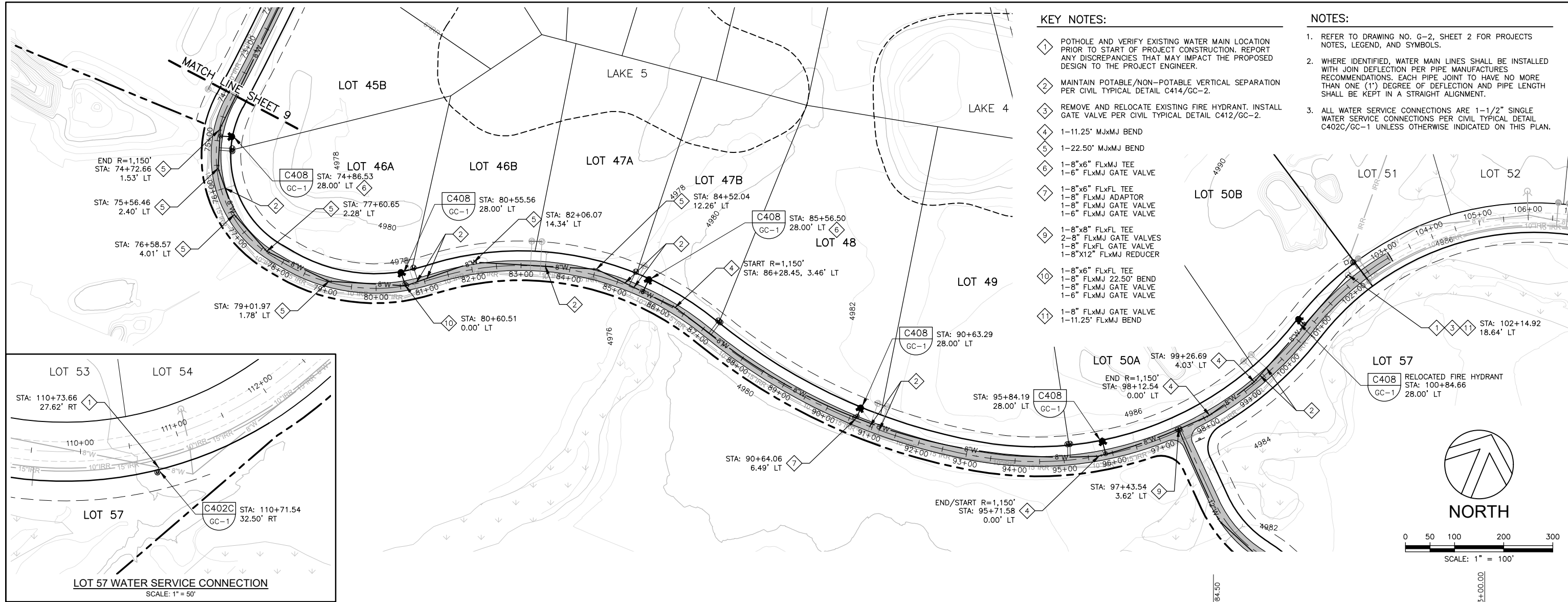
NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCALL ENGINEERING SUBMITTAL	AMD	8/10/2022	AMD/GTT
				DRAWN
				AMD
				CHECKED
				BEJ
				APPROVED
				GTT



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RIVER RANCH PHASE 2
McCALL, IDAHO
 ROAD, GRADING, DRAINAGE, WATER AND
 IRRIGATION IMPROVEMENTS
 DOMESTIC WATER MAIN PLAN AND PROFILE - 1

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	1"
PROJECT	21076
DATE	8/10/2022
DRAWING NO.	C-7
SHEET NO.	9 OF 16

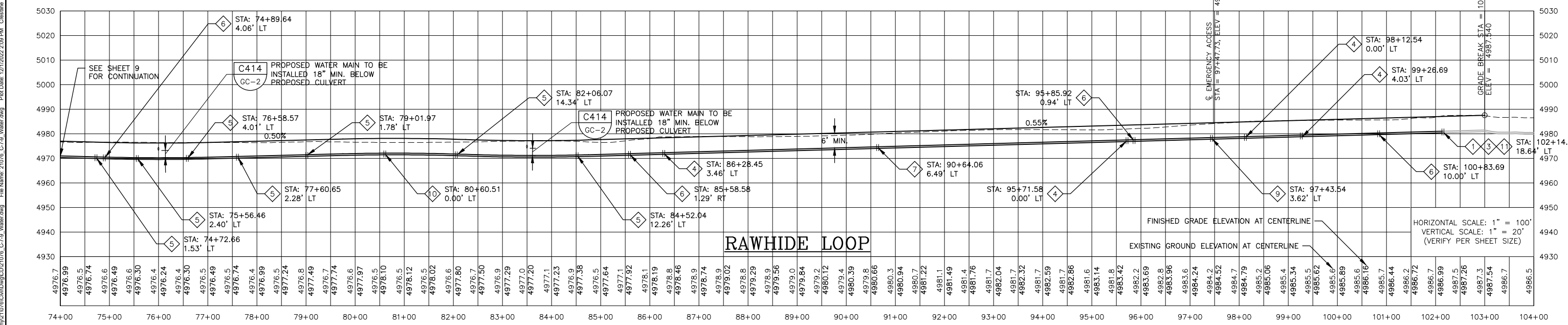
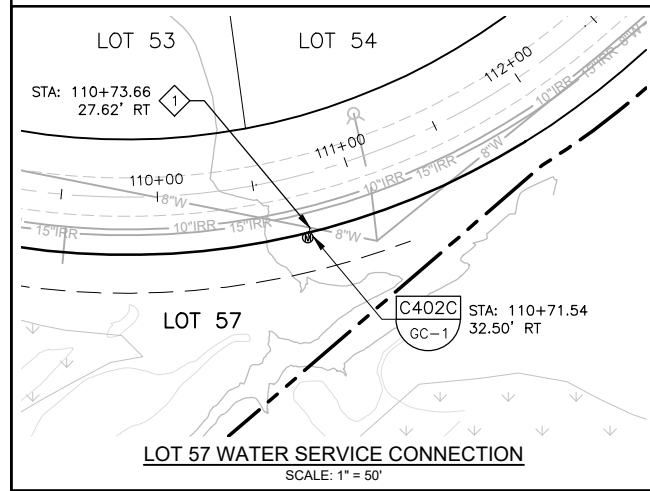


KEY NOTES:

- 1 POTHOLE AND VERIFY EXISTING WATER MAIN LOCATION PRIOR TO START OF PROJECT CONSTRUCTION. REPORT ANY DISCREPANCIES THAT MAY IMPACT THE PROPOSED DESIGN TO THE PROJECT ENGINEER.
- 2 MAINTAIN POTABLE/NON-POTABLE VERTICAL SEPARATION PER CIVIL TYPICAL DETAIL C414/GC-2.
- 3 REMOVE AND RELOCATE EXISTING FIRE HYDRANT. INSTALL GATE VALVE PER CIVIL TYPICAL DETAIL C412/GC-2.
- 4 1-11.25' MJxMJ BEND
- 5 1-22.50' MJxMJ BEND
- 6 1-8"x6" FLxMJ TEE
1-6" FLxMJ GATE VALVE
- 7 1-8"x6" FLxFL TEE
1-8" FLxMJ ADAPTOR
1-8" FLxMJ GATE VALVE
1-6" FLxMJ GATE VALVE
- 9 1-8"x8" FLxFL TEE
2-8" FLxMJ GATE VALVES
1-8" FLxFL GATE VALVE
1-8"x12" FLxMJ REDUCER
- 10 1-8"x6" FLxFL TEE
1-8" FLxMJ 22.50' BEND
1-8" FLxMJ GATE VALVE
1-6" FLxMJ GATE VALVE
- 11 1-8" FLxMJ GATE VALVE
1-11.25' FLxMJ BEND

NOTES:

- 1. REFER TO DRAWING NO. G-2, SHEET 2 FOR PROJECTS NOTES, LEGEND, AND SYMBOLS.
- 2. WHERE IDENTIFIED, WATER MAIN LINES SHALL BE INSTALLED WITH JOINT DEFLECTION PER PIPE MANUFACTURERS RECOMMENDATIONS. EACH PIPE JOINT TO HAVE NO MORE THAN ONE (1°) DEGREE OF DEFLECTION AND PIPE LENGTH SHALL BE KEPT IN A STRAIGHT ALIGNMENT.
- 3. ALL WATER SERVICE CONNECTIONS ARE 1-1/2" SINGLE WATER SERVICE CONNECTIONS PER CIVIL TYPICAL DETAIL C402C/GC-1 UNLESS OTHERWISE INDICATED ON THIS PLAN.



NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCALL ENGINEERING SUBMITTAL	AMD	8/10/2022	AMD/GTT
				DRAWN
				AMD
				CHECKED
				BEJ
				APPROVED
				GTT



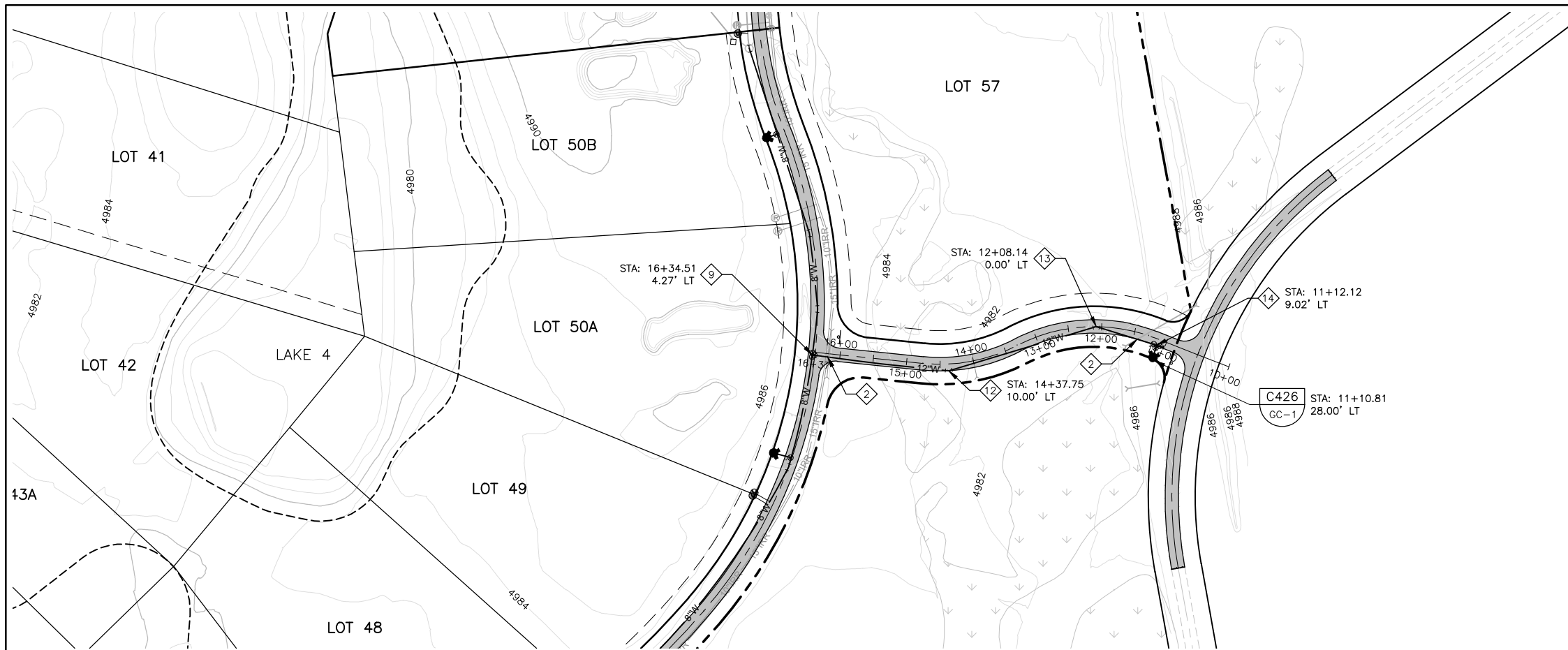
CRESTLINE ENGINEERS
 323 DEINHARD LANE, SUITE C · PO BOX 2330
 McCALL, IDAHO 83638
 208.634.4140 · 208.634.4146 FAX

RIVER RANCH PHASE 2
 McCALL, IDAHO
 ROAD, GRADING, DRAINAGE, WATER AND IRRIGATION IMPROVEMENTS
 DOMESTIC WATER MAIN PLAN AND PROFILE - 2

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	21076
DATE	8/10/2022
DRAWING NO.	C-8
SHEET NO.	10 OF 16

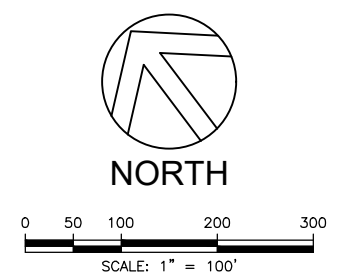
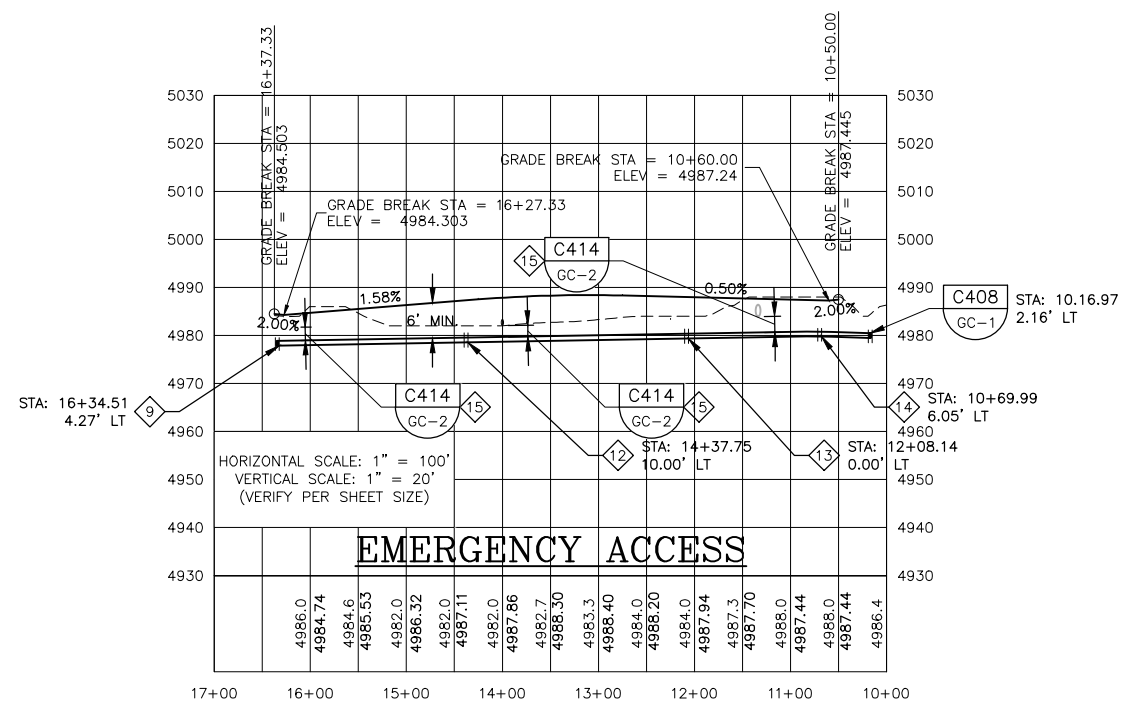
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Path: \\s01\mccall\river\Project\21076\CAD\DWG\CD2\076_C3-9_Water.dwg File Name: 21076_C3-9_Water.dwg Plot Date: 12/1/2022 2:10 PM Crestline

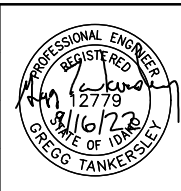


- NOTES:**
- REFER TO DRAWING NO. G-2, SHEET 2 FOR PROJECTS NOTES, LEGEND, AND SYMBOLS.
 - WHERE IDENTIFIED, WATER MAIN LINES SHALL BE INSTALLED WITH JOINT DEFLECTION PER PIPE MANUFACTURERS RECOMMENDATIONS. EACH PIPE JOINT TO HAVE NO MORE THAN ONE (1) DEGREE OF DEFLECTION AND PIPE LENGTH SHALL BE KEPT IN A STRAIGHT ALIGNMENT.
 - ALL WATER SERVICE CONNECTIONS ARE 1-1/2" SINGLE WATER SERVICE CONNECTIONS PER CIVIL TYPICAL DETAIL C402C/GC-1 UNLESS OTHERWISE INDICATED ON THIS PLAN.

- KEY NOTES:**
- 2 MAINTAIN POTABLE/NON-POTABLE VERTICAL SEPARATION PER CIVIL TYPICAL DETAIL C414/GC-2.
 - 9 1-8"x8" FLxFL TEE
2-8" FLxMJ GATE VALVES
1-8" FLxFL GATE VALVE
1-8"x12" FLxMJ REDUCER
 - 12 1-12" 22.50" MJxMJ BEND
 - 13 1-12" 22.50" FLxMJ BEND
1-12" 11.25" FLxMJ BEND
 - 14 1-12"x6" FLxFL TEE
2-12" FLxMJ GATE VALVE
1-12" MJ PLUG
1-6" FLxMJ GATE VALVE
 - 15 PROPOSED WATER MAIN TO BE INSTALLED 18" MIN. BELOW PROPOSED/EXISTING CULVERT.

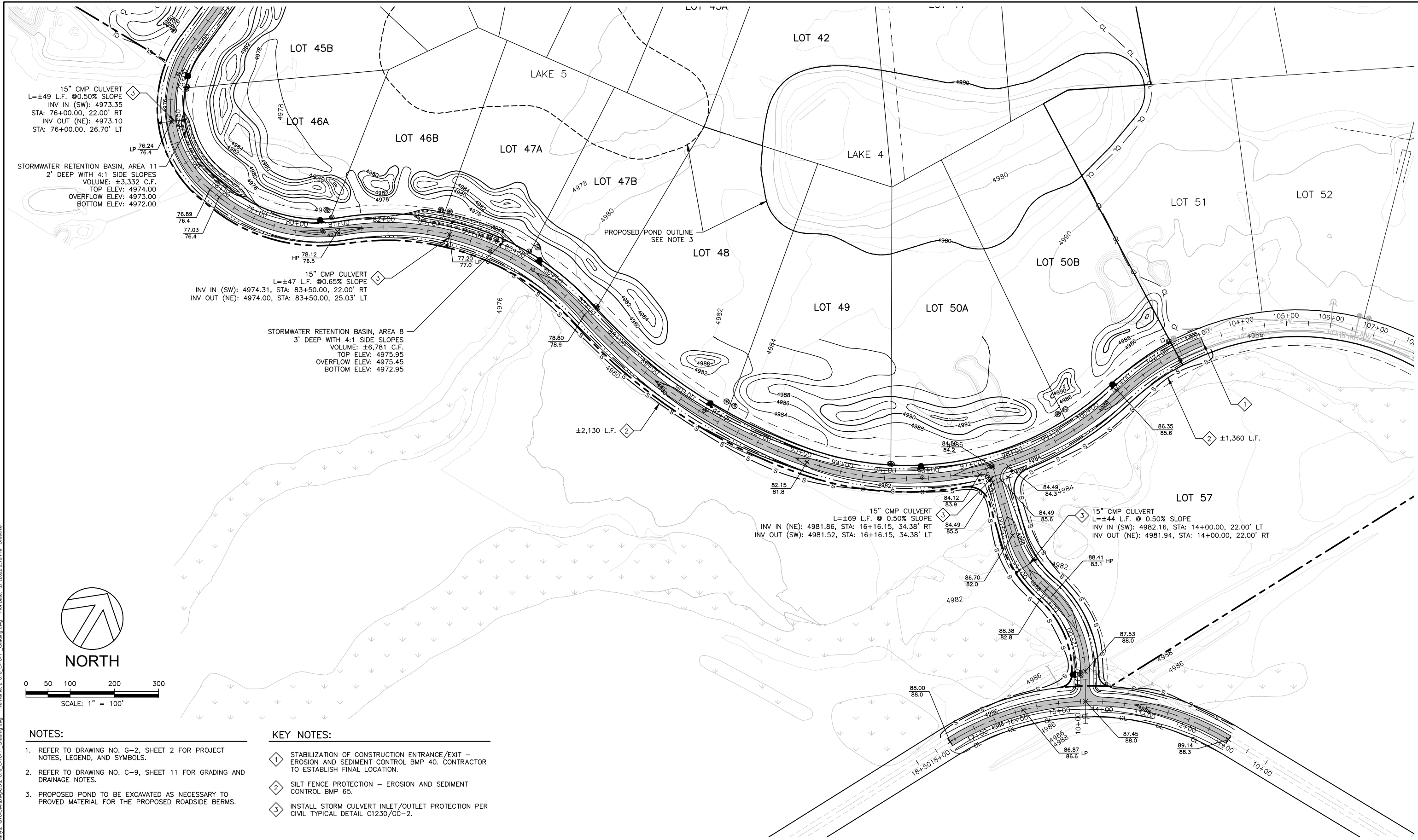


NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCALL ENGINEERING SUBMITTAL	AMD	8/10/2022	AMD/GTT
2.	REVISED PER CITY OF McCALL COMMENTS	AMD	9/16/2022	DRAWN
				AMD
				CHECKED
				BEJ
				APPROVED
				GTT




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ENGINEERS
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 McCALL, IDAHO 83638
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RIVER RANCH PHASE 2 McCALL, IDAHO		VERIFY SCALE BAR IS ONE INCH ON FULL SIZE DRAWING 0 1"
ROAD, GRADING, DRAINAGE, WATER AND IRRIGATION IMPROVEMENTS DOMESTIC WATER MAIN PLAN AND PROFILE - 3		PROJECT 21076 DATE 9/16/2022 DRAWING NO. SHEET NO. C-9 11 OF 16



15" CMP CULVERT
 L=±49 L.F. @0.50% SLOPE
 INV IN (SW): 4973.35
 STA: 76+00.00, 22.00' RT
 INV OUT (NE): 4973.10
 STA: 76+00.00, 26.70' LT

STORMWATER RETENTION BASIN, AREA 11
 2' DEEP WITH 4:1 SIDE SLOPES
 VOLUME: ±3,332 C.F.
 TOP ELEV: 4974.00
 OVERFLOW ELEV: 4973.00
 BOTTOM ELEV: 4972.00

15" CMP CULVERT
 L=±47 L.F. @0.65% SLOPE
 INV IN (SW): 4974.31, STA: 83+50.00, 22.00' RT
 INV OUT (NE): 4974.00, STA: 83+50.00, 25.03' LT

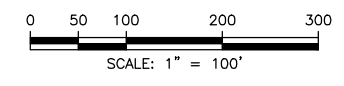
STORMWATER RETENTION BASIN, AREA 8
 3' DEEP WITH 4:1 SIDE SLOPES
 VOLUME: ±6,781 C.F.
 TOP ELEV: 4975.95
 OVERFLOW ELEV: 4975.45
 BOTTOM ELEV: 4972.95

15" CMP CULVERT
 L=±69 L.F. @ 0.50% SLOPE
 INV IN (NE): 4981.86, STA: 16+16.15, 34.38' RT
 INV OUT (SW): 4981.52, STA: 16+16.15, 34.38' LT

15" CMP CULVERT
 L=±44 L.F. @ 0.50% SLOPE
 INV IN (SW): 4982.16, STA: 14+00.00, 22.00' LT
 INV OUT (NE): 4981.94, STA: 14+00.00, 22.00' RT



NORTH



- NOTES:**
- REFER TO DRAWING NO. G-2, SHEET 2 FOR PROJECT NOTES, LEGEND, AND SYMBOLS.
 - REFER TO DRAWING NO. C-9, SHEET 11 FOR GRADING AND DRAINAGE NOTES.
 - PROPOSED POND TO BE EXCAVATED AS NECESSARY TO PROVED MATERIAL FOR THE PROPOSED ROADSIDE BERMS.

- KEY NOTES:**
- STABILIZATION OF CONSTRUCTION ENTRANCE/EXIT - EROSION AND SEDIMENT CONTROL BMP 40. CONTRACTOR TO ESTABLISH FINAL LOCATION.
 - SILT FENCE PROTECTION - EROSION AND SEDIMENT CONTROL BMP 65.
 - INSTALL STORM CULVERT INLET/OUTLET PROTECTION PER CIVIL TYPICAL DETAIL C1230/GC-2.

NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCALL ENGINEERING SUBMITTAL	AMD	8/10/2022	AMD/GTT
				DRAWN
				AMD
				CHECKED
				BEJ
				APPROVED
				GTT

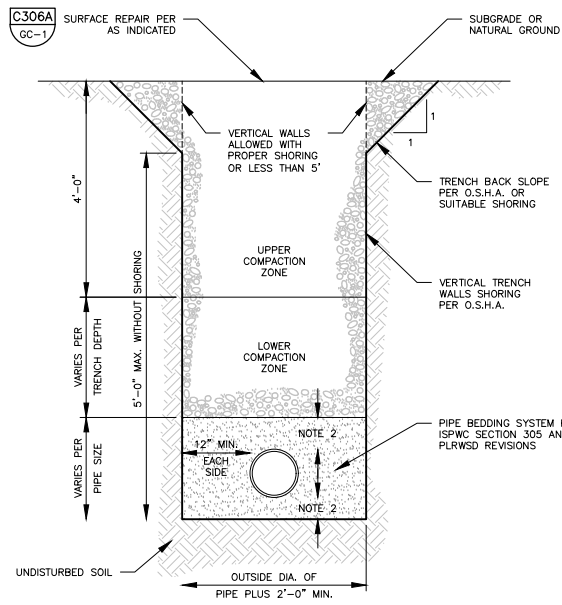


CRESTLINE ENGINEERS
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 208.634.4140 · 208.634.4146 FAX

RIVER RANCH PHASE 2
 McCALL, IDAHO
 ROAD, GRADING, DRAINAGE, WATER AND IRRIGATION IMPROVEMENTS
 GRADING, DRAINAGE AND STORMWATER MANAGEMENT PLAN - 2

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	21076
DATE	8/10/2022
DRAWING NO.	C-11
SHEET NO.	13 OF 16

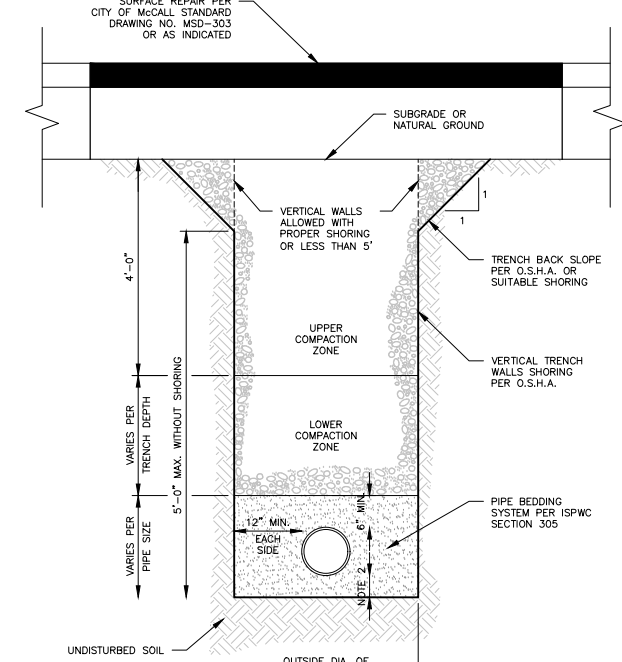
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NOTES:

- TRENCH EXCAVATION PER ISPCW SECTION 301.
- PIPE BEDDING PER ISPCW SECTION 305 AND PLRWS D REVISIONS. FOR SEWER MAIN LINES AND SERVICES USE CLASS A-1 BEDDING SYSTEM AMENDED TO REQUIRE BEDDING EIGHT (8) INCHES BELOW THE BOTTOM AND ABOVE THE TOP PIPE PER PLRWS D REQUIREMENT. FOR WATER MAIN LINES AND SERVICES USE CLASS B-2 BEDDING SYSTEM DURING NORMAL CONDITIONS AND CLASS A-1 BEDDING SYSTEM WHEN GROUNDWATER IS OBSERVED IN THE TRENCH DURING EXCAVATION.
- BACKFILL AND COMPACTION PER ISPCW SECTION 306.
- REFER TO ISPCW SECTION 304 FOR ADDITIONAL INFORMATION ON TRENCH FOUNDATION STABILIZATION IF NECESSARY FOR PROJECT CONSTRUCTION.
- SURFACE REPAIR AND BASE PER ISPCW SECTION 307 AND CIVIL TYPICAL DETAIL C306.

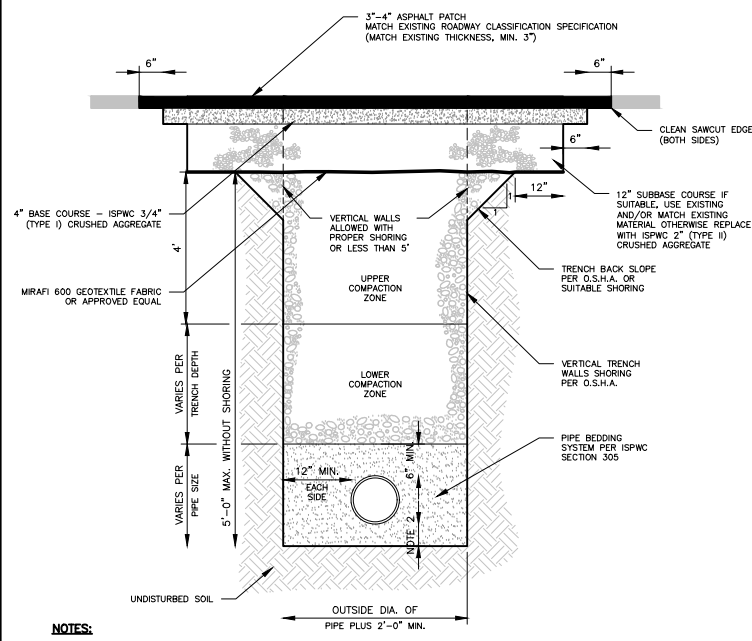
C302 TYPICAL TRENCH
TYP NOT TO SCALE



NOTES:

- TRENCH EXCAVATION PER ISPCW SECTION 301.
- PIPE BEDDING PER ISPCW SECTION 305.
- BACKFILL AND COMPACTION PER ISPCW SECTION 306.
- REFER TO ISPCW SECTION 304 FOR ADDITIONAL INFORMATION ON TRENCH FOUNDATION STABILIZATION IF NECESSARY FOR PROJECT CONSTRUCTION.
- SURFACE REPAIR PER CITY OF MCCALL UTILITY TRENCH AND ISPCW SECTION 307.

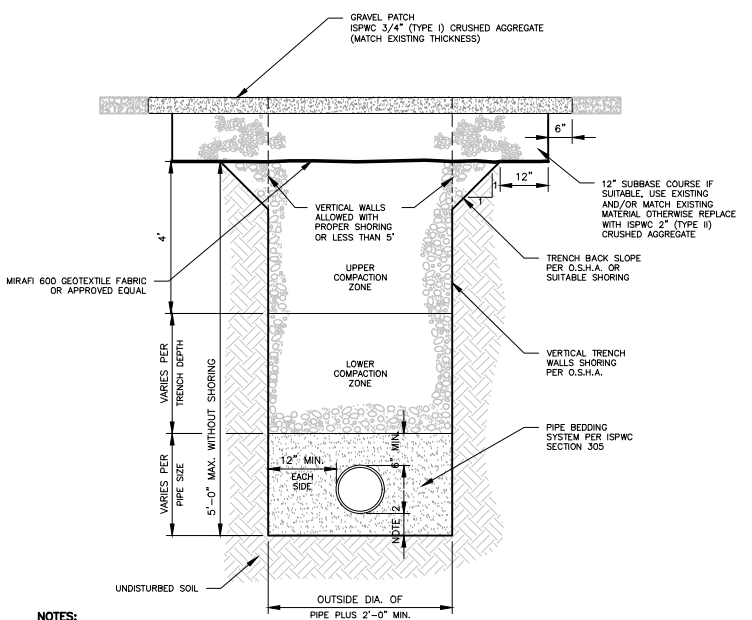
C302A CITY OF MCCALL - STANDARD UTILITY TRENCH
TYP NOT TO SCALE



NOTES:

- TRENCH EXCAVATION PER ISPCW SECTION 301.
- PIPE BEDDING PER ISPCW SECTION 305.
- BACKFILL AND COMPACTION PER ISPCW SECTION 306.
- REFER TO ISPCW SECTION 304 FOR ADDITIONAL INFORMATION ON TRENCH FOUNDATION STABILIZATION IF NECESSARY FOR PROJECT CONSTRUCTION.
- STREET CUTS AND SURFACE REPAIRS PER ISPCW SECTION 307 UNLESS OTHERWISE SHOWN IN THIS DETAIL.
- ASPHALT CUTS AND PATCHES WILL NOT BE ALLOWED WITHIN THE WHEEL PATHS WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY OF MCCALL PUBLIC WORKS DEPARTMENT.
- ALL WORKMANSHIP LOCATED WITHIN A CITY OF MCCALL RIGHT-OF-WAY TO CARRY A 2-YEAR WARRANTY.

C306A CITY OF MCCALL ASPHALT SURFACE REPAIR
TYP NOT TO SCALE



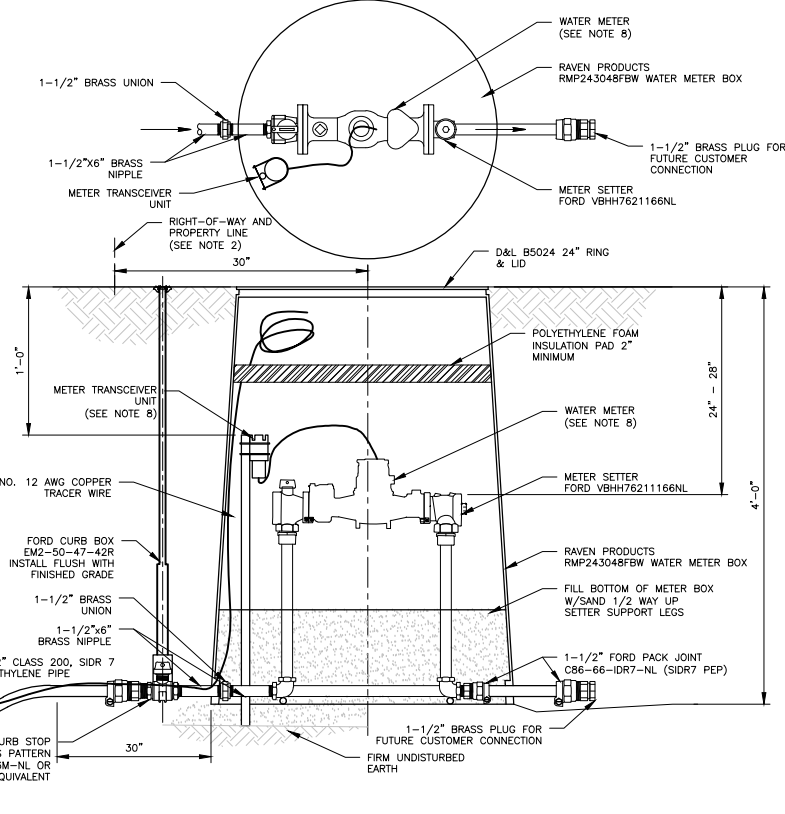
NOTES:

- TRENCH EXCAVATION PER ISPCW SECTION 301.
- PIPE BEDDING PER ISPCW SECTION 305.
- BACKFILL AND COMPACTION PER ISPCW SECTION 306.
- REFER TO ISPCW SECTION 304 FOR ADDITIONAL INFORMATION ON TRENCH FOUNDATION STABILIZATION IF NECESSARY FOR PROJECT CONSTRUCTION.
- STREET CUTS AND SURFACE REPAIRS PER ISPCW SECTION 307 UNLESS OTHERWISE SHOWN IN THIS DETAIL.
- ASPHALT CUTS AND PATCHES WILL NOT BE ALLOWED WITHIN THE WHEEL PATHS WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY OF MCCALL PUBLIC WORKS DEPARTMENT.
- ALL WORKMANSHIP LOCATED WITHIN A CITY OF MCCALL RIGHT-OF-WAY TO CARRY A 2-YEAR WARRANTY.

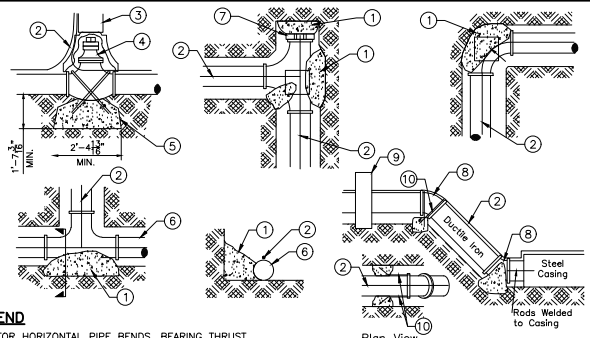
C306B CITY OF MCCALL GRAVEL SURFACE REPAIR
TYP NOT TO SCALE

NOTES:

- ALL WATER SERVICE COMPONENTS SHALL BE IRON PIPE SIZE. NO GALVANIZED PIPE OR FITTINGS SHALL BE USED. WATER SERVICE SADDLE, CORPORATION STOP, AND PIPE SHALL BE SIZED AS FOLLOWS:
A. SINGLE SERVICE: 1-1/2".
- METER BOX LOCATIONS SHALL BE SHOWN ON WATER SYSTEM PLANS AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. METER BOX LOCATION GENERALLY WILL BE LOCATED ON THE HOMEOWNER PROPERTY AS FOLLOWS:
A. SINGLE SERVICE: THIRTY (30") FROM R.O.W. CENTERED ON COMMON PROPERTY LINE.
- SERVICE PIPE SHALL BE CLASS 200, SDR 7 POLYETHYLENE PRESSURE PIPE CONFORMING TO AWWA C901.
- FORD STAINLESS STEEL INSERT (STIFFENER) TO BE USED WITH POLYETHYLENE PRESSURE PIPE AT FITTINGS PER MANUFACTURERS RECOMMENDATIONS.
- SERVICE LINES SHALL BE INSTALLED WITH A MINIMUM COVER OF SIX (6) FEET AND SHALL RISE TO FOUR (4) FEET, WITHIN A MAXIMUM DISTANCE OF THIRTY (30) INCHES OF METER BOX.
- SERVICE CONNECTIONS SHALL BE THIRTY-SIX (36) INCHES FROM FITTINGS OR WATER MAIN PIPE ENDS. MULTIPLE SERVICE CONNECTIONS IN THE SAME JOINT OF PIPE SHALL BE SEPARATED BY TWENTY-FOUR (24) INCHES AND NOT IN THE SAME HORIZONTAL LEVEL - ABSOLUTE.
- SERVICE PIPE SHALL BE FLUSHED IMMEDIATELY PRIOR TO METER INSTALLATION.
- WATER METERS AND TRANSCOVER UNITS TO BE SUPPLIED AND INSTALLED BY THE CITY OF MCCALL.
- MAINTAIN SEPARATION DISTANCES IN ACCORDANCE WITH IDAPA 58.01.05.
- REFER TO CITY OF MCCALL STANDARD REVISIONS TO ISPCW AND CONDITIONS SECTION 404 FOR REQUIREMENTS ON CONNECTIONS TO THE PRIVATE SIDE OF THE WATER METER.



C402C 1-1/2" WATER SERVICE CONNECTION
TYP NOT TO SCALE



LEGEND

- FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
- NO. 12 COPPER FINDER WIRE.
- C.I. VALVE BOX WITH COVER.
- C.I. GATE VALVE.
- PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH (2) 1/2" MIN. REBAR.
- PIPE.
- PLUG.
- RESTRAINED JOINTS.
- HAMMERHEAD THRUST BLOCKING.
- ANCHOR RODS (1/2" MIN.).

GENERAL NOTES:

- ANCHOR ALL BURIED VALVES AS SHOWN.
- WRAP BOLTS AND FLANGES WITH 6 MIL. POLYPROPYLENE TO PROTECT FROM CONCRETE ADHERENCE DURING CONSTRUCTION OF THRUST BLOCKS.
- SEE CHART FOR MINIMUM THRUST BLOCKS BEARING AREAS.
- ALL CONCRETE SHALL BE MIN. OF 6 CU. FT. AND HAVE A MIN. TWENTY-EIGHT(28) DAY COMPRESSIVE STRENGTH OF NOT LESS THAN 2500 PSI POURED AGAINST UNDISTURBED EARTH.
- THRUST BLOCKING SHALL BE PLACED BETWEEN UNDISTURBED EARTH AND THE FITTING TO BE ANCHORED.
- THRUST BLOCKING SHALL BE PLACED SO THAT THE PIPE AND FITTING JOINTS WILL BE ACCESSIBLE TO REPAIRS.
- ALL FITTINGS SHALL HAVE A 12"x12"x4" CONCRETE SUPPORT BLOCK.
- ALL THRUST BLOCKS CAST IN PLACE UNLESS OTHERWISE NOTED.
- PROVIDE 6 MIL. POLYPROPYLENE BETWEEN FITTINGS AND CONCRETE.
- NOTIFY ENGINEER FOR ANY CONDITION OR PIPE SIZE NOT INDICATED.
- ISPCW SD-403 APPLIES WHERE MORE STRINGENT.

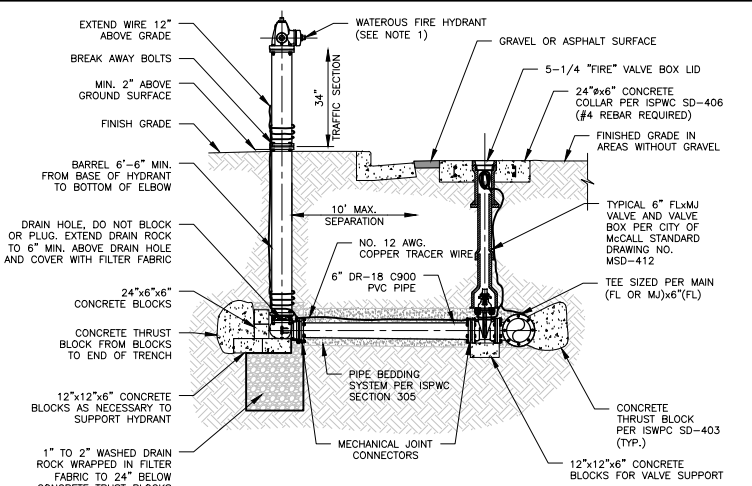
TABLE 1
THRUST AREA FOR HORIZONTAL BENDS***

SOIL BEARING PRESSURE = 2,000 PSF
WORKING PRESSURE RATING = 150 PSI
SAFETY FACTOR = 1.5

PIPE SIZE OR BEND SIZE	MINIMUM SQUARE FEET OR THRUST BLOCK AREA ONTO UNDISTURBED EARTH**
3"	0.8 1.1 0.6 0.3
4"	1.4 2.0 1.1 0.6
6"	3.2 4.5 2.4 1.2
8"	5.7 8.0 4.3 2.2
10"	8.8 12.5 6.8 3.4
12"	12.7 18.0 9.7 5.0
14"	17.3 24.5 13.3 6.8
16"	22.6 32.0 17.3 8.8
18"	28.6 40.5 21.9 11.2

** MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH)
** OR TEE ACTING AS A 90° BEND
*** THRUST BLOCK DEPTH TO BE A MINIMUM OF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROUTE OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

C406 THRUST BLOCKS
TYP NOT TO SCALE



NOTES:

- FIRE HYDRANT SHALL BE PACER 100, MODEL NO. W867-250, WITH 1 4" PUMPER OUTLET AND 2 EA. 2-1/2" OUTLETS WITH A THIRTY-FOUR (34) INCH TRAFFIC SECTION, MADE BY WATERLOO CO. AND INSTALLED WITH THE FIRE HYDRANT HOSE ATTACHMENT FOUR (4) FEET ABOVE EXISTING GROUND. FIRE HYDRANT PAINT COLOR TO BE IN ACCORDANCE WITH LOCAL STANDARDS. 4" PUMPER NOZZLE SHALL ALIGN WITH LATERAL AND ASSOCIATED FIRE HYDRANT VALVE.
- FINAL HYDRANT LOCATIONS SHALL BE FIELD APPROVED BY THE CITY OF MCCALL AND MCCALL FIRE PROTECTION DISTRICT PRIOR TO INSTALLATION.
- HYDRANT SHALL NOT BE PLACED CLOSER THAN TEN (10) FEET MINIMUM FROM SEWER, FIFTY (50) FEET MINIMUM FROM SEPTIC SYSTEMS AND TWENTY FIVE (25) FEET MINIMUM FROM SEEPAGE BEDS.
- HYDRANT MUST BE INSTALLED ABOVE GROUND/SURFACE WATER AND FINISHED GRADE TO SLOPE AWAY FROM STRUCTURE.
- MINIMUM DISTANCE FROM THE FIRE HYDRANT TO THE FIRE HYDRANT GATE VALVE SHALL BE FIVE (5) FEET.
- PLACE LOCATOR WIRE DIRECTLY ABOVE PIPE. SECURE FINDER WIRE UNDER (M) BOLT AT MAIN.
- ALL JOINTS SHALL BE RESTRAINED. JOINT RESTRAINT DEVICES MAY BE USED AS AN ALTERNATE TO THRUST BLOCK WITH ENGINEER'S APPROVAL.
- ALL ANCHORS AND BLOCKING TO BEAR AGAINST UNDISTURBED SOIL.
- ALL AUXILIARY FIRE HYDRANT VALVES TO BE LOCATED AT THE TEE ON THE WATER MAIN AS SHOWN ON THIS DETAIL OR AS DIRECTED BY THE ENGINEER. WHERE EXISTING FITTINGS ARE NOT COMPATIBLE WITH NEW MAIN CONSTRUCTION, USE SUITABLE ADAPTERS OR NEW FITTINGS UPON APPROVAL BY THE ENGINEER.
- IF WATER SERVICE TO HYDRANT IS TO COMMENCE PRIOR TO SETTING OF CONCRETE THRUST BLOCKING, USE APPROVED MECHANICAL JOINT RESTRAINTS, AS APPROVED BY THE ENGINEER.
- HYDRANTS THAT ARE TO BE RELOCATED AS CALLED FOR ON THE PLANS SHALL BE REINSTALLED IN ACCORDANCE WITH THIS DETAIL LOCATION TO BE SET IN ACCORDANCE WITH LOCAL STANDARDS OR AS DIRECTED BY THE ENGINEER.

C408 FIRE HYDRANT INSTALLATION
TYP NOT TO SCALE

NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF MCCALL ENGINEERING SUBMITTAL	AMD	8/10/2022	AMD
				DRAWN
				AMD
				CHECKED
				BEJ
				APPROVED
				GTT



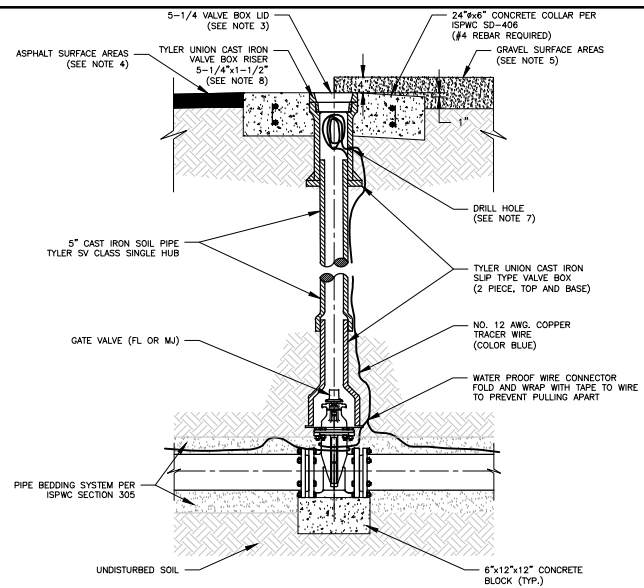
CRESTLINE ENGINEERS
323 DEINHARD LANE, SUITE C · PO BOX 2330
MCCALL, IDAHO 83638
208.634.4140 · 208.634.4146 FAX

RIVER RANCH PHASE 2
MCCALL, IDAHO
ROAD, GRADING, DRAINAGE, WATER AND IRRIGATION IMPROVEMENTS
CIVIL TYPICAL DETAILS - 1

VERIFY SCALE
BAR IS ONE INCH ON FULL SIZE DRAWING
0 1"

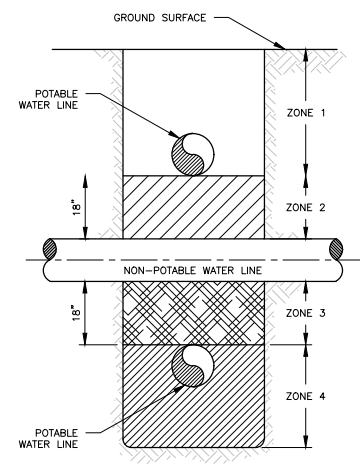
PROJECT	21076
DATE	8/10/2022
DRAWING NO.	GC-1
SHEET NO.	14 OF 16

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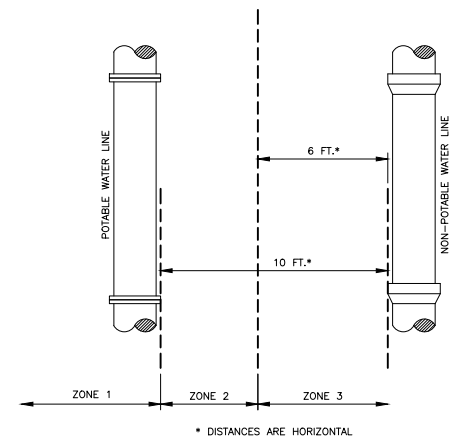
- NOTES:**
- ALL GATE VALVES SHALL BE NON-RISING STEM RESILIENT SEATED GATE VALVES MEETING ANSI/AWWA C515 FOR WATER SUPPLY SERVICE.
 - CLEAN VALVE BOX OF ALL DEBRIS AND SOIL.
 - ALL VALVE BOX LIDS TO BE 5 1/4" DROP LIDS. ALL WATER VALVE BOX LIDS TO BE STAMPED "WATER" AND ALL FIRE VALVE BOX LIDS TO BE STAMPED "FIRE". ALL IRRIGATION VALVE BOX LIDS TO BE BLANK. ALL IRRIGATION RISERS, FAUCETS, VALVE BOXES AND VALVES SHALL BE IDENTIFIED WITH DURABLE TAGS CARRYING THE WARNING DANGER-UNSAFE WATER AND A "MR. YUCK" SYMBOL.
 - FOR ASPHALT SURFACE, CONCRETE COLLAR TO BE 1/4" BELOW FINISHED GRADE.
 - FOR GRAVEL ROADWAY SURFACE, CONCRETE COLLAR TO BE 4" BELOW FINISHED GRADE AND SLOPED AWAY FROM VALVE BOX LID SO THAT OUTSIDE EDGE IS 1" LOWER.
 - VALVE BOXES OUTSIDE OF PAVED OR GRAVEL ROADWAYS SHALL HAVE A CONCRETE COLLAR POURED TO BE FLUSH WITH FINISHED GRADE.
 - DRILL 7/8" HOLE IN TOP PORTION OF VALVE BOX. PLACE PCV VALVE GROMMET INTO HOLE AND ROUTE TRACER WIRE THROUGH HOLE.
 - TYLER UNION CAST IRON RISER IS NOT TO BE USED WITHIN STATE HIGHWAYS. ONLY FOR USE WITHIN CITY OF McCall ROADWAYS.

C412 STANDARD VALVE BOX INSTALLATION
TYP. NOT TO SCALE



- VERTICAL SEPARATION REQUIREMENTS**
- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING.
OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEDING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: A) SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: A) SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

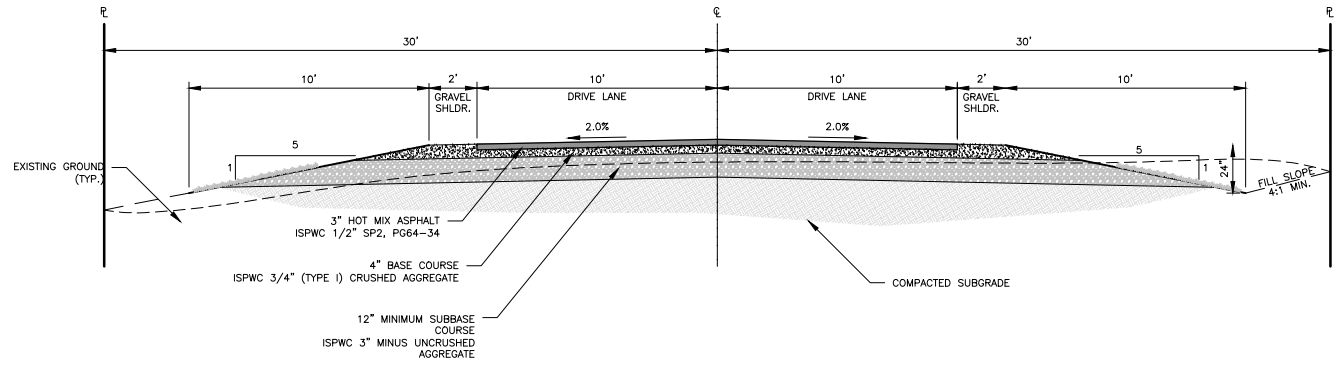
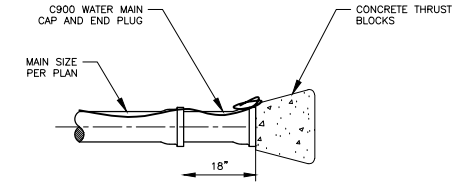
C414 POTABLE/NOT-POTABLE WATER LINE (NPWL) SEPARATION
TYP. NOT TO SCALE



- HORIZONTAL SEPARATION REQUIREMENTS**
- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES.
B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS.
AND C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL.
AND EITHER D) NPWL CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS.
OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: A) NOT ALLOWED WITHOUT DEQ WAIVER.

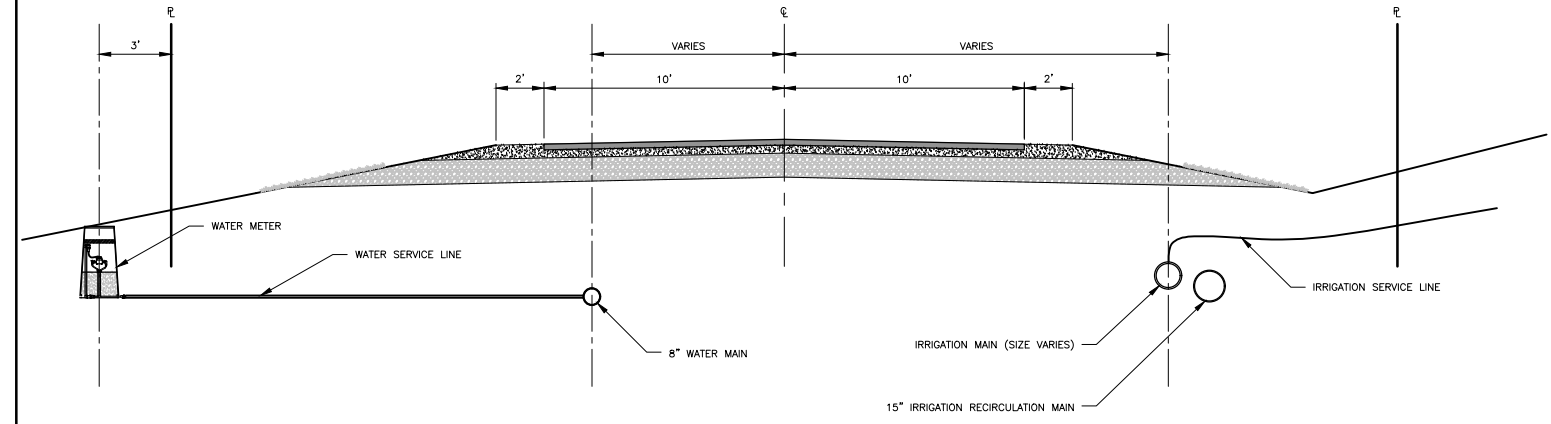
- NOTES:**
- SANITARY SEWAGE FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

C426 CAP AND PLUG DETAIL
TYP. NOT TO SCALE



- NOTES:**
- COMPACTION AND TESTING FOR ALL AGGREGATE BASE/SUBBASE MATERIAL SHALL BE IN ACCORDANCE WITH ISPMC 802.
 - ASPHALT FOUR (4") INCHES IN THICKNESS SHALL BE PLACED IN TWO (2") INCH LIFTS. ASPHALT THREE (3") INCHES OR LESS SHALL BE PLACED IN A SINGLE LIFT.
 - COMPACTION AND TESTING FOR ALL HOT MIX ASPHALT SHALL BE IN ACCORDANCE WITH ISPMC SECTION 810 AND PROJECT PLANS AND SPECIFICATIONS.
 - REVEGETATE ALL DISTURBED AREAS WITH A CITY APPROVED GRASS MIXTURE OVER FOUR (4") INCHES OF TOPSOIL, PER APPROVED LANDSCAPING PLAN, OR AS INDICATED WITHIN THE PLANS.
 - ALL ROADWAY AREAS WITH GRAVEL SHOULDER TO HAVE SAFETY EDGE INSTALLED. SEE MSD-814 FOR SAFETY EDGE DETAIL.

C800 TYPICAL ROAD DETAIL
TYP. 1" = 4'



- NOTES:**
- WATER MAINS TO HAVE A MINIMUM COVER OF SIX (6') FEET TO TOP OF PIPE. IRRIGATIONS MAINS TO HAVE A MINIMUM COVER OF SEVEN (7') FEET IN GRAVEL/ASPHALT ROADS AND FOUR (4') FEET IN NATURAL GROUND AREAS TO TOP OF PIPE.
 - IRRIGATION MAINS IN THE SAME TRENCH TO HAVE A MINIMUM OF SIX (6") INCHES BETWEEN PIPES AND HAVE SAND FILLED IN BETWEEN PIPES.

C802 TYPICAL UTILITY LOCATION
TYP. 1" = 4'

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NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCall ENGINEERING SUBMITTAL	AMD	8/10/2022	AMD
2.	REVISED ROAD BASE/SUBBASE MATERIAL	AMD	10/13/2022	DRAWN
				AMD
				CHECKED
				BEJ
				APPROVED
				GTT



CRESTLINE ENGINEERS
323 DEINHARD LANE, SUITE C · PO BOX 2330
McCall, IDAHO 83638
208.634.4140 · 208.634.4146 FAX

RIVER RANCH PHASE 2
McCall, IDAHO
ROAD, GRADING, DRAINAGE, WATER AND
IRRIGATION IMPROVEMENTS
CIVIL TYPICAL DETAILS - 2

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	21076
DATE	10/13/2022
DRAWING NO.	SHEET NO.
GC-2	15 OF 16

Proposal



Proposal Date: 2/16/2023

Proposal #: 2126

Project: 23 PHASE 2

Bill To:

McCall River Ranch Company
Attn: Lisa James
899 Northgate Drive
Suite 301
San Rafael, Ca 94903

Description	Total
REMOVAL OF ASPHALT	14,760.00
EXCAVATION (NOT INCLUDING POND)	87,900.00
UNSUITABLE MATERIAL EXCAVATION	2,250.00
DUST ABATEMENT WATER	14,000.00
SOFT SPOT REPAIR CRUSHED AGGREGATE BASE MATERIAL	2,250.00
WATER MAIN PIPE-SIZE 8"-C900	225,060.00
WATER MAIN FITTING-SIZE 8"-DUCTILE IRON	15,400.00
CONNECT TO EXISTING WATER MAIN (INCLUDES EXPLORATORY EXCAVATION)	13,000.00
VALVE-8" RESILIENT SEATED GATE VALVE	24,200.00
HYDRANT	81,000.00
REMOVE AND RESET EXISTING HYDRANT (INCLUDES NEW VALVE, TEE, AND PIPE)	10,600.00
WATER SERVICE CONNECTION, SIZE 1" --Excludes meter and radio	122,200.00
15" CULVERT, CORRUGATED GALVANIZED STEEL PIPE	21,000.00
15" GALVANIZED FLARED END SECTION	7,800.00
3" MINUS UNCRUSHED AGGREGATE FOR BASE	70,720.00
CRUSHED AGGREGATE FOR BASE TYPE 1	171,200.00
1/2" PLANT MIX PAVEMENT, SP-2, PG64-34, 3" THICKNESS	457,870.00
Total	

Proposal



Proposal Date: 2/16/2023
 Proposal #: 2126
 Project: 23 PHASE 2

Bill To:

McCall River Ranch Company
 Attn: Lisa James
 899 Northgate Drive
 Suite 301
 San Rafael, Ca 94903

Description	Total
SEDIMENT CONTROL	15,000.00
RIPRAP SLOPE AND OUTLET PROTECTION	5,880.00
CONSTRUCTION TRAFFIC CONTROL	5,000.00
MOBILIZATION	65,000.00
VALVE BOX, WATER, ADJUST TO GRADE	18,500.00
RIPRAP/ EROSION CONTROL GEOTEXTILE	5,880.00
SILANE-40 CONCRETE SEALER	950.00
SURVEYING	20,000.00
DIRECTED SURVEY ALLOWANCE	1,000.00
<p><i>Water pipe and fittings price valid for 30 days from date of proposal Asphalt price is not guaranteed and is subject to change to current market pricing at the time of installation Payment and Performance bond not included, but price quote can be provided upon request</i></p>	
<p><i>Priced is valid for 10 days. Please feel free to contact me with any questions at 208-634-2021.</i></p>	
Total	\$1,478,420.00

RIVER RANCH PHASE 2

McCALL, IDAHO

SECONDARY ACCESS ROAD AMENDMENT SPRING/SUMMER 2023

DRAWING INDEX

1	G-1	COVER SHEET
2	G-2	GENERAL INFORMATION AND NOTES
3	C-1	OVERALL LAYOUT
4	C-2	SECONDARY ACCESS ROAD PLAN AND PROFILE
5	C-3	GRADING, DRAINAGE, AND STORMWATER MANAGEMENT PLAN
6	GC-1	CIVIL TYPICAL DETAILS



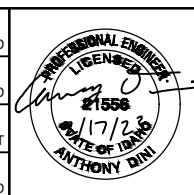
LOCATION MAP
NOT TO SCALE



VICINITY MAP
SCALE 1" = 500'

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NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCALL ENGINEERING SUBMITTAL	AMD	2/17/2023	AMD
				DRAWN
				AMD
				CHECKED
				GTT
				APPROVED
				AMD



CRESTLINE ENGINEERS
323 DEINHARD LANE, SUITE C · PO BOX 2330
McCALL, IDAHO 83638
208.634.4140 · 208.634.4146 FAX

RIVER RANCH PHASE 2
McCALL, IDAHO
SECONDARY ACCESS ROAD AMENDMENT
COVER SHEET

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	21076
DATE	2/17/2023
DRAWING NO.	SHEET NO.
G-1	1 OF 6

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE PROJECT NOTES, DETAILS, SPECIFICATIONS, AND THE CITY OF McCALL STANDARDS. WHERE NOT SPECIFIED, ALL WORK SHALL CONFORM TO THE 2020, OR MOST CURRENT, EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC). IN THE EVENT THAT ANY OF THESE STANDARDS CONFLICT, THE MORE STRINGENT SHALL BE THE CONTROLLING STANDARDS OR SPECIFICATIONS.
- ONLY PLAN SETS STAMPED "APPROVED FOR CONSTRUCTION" AND SIGNED BY THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE SHALL BE USED BY THE PROJECT CONTRACTOR(S). USE OF ANY PLANS ON THE JOB WITHOUT THE "APPROVED FOR CONSTRUCTION" STAMP SHALL BE GROUNDS FOR THE ISSUANCE OF A STOP WORK ORDER.
- THE CONTRACTOR SHALL KEEP ON-SITE AT ALL TIMES A COPY OF THE APPROVED CONSTRUCTION PLANS. THESE PLANS SHALL BE USED TO RECORD THE ACTUAL LOCATIONS OF THE CONSTRUCTED PIPELINE(S) AND ANY OTHER UTILITIES ENCOUNTERED. THE CONTRACTOR SHALL PROVIDE THESE RECORDED LOCATIONS TO THE PROJECT ENGINEER FOR USE IN THE PRODUCTION OF RECORD DRAWINGS PRIOR TO FINAL APPROVAL/ACCEPTANCE OF THE PROJECT.
- EXISTING SITE INFORMATION INCLUDING THE LOCATION OF EXISTING SITE CONDITIONS AND SURFACE TOPOGRAPHY AS SHOWN ON THESE PLANS HAS BEEN PROVIDED BY THE SECESH ENGINEERING, INC. THE EXISTING SITE INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR'S CONSTRUCTION SURVEY PRIOR TO THE START OF ANY PROJECT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL CONSTRUCTION STAKING.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. THE PROJECT ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES, OR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY EXACT LOCATIONS OF EXISTING UTILITIES PRIOR TO THE START OF ANY PROJECT CONSTRUCTION. ANY LOCATION WHICH MAY POSE A CONFLICT WITH THE PROPOSED CONSTRUCTION MUST BE REPORTED TO THE PROJECT ENGINEER PRIOR TO THE START OF ANY PROJECT CONSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT A PROJECT SCHEDULE AND SEQUENCING PLAN TO THE OWNER AND THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL CALL DIG LINE (800-342-1585) TO LOCATE ALL EXISTING UTILITIES AT LEAST THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF McCALL AND VALLEY COUNTY A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO THE START OF PROJECT CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN A PERMIT TO EXCAVATE IN PUBLIC RIGHT-OF-WAY, FROM THE CITY OF McCALL/VALLEY COUNTY AND PROVIDE A COPY TO THE OWNER AND THE PROJECT ENGINEER PRIOR TO THE START OF PROJECT CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL ASSOCIATED WITH THE PROJECT AND SHALL DEVELOP/SUBMIT A PLAN TO THE CITY OF McCALL, VALLEY COUNTY, AND THE PROJECT ENGINEER FOR APPROVAL PRIOR TO THE START OR PROJECT CONSTRUCTION. PLAN TO BE IN ACCORDANCE WITH MUTCD AND PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESS AT THE END OF EACH DAY AND PROVIDE DETOURS OR ONE-WAY TRAFFIC DURING CONSTRUCTION. WHEN CONSTRUCTION TECHNIQUES ALLOW, CONTRACTOR SHALL PROVIDE ACCESS THROUGH THE CONSTRUCTION ZONE TO PRIVATE PROPERTIES.
- CONTRACTOR SHALL SECURE A SHORT TERM ACTIVITY EXEMPTION FROM THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY (IDEQ) PRIOR TO THE START OF PROJECT CONSTRUCTION IF WORK IN GROUNDWATER IS ANTICIPATED. IN ADDITION TO THE EXEMPTION, CONTRACTOR SHALL SUBMIT A DEWATERING PLAN TO THE PROJECT ENGINEER PRIOR TO COMMENCEMENT OF DEWATERING OPERATIONS.
- DURING PIPELINE INSTALLATION AND SERVICE CONNECTIONS, GROUNDWATER LEVELS SHALL BE MAINTAINED ONE (1') FOOT OR MORE BELOW PIPE INVERTS PER ISPMC. ONCE DEWATERING OPERATIONS CEASE, CONTRACTOR SHALL CLEAN AND RESTORE TO THEIR ORIGINAL STATE ANY DITCHES OR STORMDRAIN FACILITIES THAT ARE SILTED DUE TO THEIR DEWATERING EFFORTS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING MONUMENTS, SURVEY MARKERS, STREET SIGNS, UTILITIES, IRRIGATION LINES, PAVEMENT, TREES, FENCES, AND ANY OTHER IMPORTANT OBJECTS ON/OR ADJACENT TO THE JOB SITE FROM DAMAGE AND REPAIR OR REPLACE DAMAGED FACILITIES AS REQUIRED BY THE OWNER AND THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES.
- UNLESS DETAILED, SPECIFIED, OR OTHERWISE INDICATED ON THE PLAN SET, CONSTRUCTION SHALL BE AS INDICATED ON THE APPLICABLE TYPICAL DETAILS AND GENERAL NOTES. TYPICAL DETAILS SHALL APPLY EVEN THOUGH NOT REFERENCED AT SPECIFIC LOCATIONS ON DRAWINGS.

- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
- CONTRACTOR TO PROVIDE SUBMITTALS FOR ALL PRODUCTS NECESSARY FOR COMPLETING PROJECT PRIOR TO THE START OF CONSTRUCTION.
- ANY CHANGES TO THE DESIGN AS SHOWN IN THESE CONSTRUCTION DRAWINGS MUST BE REVIEWED AND APPROVED BY THE PROJECT ENGINEER BEFORE CHANGES ARE MADE. THIS INCLUDES CHANGES REQUESTED BY THE OWNER AND SUBCONTRACTORS.
- CONTRACTOR SHALL PROVIDE THE PROJECT ENGINEER WITH ONE COPY OF REDLINED AS-BUILT DRAWINGS PRIOR TO PROJECT ACCEPTANCE IF DETERMINED NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL WORK CONSTRUCTED BY THEIR WORK CREWS UNTIL THE WORK IS ACCEPTED BY THE OWNER FOR CONTINUOUS OPERATION AND MAINTENANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY INCLUDING, BUT NOT LIMITED TO, SAFE WORKING PRACTICES WITHIN AND AROUND THE CONSTRUCTION AREA. IN ADDITION, JURISDICTIONAL AGENCIES, THE OWNER, AND THE PROJECT ENGINEER SHALL NOT BE RESPONSIBLE FOR ENFORCING SAFETY REGULATIONS.
- THE CONTRACTOR IS TO OBTAIN ALL APPLICABLE PERMITS NOT PROVIDED BY THE OWNER OR PROJECT ENGINEER. COPIES OF THESE PERMITS SHALL BE PROVIDED TO THE OWNER AND PROJECT ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY EXCESS ON-SITE MATERIALS AS NECESSARY TO COMPLETE THE PROJECT.
- DOMESTIC WATER MAINS AND NON-POTABLE MAINS (SEWER, STORM DRAIN, AND IRRIGATION) SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF TEN (10') FEET AND A MINIMUM VERTICAL SEPARATION OF EIGHTEEN (18") INCHES. REFER TO ISPMC SD-407 "NON-POTABLE WATER LINE (NPWL) SEPARATION," C414/GC-2 AND IDAPA 58.01.16.430.02.0 FOR ADDITIONAL INFORMATION AS WELL AS SEPARATION REQUIREMENTS FOR POTABLE SERVICE LINES IN RELATION TO NON-POTABLE SERVICE LINES.
- WHEN MINIMUM VERTICAL SEPARATION IS NOT OBTAINED, NON-POTABLE MAINS SHALL BE ENCASED WITH A SLEEVING MATERIAL ACCEPTABLE TO THE IDEQ FOR A HORIZONTAL DISTANCE OF TEN (10') FEET ON BOTH SIDES OF THE CROSSING.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE CITY OF McCALL A MINIMUM OF FOURTY-EIGHT (48) HOURS PRIOR TO ANY PROJECT TESTING AND THE POURING OF ANY PROJECT CONCRETE.
- CONTRACTOR IS REQUIRED TO PAY FOR ALL ASPHALT, CONCRETE AND COMPACTION TESTING, INCLUDING ASSOCIATED COSTS IN ACCORDANCE WITH ISPMC SPECIFIC TESTING REQUIREMENTS.
- ALL TESTING SHALL BE CONDUCTED BY AN INDEPENDENT THIRD PARTY.
- IF ANY ITEMS OF SUSPECTED HISTORICAL OR ARCHAEOLOGICAL VALUE ARE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR WILL BE REQUIRED TO STOP WORK AND CONTACT THE OWNER, PROJECT ENGINEER, AS WELL AS THE STATE HISTORICAL PRESERVATION OFFICE.
- CONTRACTOR SHALL CONFORM TO OSHA AND OTHER LOCAL, STATE, AND FEDERAL REQUIREMENTS WHEN REMOVING ASBESTOS CEMENT (AC) PIPE AND MATERIALS.
- IF DURING CONSTRUCTION OF THE PROJECT, AN UNDERGROUND STORAGE TANK, BURIED DRUM, OTHER CONTAINER, CONTAMINATED SOIL, OR DEBRIS NOT SCHEDULED FOR REMOVAL UNDER THE CONTRACT IS DISCOVERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE PROJECT ENGINEER. NO ATTEMPT SHALL BE MADE TO EXCAVATE, OPEN, OR REMOVE SUCH MATERIAL WITHOUT WRITTEN APPROVAL.

TREE PROTECTION NOTES:

- CONTRACTOR TO TAKE EXTRA PRECAUTION WHEN WORKING NEAR TREES WITHIN THE PROJECT AREA.
- INSTALL CONSTRUCTION FENCING AROUND THE DRIP LINES OF ALL SIGNIFICANT (12" OR LARGER TRUNK DIAMETER) TREES TO PREVENT VEHICLE/CONSTRUCTION EQUIPMENT TRAFFIC AND COMPACT SOIL ABOVE TREES ROOT SYSTEM.
- WHEN DIGGING IN CLOSE PROXIMITY/UNDER DRIPLEINES OF TREES, CONTRACTOR TO POT HOLE/HAND DIG AROUND TREE ROOTS TO PREVENT PULLING IMPACTS AND/OR TENSION ON THE ROOT SYSTEM.
- IF IMPACTS ARE UNAVOIDABLE, CONTRACTOR TO COORDINATE IMPACTS WITH THE CITY OF McCALL ARBORIST AND PROJECT ENGINEER TO TRY AND MINIMIZE IMPACTS TO THE GREATEST EXTENT POSSIBLE.
- IN THE EVENT THAT THERE IS A CONFLICT WITH TREE ROOTS, CONTRACTOR TO GENTLY EXPOSE AND CUT THE ROOT CLEANLY WITH A SAW TO HELP MITIGATE IMPACTS. DO NOT TREAT THE ENDS OF CUT ROOTS.
- ONCE TREE ROOTS ARE CUT AND/OR IMPACTED, THERE IS NO GUARANTEE OF THEIR SURVIVAL.
- ANY ROOT IMPACTS SHOULD BE APPROVED BY THE CITY ARBORIST AND KEPT TO ONE SIDE OF THE TREE WHERE AT ALL POSSIBLE.

ROAD/STRUCTURAL FILL PLACEMENT NOTES:

- ALL ROADWAY AND BUILDING ENVELOPE FILL MATERIAL AND EMBANKMENT SHALL BE PLACED IN ACCORDANCE WITH ISPMC SECTION 202 AND MEET CLASS A COMPACTION REQUIREMENTS.
- STRUCTURAL FILL PLACEMENT SHALL BE COMPLETED IN ACCORDANCE WITH DIVISIONS 200 AND 800 OF THE ISPMC, THE PROJECT PLANS, AND CITY OF McCALL STANDARDS WHERE APPROPRIATE.
- CONTRACTOR TO CONTACT THE PROJECT ENGINEER IMMEDIATELY IN THE EVENT OF ANY UTILITY CONFLICT.
- ALL BASE/SUBBASE COURSE USED FOR STRUCTURAL/IMPORTED FILL SHALL MEET THE REQUIREMENTS OF ISPMC SECTIONS 801 AND 802, UNCRUSHED AND CRUSHED AGGREGATES. CONTRACTOR SHALL PROVIDE PROJECT ENGINEER WITH RECENT TESTING DATA ON SIEVE ANALYSIS, PROCTOR COMPACTION RESULTS, LIQUID LIMITS, AND PLASTICITY INDEX FROM SOURCE LOCATIONS PRIOR TO PLACEMENT.
- COMPACTION FOR ALL AGGREGATE BASE/SUBBASE MATERIAL SHALL BE IN ACCORDANCE WITH ISPMC SECTION 802.
- HOT MIX ASPHALT (HMA) PAVEMENT SHALL BE THREE (3") INCHES OF ISPMC 1/2" AGGREGATE, SUPERPAVE-2, PG64-34. CONTRACTOR SHALL PROVIDE PROJECT ENGINEER WITH MIX DESIGN PRIOR TO PLACEMENT.
- HMA PAVEMENT SHALL BE PLACED AND TESTED IN ACCORDANCE WITH ISPMC SECTION 810 AND CIVIL TYPICAL DETAILS C800/GC-2.
- ALL STRUCTURAL/IMPORTED FILL BASE/SUBBASE PLACEMENT TESTING SHALL BE THIRD PARTY PROVIDED BY THE CONTRACTOR. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE PROJECT ENGINEER TO ACCOMMODATE ALL REQUIRED TESTING DURING PLACEMENT OF FILL MATERIALS IN ACCORDANCE WITH ISPMC.

EROSION AND SEDIMENT CONTROL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BMP'S IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- STORMWATER MANAGEMENT INCLUDING EROSION AND SEDIMENT CONTROL FOR THE PROJECT WILL BE IMPLEMENTED PER THE CITY OF McCALL DRAINAGE MANAGEMENT GUIDELINES (DMG'S).
- REFER TO THE "STATE OF IDAHO, CATALOG OF STORMWATER BEST MANAGEMENT PRACTICES FOR IDAHO CITIES AND COUNTIES" FOR FURTHER DETAILS ON BMP IMPLEMENTATION AND INSTALLATION.
- REFER TO THE PROJECTS STORMWATER DRAINAGE REPORT FOR ADDITIONAL INFORMATION PERTAINING TO EROSION AND SEDIMENT CONTROL INSTALLATION AS WELL AS OPERATION AND MAINTENANCE PROCEDURES.
- THE CONTRACTOR SHALL COMPLY WITH THE PREVISIONS OF THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY'S (IDEQ) IDAHO POLLUTION DISCHARGE ELIMINATION SYSTEM (IPDES) 2022 GENERAL PERMIT FOR DISCHARGES FROM CONSTRUCTION ACTIVITIES (CGP). THE CGP REQUIRES THAT PROJECTS WHICH INTEND TO DISTURB MORE THAN ONE (1) ACRE PREPARE/PROVIDE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). IF THE CONTRACTORS MEANS AND METHODS DISTURB MORE THAN ONE (1) ACRE, THE CONTRACTOR SHALL PREPARE A SWPPP AND OBTAIN COVERAGE UNDER THE IDEQ 2022 CGP.
- THIS PLAN SHEET IS NOT INTENDED TO BE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR IS RESPONSIBLE FOR PREPARING, IMPLEMENTING, AND MAINTAINING THE SWPPP INCLUDING THE ASSOCIATED STORMWATER NOTICE OF INTENT (NOI) IN ACCORDANCE WITH THE IDEQ'S CGP. TOTAL PROPERTY/DEVELOPMENT AREA = 1.34 AC. TOTAL ON-SITE/OFF-SITE DISTURBED AREA = ±1.34 AC.
- ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED PRIOR TO THE START OF ANY PROJECT CONSTRUCTION OR EARTH DISTURBING ACTIVITIES AND SHOULD REMAIN IN PLACE UNTIL ALL DISTURBED/EXPOSED AREAS HAVE BEEN STABILIZED AND/OR REVEGETATED.
- THE IMPLEMENTATION OF THESE EROSION AND SEDIMENT CONTROL MEASURES INCLUDING INSTALLATION, REGULAR INSPECTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THIS PLAN IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL PROJECT CONSTRUCTION IS COMPLETED AND STABILIZATION IS ACHIEVED PER THE CGP.
- WORK ACTIVITIES SHALL TAKE PLACE WITHIN THE CLEARING LIMITS AS SHOWN ON THIS PLAN. CONTRACTOR SHALL PRESERVE NATURAL VEGETATION OUTSIDE OF CLEARING LIMITS.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL ENTRANCES/EXITS TO THE SITE AND CONSTRUCTION STAGING AREAS.
- CONTRACTOR SHALL MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ONE TIME.
- DURING CONSTRUCTION, CONTRACTOR SHALL WATER ALL DISTURBED AREAS AS NECESSARY FOR DUST ABATEMENT.
- CONTRACTOR SHALL CONTROL SURFACE DRAINAGE FROM EXCAVATION, BORROW AND WASTE DISPOSAL AREAS AS WELL AS PROVIDE CONTROL STRUCTURES AS NECESSARY TO PREVENT CONTAMINATED RUNOFF FROM LEAVING THE PROJECT SITE.
- CONTRACTOR SHALL SECURE A SHORT TERM ACTIVITY EXEMPTION FROM IDEQ PRIOR TO THE START OF CONSTRUCTION. IF TRENCH DEWATERING IS REQUIRED, CONTRACTOR SHALL SUBMIT A DEWATERING PLAN TO THE THE PROJECT ENGINEER PRIOR TO COMMENCEMENT OF DEWATERING OPERATIONS.
- CONTRACTOR TO PROVIDE TEMPORARY MEASURES SUCH AS BERMS, DIKES, AND DRAINS AS NECESSARY, TO PREVENT RUNOFF FROM FLOWING INTO PIPE TRENCHES DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE INLET PROTECTION ON ALL STORMWATER DRAIN INLETS (EXISTING AND PROPOSED) UNTIL THE SITE IS STABILIZED AND VEGETATION IS REESTABLISHED.
- REVEGETATION AND STABILIZATION OF ALL DISTURBED PROJECT AREAS SHALL BE IN ACCORDANCE WITH THE PROJECTS LANDSCAPE DESIGN/PLAN. IF A LANDSCAPE DESIGN/PLAN IS NOT AVAILABLE, DISTURBED AREAS SHALL BE REVEGETATED WITH A GRASS SEED MIXTURE NATIVE TO THE PROJECT AREA.
- ALL SILT FENCE MUST BE INSTALLED ONSITE PRIOR TO THE START OF ANY MASS GRADING NEAR WETLAND AREAS.
- RIPRAP DITCHES AND INLET/OUTLET PROTECTION SHALL BE COMPLETED IMMEDIATELY AFTER GRADING.

LEGEND:

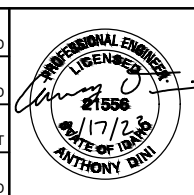
	EXISTING	PROPOSED
PROPERTY LINE	---	---
RIGHT-OF-WAY	---	---
CENTERLINE	---	---
EASEMENT LINE	---	---
LOT LINES	---	---
CONTOUR	5010	5010
EDGE OF PAVEMENT	---	---
SAW CUT LINE	---	---
ASPHALT SURFACE	---	---
WATER MAIN, SIZE AND GATE VALVE	8"W	8"W
FIRE HYDRANT	---	---
WATER METER	W	W
IRRIGATION MAIN AND SIZE	12"IRR	12"IRR
IRRIGATION METER/MARKER	IRR	IRR
CULVERT	---	---
DRAINAGE SWALE/FLOW LINE	---	---
WETLAND AREAS	---	---
SILT FENCE	---	S
CONSTRUCTION LIMITS	---	CL
PRESERVE EXISTING VEGETATION	---	VEG
DRAINAGE FLOW ARROW	---	---
SPOT ELEVATION (FG/EG)	---	32.12 25.8 FG X
FINISHED GRADE	---	EG
EXISTING GRADE	---	FL
FLOW LINE	---	HP
HIGH POINT	---	LP
LOW POINT	---	---

GENERAL SYMBOLS:

BREAK	---
DETAIL REFERENCE	A C-8
SECTION REFERENCE	B C-11
TYPICAL DETAIL REFERENCE	C100 TYP
KEYNOTE INDICATOR	1
TYPICAL DETAIL REFERENCE BUBBLE	CO00 TYP
TYPICAL DETAIL NUMBER IDENTIFICATION	N C-11
DETAIL OR SECTION IDENTIFICATION	N
DETAIL OR SECTION REFERENCE BUBBLE	N
DETAIL OR SECTION IS TO BE FOUND ON THE SAME SHEET	N
DETAIL OR SECTION IS TO BE FOUND ON THE DRAWING INDICATED	N
TYPICAL DETAIL IS TO BE FOUND ON THE TYPICAL DETAIL DRAWINGS	N

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NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCALL ENGINEERING SUBMITTAL	AMD	2/17/2023	AMD
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				CHECKED
				GTT
				APPROVED
				AMD



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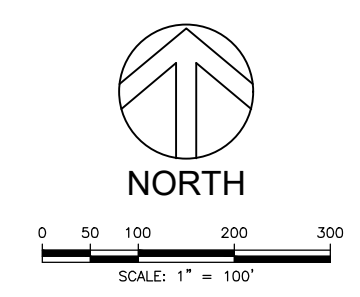
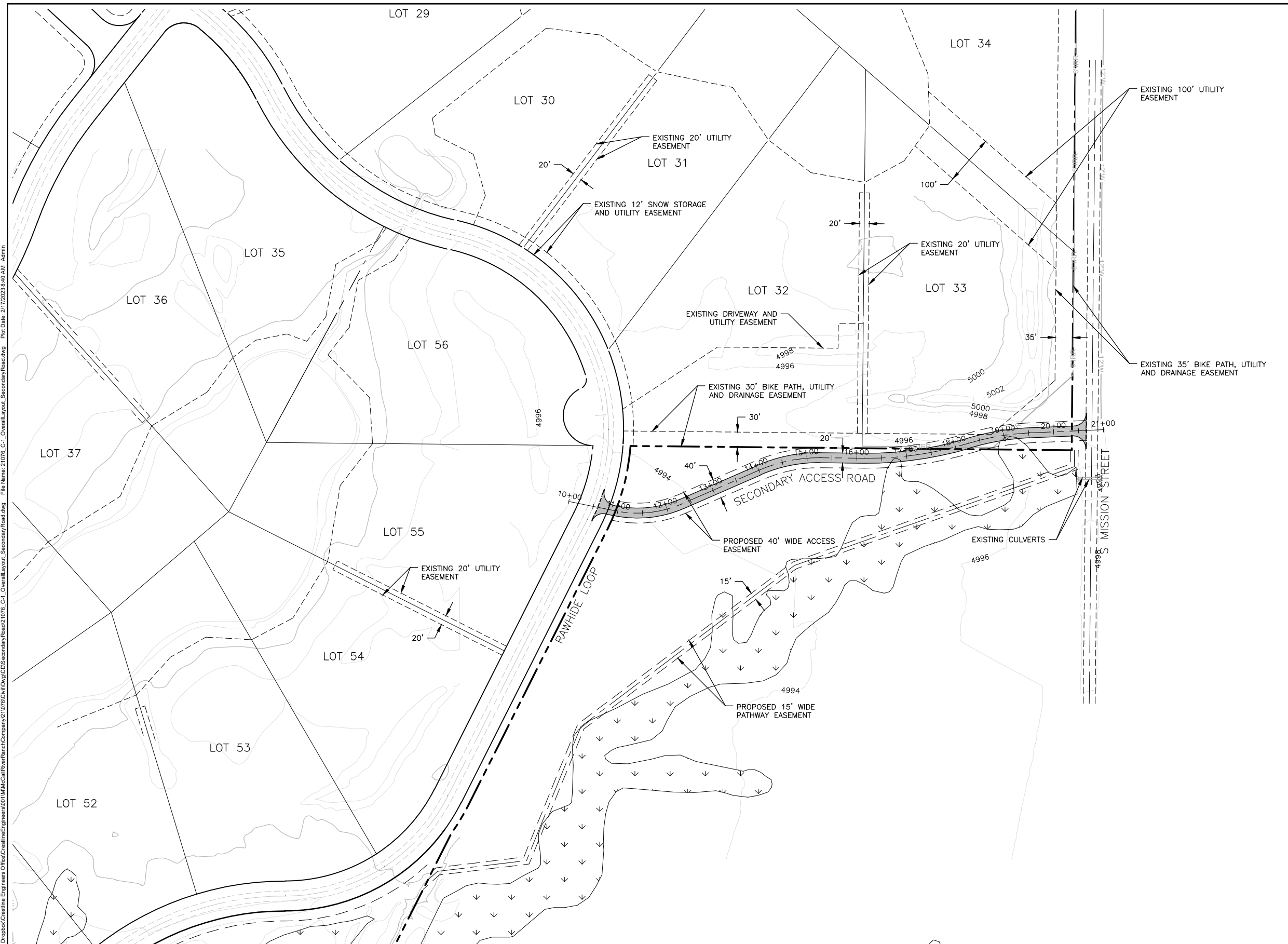
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 McCALL, IDAHO 83638
 208.634.4140 · 208.634.4146 FAX

RIVER RANCH PHASE 2
McCALL, IDAHO
 SECONDARY ACCESS ROAD AMENDMENT
 GENERAL INFORMATION AND NOTES

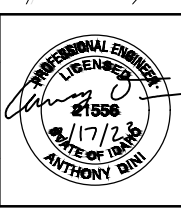
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PROJECT	21076
DATE	2/17/2023
DRAWING NO.	G-2
SHEET NO.	2 OF 6

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NOTES:
 1. REFER TO DRAWING NO. G-2, SHEET 2 FOR PROJECTS NOTES, LEGEND, AND SYMBOLS.



NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCALL ENGINEERING SUBMITTAL	AMD	2/17/2023	AMD
				DRAWN
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				CHECKED
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				APPROVED
				AMD



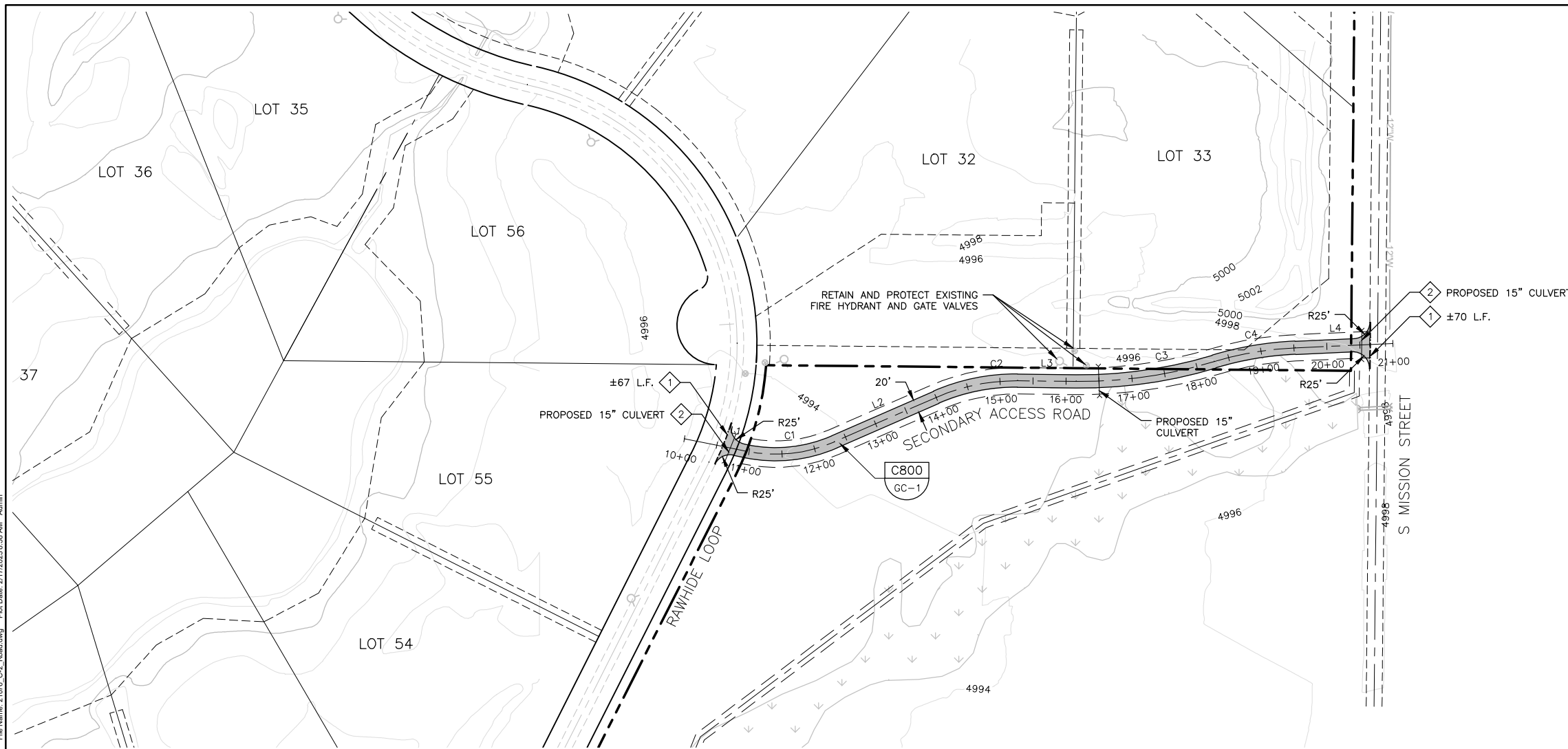
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RIVER RANCH PHASE 2
McCALL, IDAHO
SECONDARY ACCESS ROAD AMENDMENT
OVERALL LAYOUT

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
0 50 100 200 300	
SCALE: 1" = 100'	
PROJECT	21076
DATE	2/17/2023
DRAWING NO.	SHEET NO.
C-1	3 OF 6

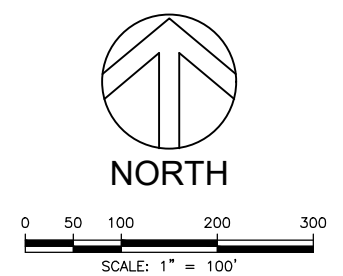
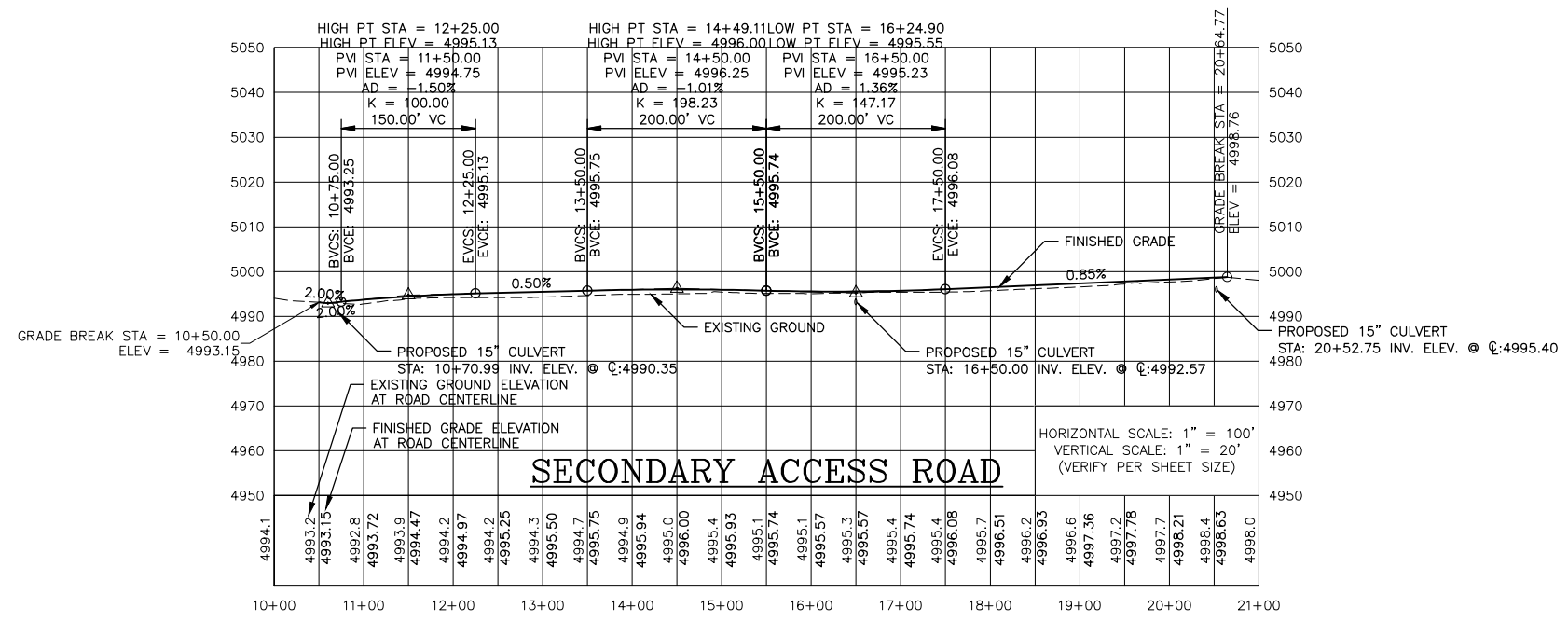
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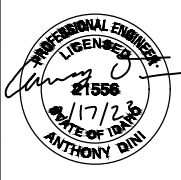
- NOTES:**
- REFER TO DRAWING NO. G-2, SHEET 2 FOR PROJECT NOTES, LEGEND, AND SYMBOLS.
- KEY NOTES:**
- SAWCUT EXISTING ASPHALT ROAD TO CLEAN EDGE AND MATCH EXISTING PAVEMENT.
 - CONTRACTOR TO WORK WITH ENGINEER TO DETERMINE IF CULVERTS ARE REQUIRED AT THIS LOCATION.

LINE TABLE					
LINE	LENGTH	START EASTING	START NORTHING	END EASTING	END NORTHING
L1	45.80	2531358.771	1171650.933	2531403.667	1171641.895
L2	168.34	2531536.850	1171656.006	2531691.107	1171723.412
L3	88.62	2531814.091	1171748.498	2531902.711	1171747.653
L4	124.65	2532234.560	1171798.440	2532359.091	1171803.909

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	136.05	222.00	35.11	N83° 57' 07"E	133.93
C2	126.45	300.00	24.15	N78° 28' 16"E	125.52
C3	212.09	700.00	17.36	N81° 51' 58"E	211.28
C4	124.78	500.00	14.30	N80° 20' 09"E	124.46



NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCALL ENGINEERING SUBMITTAL	AMD	2/17/2023	AMD/GTT
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				GTT
				APPROVED
				AMD



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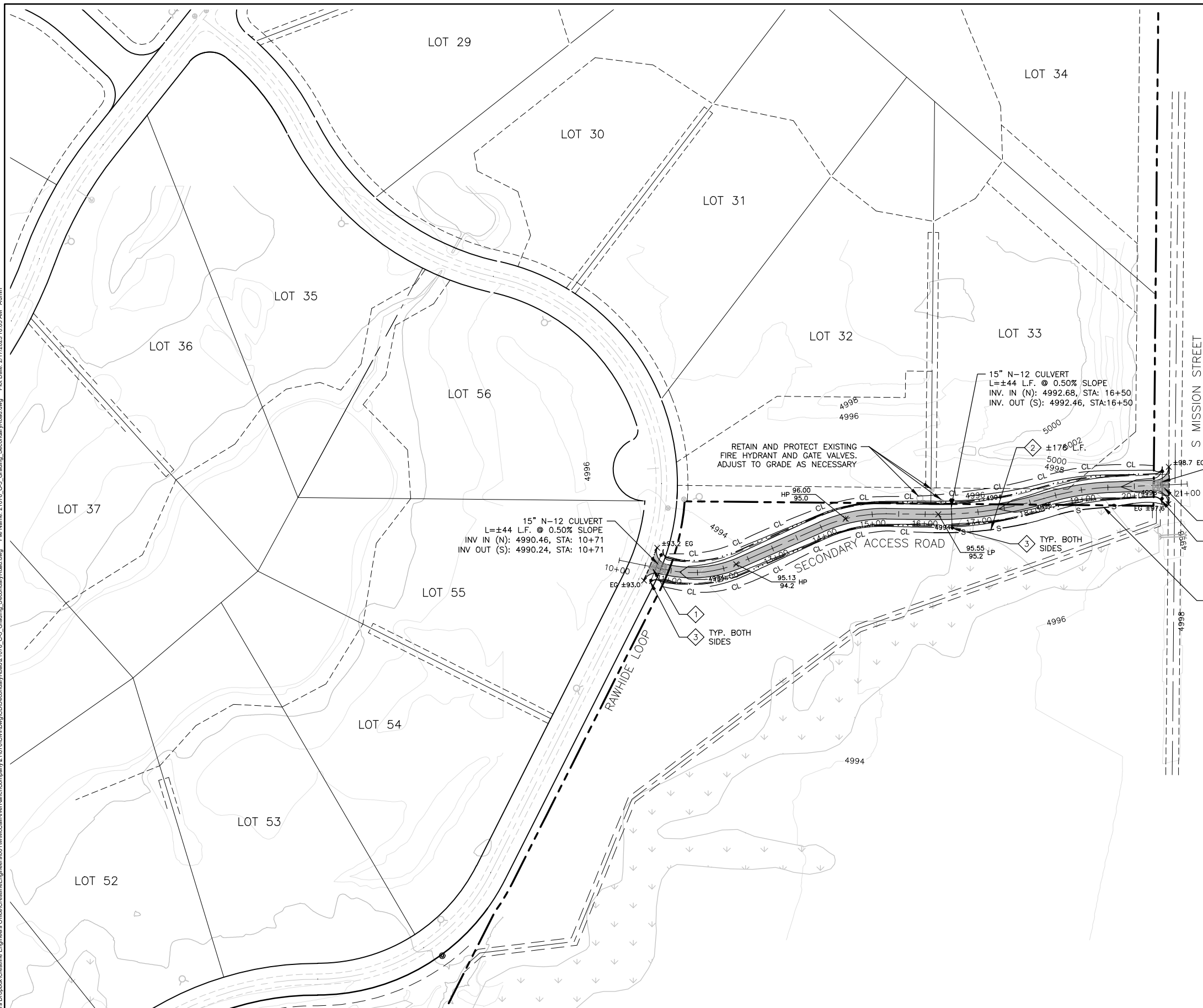
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RIVER RANCH PHASE 2
 McCALL, IDAHO
 SECONDARY ACCESS ROAD AMENDMENT
 SECONDARY ACCESS ROAD PLAN AND PROFILE

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	21076
DATE	2/17/2023
DRAWING NO.	C-2
SHEET NO.	4 OF 6

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GRADING AND DRAINAGE NOTES:

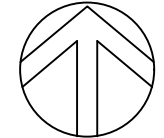
1. IN GENERAL, ALL SITE GRADING ADJACENT TO NEW BUILDINGS/STRUCTURES SHALL BE SLOPED TO DRAIN AWAY FROM FOUNDATIONS AT A MINIMUM OF 1.5% IN HARDSCAPE AREAS AND 5% IN LANDSCAPE AREAS. AREAS BETWEEN NEW STRUCTURES AND PROPERTY BOUNDARIES SHALL BE SLOPED TO RETAIN STORMWATER ON SITE AND RELEASED INTO EXISTING LANDSCAPED AREAS.
2. THE CONTRACTOR SHALL MAINTAIN ALL DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE PROPOSED DRAINAGE IMPROVEMENTS ARE IN PLACE, FUNCTIONING, AND APPROVED BY THE PROJECT ENGINEER.
3. ALL DRAINAGE PIPING SHALL MAINTAIN A MINIMUM OF EIGHTEEN (18") INCHES OF COVER IN ALL TRAFFIC AREAS OR A MINIMUM OF TWELVE (12") INCHES OF COVER IN LANDSCAPED AND NON-TRAFFIC AREAS.
4. CONTRACTOR TO WORK WITH PROJECT ENGINEER TO EVALUATE SUBSURFACE SOILS WITHIN FOOTPRINTS OF ALL DETENTION BASINS. IF SUBSURFACE SOILS ARE NOT FAVORABLE, THE OWNER/ENGINEER WILL WORK WITH CONTRACTOR TO DEVELOP A PLAN TO IMPROVE SUBSURFACE DRAINAGE.
5. STEEP SLOPE STABILIZATION TO BE USED ON SLOPES STEEPER THAN 3:1 - EROSION AND SEDIMENT CONTROL BMP 2

NOTES:

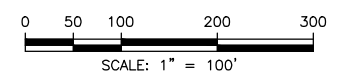
1. REFER TO DRAWING NO. G-2, SHEET 2 FOR PROJECT NOTES, LEGEND, AND SYMBOLS.
2. CULVERT LENGTHS INCLUDE METAL END SECTIONS. CONTRACTOR TO ADJUST PIPE LENGTHS TO ACCOUNT FOR METAL END SECTIONS.

KEY NOTES:

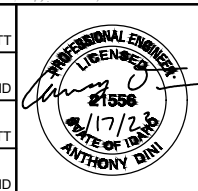
- 1 STABILIZATION OF CONSTRUCTION ENTRANCE/EXIT - EROSION AND SEDIMENT CONTROL BMP 40. CONTRACTOR TO ESTABLISH FINAL LOCATION.
- 2 SILT FENCE PROTECTION - EROSION AND SEDIMENT CONTROL BMP 65.
- 3 INSTALL STORM CULVERT INLET/OUTLET PROTECTION PER CIVIL TYPICAL DETAIL C1230/GC-1.



NORTH



NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCALL ENGINEERING SUBMITTAL	AMD	2/17/2023	AMD/GTT
				DRAWN
				AMD
				CHECKED
				GTT
				APPROVED
				AMD



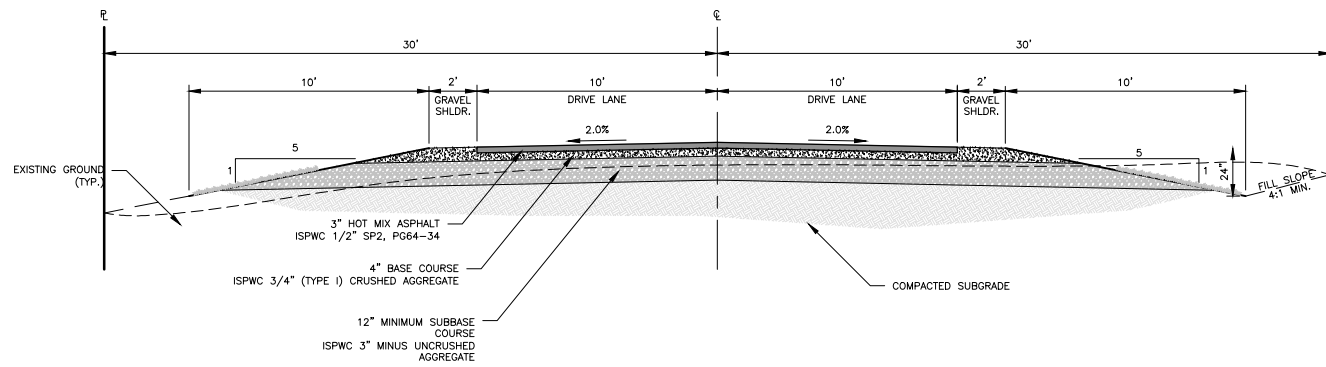
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RIVER RANCH PHASE 2
McCALL, IDAHO
 SECONDARY ACCESS ROAD AMENDMENT
 GRADING AND DRAINAGE PLAN

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	210720
DATE	2/17/2023
DRAWING NO.	SHEET NO.
C-3	5 OF 6

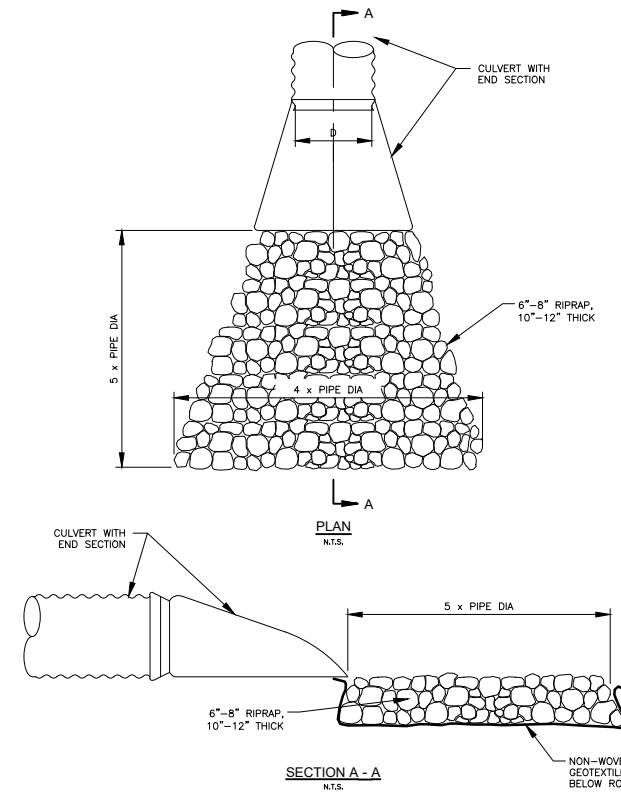
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NOTES:

1. COMPACTION AND TESTING FOR ALL AGGREGATE BASE/SUBBASE MATERIAL SHALL BE IN ACCORDANCE WITH ISPC 802.
2. ASPHALT FOUR (4") INCHES IN THICKNESS SHALL BE PLACED IN TWO (2") INCH LIFTS. ASPHALT THREE (3") INCHES OR LESS SHALL BE PLACED IN A SINGLE LIFT.
3. COMPACTION AND TESTING FOR ALL HOT MIX ASPHALT SHALL BE IN ACCORDANCE WITH ISPC SECTION 810 AND PROJECT PLANS AND SPECIFICATIONS.
4. REVEGETATE ALL DISTURBED AREAS WITH A CITY APPROVED GRASS MIXTURE OVER FOUR (4") INCHES OF TOPSOIL, PER APPROVED LANDSCAPING PLAN, OR AS INDICATED WITHIN THE PLANS.
5. ALL ROADWAY AREAS WITH GRAVEL SHOULDER TO HAVE SAFETY EDGE INSTALLED. SEE MSD-814 FOR SAFETY EDGE DETAIL.

C800 TYPICAL ROAD DETAIL
TYP. 1" = 4'



C1230 OUTLET PROTECTION
TYP. NOT TO SCALE

NO.	REVISION	BY	DATE	DESIGN
1.	CITY OF McCALL ENGINEERING SUBMITTAL	AMD	2/17/2023	AMD
				DRAWN AMD
				CHECKED GTT
				APPROVED AMD



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208.634.4140 · 208.634.4146 FAX

RIVER RANCH PHASE 2
McCALL, IDAHO
SECONDARY ACCESS ROAD AMENDMENT
CIVIL TYPICAL DETAILS

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	21076
DATE	2/17/2023
DRAWING NO.	SHEET NO.
GC-1	6 OF 6

Brian Parker

From: Jasen King <jking@idl.idaho.gov>
Sent: Tuesday, March 14, 2023 3:19 PM
To: Brian Parker
Subject: RE: City of McCall Request for Comment - PUDF-23-01 & FP-23-01

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brian,

The Idaho Department of Lands has “no comment” on the attached applications.

Sincerely,

Jasen X. King

LRSr – Nav Waters/Endowment Leasing

Idaho Department of Lands

555 Deinhard Lane, McCall, ID 83638

Office: (208) 634-7125

Email: jking@idl.idaho.gov

<https://www.idl.idaho.gov>



From: Brian Parker <bparker@mccall.id.us>

Sent: Tuesday, March 14, 2023 1:18 PM

To: Andrew Marini <Andrew.Marini@itd.idaho.gov>; Chip Bowers <chip@bowerslandssurveys.com>; Chris Curtin <ccurtin@mccall.id.us>; Cynda Herrick <cherrick@co.valley.id.us>; Dale Caza <dcaza@plrwsd.org>; Dallas Palmer <palmerd@mccall.id.us>; Dave Bingaman <dbingaman@co.valley.id.us>; David Simmonds <dsimmonds50@gmail.com>; Delta James <djames@mccall.id.us>; Emily Hart <ehart@mccall.id.us>; Garrett de Jong (garrett@mccallfire.com) <garrett@mccallfire.com>; IDL_Jurisdictional <IDL_Jurisdictional@idl.idaho.gov>; ITD Development Services <D3Development.Services@itd.idaho.gov>; ITD District 3 Permits <ITDD3Permits@itd.idaho.gov>; Jasen King <jking@idl.idaho.gov>; Jeff Bateman <jbateman@plrwsd.org>; Jeff Mcfadden (jmcfadden@co.valley.id.us) <jmcfadden@co.valley.id.us>; jennifer.schildgen@itd.idaho.gov; John Powell <jpowell@mccall.id.us>; Jordan Messner <jordan.messner@idfg.idaho.gov>; Kathy Riffie (kriffie@co.valley.id.us) <kriffie@co.valley.id.us>; Krystal Giessen <giessenk@mccall.id.us>; Kurt Wolf <kwolf@mccall.id.us>; Lance Holloway, DEQ <lance.holloway@deq.idaho.gov>; Laura Shealy BPLWQAC <idchik5@gmail.com>; Laurie Frederick, Valley Co Cartographer <lfrederick@co.valley.id.us>; Levi Brinkley <lbrinkley@mccall.id.us>; Linda Stokes <lstokes@mccall.id.us>; Lori Hunter (lhunter@co.valley.id.us) <lhunter@co.valley.id.us>; Lorraine Brush <lbrush@plrwsd.org>; Mark Wasdahl, ITD <mark.wasdahl@itd.idaho.gov>; Meredith Todd <mtodd@mccall.id.us>; Michelle Groenevelt <mgroenevelt@mccall.id.us>; Mike Reno <mreno@cdh.idaho.gov>; Morgan Stroud <mstroud@mccall.id.us>; Nathan Stewart <nstewart@mccall.id.us>; Rachel Santiago-Govier <rsantiago-govier@mccall.id.us>; Regan Berkley <regan.berkley@idfg.idaho.gov>; Sabrina Sims <ssims@mccall.id.us>; Scott Corkill <scorkill@idl.idaho.gov>; Sheri Staley - Idaho Power <sstaley@idahopower.com>; Steve Moser, Idaho Power <smoser@idahopower.com>; Valley County Road Dept <roaddept@co.valley.id.us>; Vincent Tromboli <Vincent.Tromboli@itd.idaho.gov>

Subject: City of McCall Request for Comment - PUDF-23-01 & FP-23-01

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All,

Please provide comment on the following application by March 24, 2023.

[PUDF-23-01 & FP-23-01 - River Ranch Phase 2](#)

Thank you,

Brian Parker, AICP | City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4256 | Fax: 208.634.3038



City of McCall

Web: mccall.id.us

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Social: [Facebook.com/cityofmccall](https://www.facebook.com/cityofmccall)

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Brian Parker

From: Emily Hart
Sent: Wednesday, March 15, 2023 2:20 PM
To: Brian Parker
Cc: Meredith Todd
Subject: RE: City of McCall Request for Comment - PUDF-23-01 & FP-23-01

Brian,

See Airport Comments below:

From: Brian Parker <bparker@mccall.id.us>
Sent: Tuesday, March 14, 2023 1:18 PM
To: Andrew Marini <Andrew.Marini@itd.idaho.gov>; Chip Bowers <chip@bowerslandssurveys.com>; Chris Curtin <ccurtin@mccall.id.us>; Cynda Herrick <cherrick@co.valley.id.us>; Dale Caza <dcaza@plrwds.org>; Dallas Palmer <palmerd@mccall.id.us>; Dave Bingaman <dbingaman@co.valley.id.us>; David Simmonds <dsimmonds50@gmail.com>; Delta James <djames@mccall.id.us>; Emily Hart <ehart@mccall.id.us>; Garrett de Jong (garrett@mccallfire.com) <garrett@mccallfire.com>; IDL Jurisdictional Inbox <IDL_jurisdictional@idl.idaho.gov>; ITD Development Services <D3Development.Services@itd.idaho.gov>; ITD District 3 Permits <ITDD3Permits@itd.idaho.gov>; Jasen King, IDL <jking@idl.idaho.gov>; Jeff Bateman <jbateman@plrwds.org>; Jeff Mcfadden (jmcfadden@co.valley.id.us) <jmcfadden@co.valley.id.us>; jennifer.schildgen@itd.idaho.gov; John Powell <jpowell@mccall.id.us>; Jordan Messner <jordan.messner@idfg.idaho.gov>; Kathy Riffie (kriffie@co.valley.id.us) <kriffie@co.valley.id.us>; Krystal Giessen <giessenk@mccall.id.us>; Kurt Wolf <kwolf@mccall.id.us>; Lance Holloway, DEQ <lance.holloway@deq.idaho.gov>; Laura Shealy BPLWQAC <idchik5@gmail.com>; Laurie Frederick, Valley Co Cartographer <lfr frederick@co.valley.id.us>; Levi Brinkley <lbrinkley@mccall.id.us>; Linda Stokes <lstokes@mccall.id.us>; Lori Hunter (lhunter@co.valley.id.us) <lhunter@co.valley.id.us>; Lorraine Brush <lbrush@plrwds.org>; Mark Wasdahl, ITD <mark.wasdahl@itd.idaho.gov>; Meredith Todd <mtodd@mccall.id.us>; Michelle Groenevelt <mgroenevelt@mccall.id.us>; Mike Reno <mreno@cdh.idaho.gov>; Morgan Stroud <mstroud@mccall.id.us>; Nathan Stewart <nstewart@mccall.id.us>; Rachel Santiago-Govier <rsantiago-govier@mccall.id.us>; Regan Berkley <regan.berkley@idfg.idaho.gov>; Sabrina Sims <ssims@mccall.id.us>; Scott Corkill, IDL <scorkill@idl.idaho.gov>; Sheri Staley - Idaho Power <sstaley@idahopower.com>; Steve Moser, Idaho Power <smoser@idahopower.com>; Valley County Road Dept <roaddept@co.valley.id.us>; Vincent Tromboli <Vincent.Tromboli@itd.idaho.gov>
Subject: City of McCall Request for Comment - PUDF-23-01 & FP-23-01

All,

Please provide comment on the following application by March 24, 2023.

[PUDF-23-01 & FP-23-01 - River Ranch Phase 2](#) IN HORIZONTAL SURFACE. FAA FORM 7460-1 REQUIRED WITH BUILDING PERMIT. NOTIFICATION TO RESIDENTS OF AIRPORT PROXIMITY AND ASSOCIATED RISK, NOISE, AND FUMES IN CCRS.

Thank you,

Brian Parker, AICP | City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4256 | Fax: 208.634.3038



City of McCall

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From: [Jeff Bateman](#)
To: [Brian Parker](#)
Subject: PUDF-23-01 & FP-23-01 River Ranch Phase 2
Date: Thursday, March 16, 2023 11:07:35 AM
Attachments: [image001.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brian,
Payette Lakes Recreational Water and Sewer District has reviewed the above referenced projects, and we do not have any comments at this time.

Jeff Bateman
Manager, Payette Lakes Recreational Water and Sewer District
(208) 634-4111



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Brian Parker

From: Brian Parker
Sent: Friday, March 17, 2023 3:59 PM
To: Devon Spickard
Cc: mellis@co.valley.id.us; Jeff Mcfadden (jmcfadden@co.valley.id.us)
Subject: FW: City of McCall Request for Comment - PUDF-23-01 & FP-23-01

Devon,

Please see the comment below from the Valley County Road & Bridge Department.

Thank you,

Brian Parker, AICP | City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4256 | Fax: 208.634.3038



Web: mccall.id.us
Blog: mccallcitysource.com
Social: [Facebook.com/cityofmccall](https://www.facebook.com/cityofmccall)


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From: Mickee Ellis <mellis@co.valley.id.us>
Sent: Wednesday, March 15, 2023 2:59 PM
To: Brian Parker <bparker@mccall.id.us>; Jeff Mcfadden <jmcfadden@co.valley.id.us>
Subject: Re: City of McCall Request for Comment - PUDF-23-01 & FP-23-01

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Any roads built off of Mission or Moonridge will require an Approach in County ROW permit from Valley County Road Department.

From: Brian Parker <bparker@mccall.id.us>
Sent: Tuesday, March 14, 2023 1:17 PM
To: Andrew Marini <Andrew.Marini@itd.idaho.gov>; Chip Bowers <chip@bowerslandsurveys.com>; Chris Curtin <ccurtin@mccall.id.us>; Cynda Herrick <cherrick@co.valley.id.us>; Dale Caza <dcaza@plrwsd.org>; Dallas Palmer <palmerd@mccall.id.us>; Dave Bingaman <dbingaman@co.valley.id.us>; David Simmonds <dsimmonds50@gmail.com>; djames@mccall.id.us <djames@mccall.id.us>; Emily Hart <ehart@mccall.id.us>; Garrett de Jong (garrett@mccallfire.com) <garrett@mccallfire.com>; IDL Jurisdictional Inbox <IDL_jurisdictional@idl.idaho.gov>; ITD Development Services <D3Development.Services@itd.idaho.gov>; ITD District 3 Permits <ITDD3Permits@itd.idaho.gov>;

Jasen King, IDL <jking@idl.idaho.gov>; Jeff Bateman <jbateman@plrwsd.org>; Jeff Mcfadden <jmcfadden@co.valley.id.us>; jennifer.schildgen@itd.idaho.gov <jennifer.schildgen@itd.idaho.gov>; John Powell <jpowell@mccall.id.us>; Jordan Messner <jordan.messner@idfg.idaho.gov>; Kathy Riffie <kriffie@co.valley.id.us>; giessenk@mccall.id.us <giessenk@mccall.id.us>; Kurt Wolf <kwolf@mccall.id.us>; Lance Holloway, DEQ <lance.holloway@deq.idaho.gov>; Laura Shealy BPLWQAC <idchik5@gmail.com>; Laurie Frederick <lfrederick@co.valley.id.us>; Levi Brinkley <lbrinkley@mccall.id.us>; Linda Stokes <lstokes@mccall.id.us>; Lori Hunter <lhunter@co.valley.id.us>; Lorraine Brush <lbrush@plrwsd.org>; Mark Wasdahl, ITD <mark.wasdahl@itd.idaho.gov>; Meredith Todd <mtodd@mccall.id.us>; Michelle Groenevelt <mgroenevelt@mccall.id.us>; Mike Reno <mreno@cdh.idaho.gov>; Morgan Stroud <mstroud@mccall.id.us>; Nathan Stewart <nstewart@mccall.id.us>; Rachel Santiago-Govier <rsantiago-govier@mccall.id.us>; Regan Berkley <regan.berkley@idfg.idaho.gov>; Sabrina Sims <ssims@mccall.id.us>; Scott Corkill <scorkill@idl.idaho.gov>; Sheri Staley - Idaho Power <sstaley@idahopower.com>; Steve Moser, Idaho Power <smoser@idahopower.com>; Valley County Road Department <roaddept@co.valley.id.us>; Vincent Tromboli <Vincent.Trimboli@itd.idaho.gov>

Subject: City of McCall Request for Comment - PUDF-23-01 & FP-23-01

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All,

Please provide comment on the following application by March 24, 2023.

[PUDF-23-01 & FP-23-01 - River Ranch Phase 2](#)

Thank you,

Brian Parker, AICP | City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4256 | Fax: 208.634.3038



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From: [Garrett de Jong](#)
To: [Brian Parker](#)
Subject: RE: City of McCall Request for Comment - PUDF-23-01 & FP-23-01 - McCall Fire Comments
Date: Wednesday, March 22, 2023 9:36:46 AM
Attachments: [image004.png](#)
[image005.png](#)
[image006.png](#)

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Hi Brian,

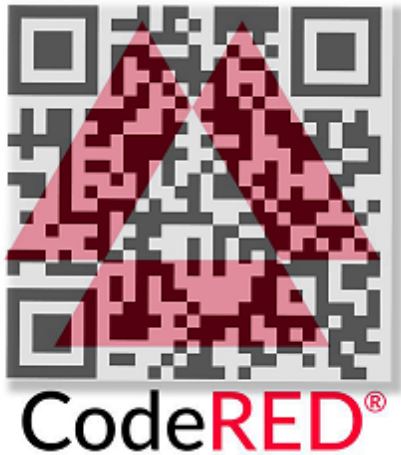
I do not have any comments regarding PUDF-23-01 & FP-23-01 - River Ranch Phase 2.

Thank you,

Garrett de Jong
Fire Chief - McCall Fire & EMS



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From: Brian Parker <barker@mccall.id.us>

Sent: Tuesday, March 14, 2023 1:18 PM

To: Andrew Marini <Andrew.Marini@itd.idaho.gov>; Chip Bowers <chip@bowerslandsurveys.com>; Chris Curtin <ccurtin@mccall.id.us>; Cynda Herrick <cherrick@co.valley.id.us>; Dale Caza <dcaza@plrwsd.org>; Dallas Palmer <palmerd@mccall.id.us>; Dave Bingaman <dbingaman@co.valley.id.us>; David Simmonds <dsimmonds50@gmail.com>; Delta James <djames@mccall.id.us>; Emily Hart <ehart@mccall.id.us>; Garrett de Jong <garrett@mccallfire.com>; IDL Jurisdictional Inbox <IDL_jurisdictional@idl.idaho.gov>; ITD Development Services <D3Development.Services@itd.idaho.gov>; ITD District 3 Permits <ITDD3Permits@itd.idaho.gov>; Jasen King, IDL <jking@idl.idaho.gov>; Jeff Bateman <jbateman@plrwsd.org>; Jeff Mcfadden (jmcfadden@co.valley.id.us) <jmcfadden@co.valley.id.us>; jennifer.schildgen@itd.idaho.gov; John Powell <jpowell@mccall.id.us>; Jordan Messner <jordan.messner@idfg.idaho.gov>; Kathy Riffie (kriffie@co.valley.id.us) <kriffie@co.valley.id.us>; Krystal Giessen <giessenk@mccall.id.us>; Kurt Wolf <kwolf@mccall.id.us>; Lance Holloway, DEQ <lance.holloway@deq.idaho.gov>; Laura Shealy BPLWQAC <idchik5@gmail.com>; Laurie Frederick, Valley Co Cartographer <lfr frederick@co.valley.id.us>; Levi Brinkley <lbrinkley@mccall.id.us>; Linda Stokes <lstokes@mccall.id.us>; Lori Hunter (lhunter@co.valley.id.us) <lhunter@co.valley.id.us>; Lorraine Brush <lbrush@plrwsd.org>; Mark Wasdahl, ITD <mark.wasdahl@itd.idaho.gov>; Meredith Todd <mtodd@mccall.id.us>; Michelle Groenevelt <mgroenevelt@mccall.id.us>; Mike Reno <mreno@cdh.idaho.gov>; Morgan Stroud <mstroud@mccall.id.us>; Nathan Stewart <nstewart@mccall.id.us>; Rachel Santiago-Govier <rsantiago-govier@mccall.id.us>; Regan Berkley <regan.berkley@idfg.idaho.gov>; Sabrina Sims <ssims@mccall.id.us>; Scott Corkill, IDL <scorkill@idl.idaho.gov>; Sheri Staley - Idaho Power <sstaley@idahopower.com>; Steve Moser, Idaho Power <smoser@idahopower.com>; Valley County Road Dept <roaddept@co.valley.id.us>; Vincent Tromboli <Vincent.Tromboli@itd.idaho.gov>

Subject: City of McCall Request for Comment - PUDF-23-01 & FP-23-01

All,

Please provide comment on the following application by March 24, 2023.

[PUDF-23-01 & FP-23-01 - River Ranch Phase 2](#)

Thank you,

Brian Parker, AICP | City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4256 | Fax: 208.634.3038



City of McCall

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Social: [Facebook.com/cityofmccall](https://www.facebook.com/cityofmccall)

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From: [Wendy Howell](#)
To: [Brian Parker](#)
Cc: [Meredith Todd](#)
Subject: RE: City of McCall Request for Comment - PUDF-23-01 & FP-23-01
Date: Tuesday, March 21, 2023 3:18:41 PM
Attachments: [image001.png](#)
[image002.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brian,

Thank you for the opportunity to review River Ranch No 2. This development does not abut the State Highway system thus ITD has no objections to this project.

Thank you,

Wendy I Howell
Development Services Coordinator
ITD – District 3

From: Brian Parker <barker@mccall.id.us>
Sent: Tuesday, March 21, 2023 1:55 PM
To: Wendy Howell <Wendy.Howell@itd.idaho.gov>
Cc: Meredith Todd <mtodd@mccall.id.us>
Subject: RE: City of McCall Request for Comment - PUDF-23-01 & FP-23-01

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Interesting. Do you happen to know what link filter system ITD uses so we can figure out how to clear iWorq links through it?

Brian Parker, AICP | City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4256 | Fax: 208.634.3038



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From: Wendy Howell <Wendy.Howell@itd.idaho.gov>
Sent: Tuesday, March 21, 2023 1:44 PM
To: Brian Parker <bparker@mccall.id.us>
Subject: RE: City of McCall Request for Comment - PUDF-23-01 & FP-23-01

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I can't get this one to come through for me. Can you please send it to me?

Thanks,

Wendy

From: Brian Parker <bparker@mccall.id.us>
Sent: Tuesday, March 14, 2023 1:18 PM
To: Andrew Marini <Andrew.Marini@itd.idaho.gov>; Chip Bowers <chip@bowerslandsurveys.com>; Chris Curtin <ccurtin@mccall.id.us>; Cynda Herrick <cherrick@co.valley.id.us>; Dale Caza <dcaza@plrwds.org>; Dallas Palmer <palmerd@mccall.id.us>; Dave Bingaman <dbingaman@co.valley.id.us>; David Simmonds <dsimmonds50@gmail.com>; Delta James <djames@mccall.id.us>; Emily Hart <ehart@mccall.id.us>; Garrett de Jong (<garrett@mccallfire.com>) <garrett@mccallfire.com>; IDL Jurisdictional Inbox <IDL_jurisdictional@idl.idaho.gov>; D3 Development Services <D3Development.Services@itd.idaho.gov>; ITDD3Permits <ITDD3Permits@itd.idaho.gov>; Jasen King, IDL <jking@idl.idaho.gov>; Jeff Bateman <jbateman@plrwds.org>; Jeff Mcfadden (<jmcfadden@co.valley.id.us>) <jmcfadden@co.valley.id.us>; Jennifer Schildgen <Jennifer.Schildgen@itd.idaho.gov>; John Powell <jpowell@mccall.id.us>; Jordan Messner <jordan.messner@idfg.idaho.gov>; Kathy Riffie (<kriffie@co.valley.id.us>) <kriffie@co.valley.id.us>; Krystal Giessen <giessenk@mccall.id.us>; Kurt Wolf <kwolf@mccall.id.us>; Lance Holloway, DEQ <lance.holloway@deq.idaho.gov>; Laura Shealy BPLWQAC <ldchik5@gmail.com>; Laurie Frederick, Valley Co Cartographer <lfrederick@co.valley.id.us>; Levi Brinkley <lbrinkley@mccall.id.us>; Linda Stokes <lstokes@mccall.id.us>; Lori Hunter (<lhunter@co.valley.id.us>) <lhunter@co.valley.id.us>; Lorraine Brush <lbrush@plrwds.org>; Mark Wasdahl <Mark.Wasdahl@itd.idaho.gov>; Meredith Todd <mtodd@mccall.id.us>; Michelle Groenevelt <mgroenevelt@mccall.id.us>; Mike Reno <mreno@cdh.idaho.gov>; Morgan Stroud <mstroud@mccall.id.us>; Nathan Stewart <nstewart@mccall.id.us>; Rachel Santiago-Govier <rsantiago-govier@mccall.id.us>; Regan Berkley <regan.berkley@idfg.idaho.gov>; Sabrina Sims <ssims@mccall.id.us>; Scott Corkill, IDL <scorkill@idl.idaho.gov>; Sheri Staley - Idaho Power <[sstaley@idahopower.com](mailto:ssstaley@idahopower.com)>; Steve Moser, Idaho Power <smoser@idahopower.com>; Valley County Road Dept <roaddept@co.valley.id.us>; Vincent Trimboli <Vincent.Trimboli@itd.idaho.gov>

Subject: City of McCall Request for Comment - PUDF-23-01 & FP-23-01

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All,

Please provide comment on the following application by March 24, 2023.

[PUDF-23-01 & FP-23-01 - River Ranch Phase 2](#)

Thank you,

Brian Parker, AICP | City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4256 | Fax: 208.634.3038



City of McCall

Web: mccall.id.us
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From: [Morgan Stroud](#)
To: [Devon Spickard](#)
Cc: [Brian Parker](#); [Meredith Todd](#)
Subject: PUDF 23-01 - River Ranch Phase 2 - Engineering Review
Date: Wednesday, March 29, 2023 4:53:42 PM
Attachments: [image001.png](#)

The Public Works Department has reviewed the documents submitted for review for **PUDF 23-01** and have the following comments and concerns.

1. Please detail what will happen with the remaining piece of property between the new access roadway and Lot 32.
2. Add a detail of the pathway cross-section that was constructed to the “secondary access plans”.
3. Please detail the pathway crossing of the new secondary access roadway.
4. As previously discussed with the design team, our understanding of the changes occurring to the infrastructure extension to Moonridge at the old access point includes:
 - a. Removing the hydrant that was previously to be located at the corner of Moonridge and the secondary access,
 - b. Extending and capping the watermain out of the Rawhide Loop to allow for a future extension,
 - c. Removing the improvements shown on Moonridge Drive,
 - d. Removing the surfacing improvements on the access road
5. The proposed changes in 2 will be reflected in the as-built drawings for the property that are provided to the City after construction is completed.
6. A utility easement will remain in the alignment of the previous secondary access to accommodate a future connection to the City’s watermain system.
7. Please provide quantities and units with the cost estimate provided by Falvey’s for the public improvements. Currently there are only totals for line items, but to validate the estimates shown, we need to see the quantities and units.
8. Reviewing the draft easement language provided for the pathway easement. There is some concern regarding item 5 allowing for the grantor to relocate the pathway at anytime with the language in item 4 detailing that the City is responsible for all the maintenance of this pathway.

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Thank you,



Morgan Stroud, E.I.T.
Staff Engineer
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City of McCall Design Guidelines



Origin

The document
was created
for the city of
McCall on
March 16,
2006

Purpose

Outlines ways for developers to develop land in a way that benefits McCall

Value

Provides well
thought out
guidelines to
help McCall
grow and
develop

Limitations

The document is 17 years old, and some things have changed

Why I am Here

- Solar panels
- Natural disasters
- Isolation

February 17, 2023

City of McCall
216 East Park Street
McCall, ID 83638

McCall City Council,

Thank you for the opportunity to submit my resume and letter of interest for the McCall Planning and Zoning Commission. I am a resident of the City of McCall.

As a local resident I have an interest in development and future growth of the City of McCall. While serving as a member of the Housing Advisory Committee I had the opportunity to gain an understanding of the McCall Area Comprehensive Plan, McCall Area Housing Strategy, and City Code. I was also directly involved in the planning and development of the Local Housing Action Plan which was adopted by the City Council. My background in construction has given me experience in planning and designing new homes and remodeling existing homes using the City, County, and International Building Codes. I remain committed to local housing and work with developers that are interested in building affordable housing units.

I am excited to submit my letter of interest and resume for consideration and feel that I will bring a strong background and wide range of experience to the commission.

Thank you for your consideration and I look forward to hearing from you soon.

Toni Curtis, Owner
Summit Realty McCall
Mountain Living Management
PO Box 2006
McCall, ID 83636
208-630-3553

Toni Curtis

PO Box 2006
McCall, ID 83638
toni@summitrealtymccall.com
208-630-3553

OBJECTIVE

Seeking a position on the McCall Planning and Zoning Commission.

SUMMARY OF QUALIFICATIONS

- Experienced professional office manager with a strong background in bookkeeping
- Organized, detail oriented, with the ability to communicate and solve problems quickly
- Skilled in Quick Books, Microsoft office, Apple, and use of general office equipment
- Strong work ethic, high level of integrity, and honesty
- Desire to learn new skills and take on new challenges
- Customer service and experience in a fast paced office environment
- Experienced in office management, staff management, and project management
- Excellent written and verbal communication skills
- Licensed, bonded, insured general contractor RCT#43923
- Licensed Idaho State Realtor #SP51333

PROFESSIONAL EXPERIENCE

Summit Realty McCall/ Silvercreek Realty Group 07/2020 to present

- Real Estate Sales and Marketing
- Transaction management
- Written and verbal communication
- Data entry

Mountain Living Management, owner 10/09 to present

- Accounts Receivable and Accounts Payable
- Billing, filing, all communications written and verbal
- Quick Books entries, bank reconciliation, and excel spreadsheets
- Advertising, promotion, and customer service
- Client and staff scheduling
- Detailed property management and cleaning service
- Remodeling project management
- Property leasing

- DoneRight Management, Territory Property Manager 10/18 to 05/19
- Direct contact with property owners
 - Manage property performance and guest complaints
 - Detailed property inspections, photos, and maintain property inventory
 - Housekeeping and housekeeping management
 - Schedule and supervise property maintenance and property improvements
- Cutler Umbach, personal assistant 11/09 to 02/18
- Provide compassionate care and support for patient with memory loss
 - Companionship, patience, flexibility, and organization
 - Cleaning, errands, doctors appointments, and household management
- Brian Charles, DMD, Assistant Office Manager 11/10 to 09/11
- Answer multi-line phones, patient scheduling, and general office administrative duties
 - Receive payments, reconcile cash, and prepare bank deposits
 - Organizing, filing, prioritizing tasks while maintaining detailed records
 - Medical charting, terminology, and insurance verification, and billing
 - Coverage of front desk and customer service
- McCall Fire Protection District, volunteer fire fighter/ EMT 06/01 to 06/12
- Maintained national certification for ADV EMT/ fire fighter
 - Provide patient care and support in a pre hospital setting
 - Prepare patient care reports, charting, and medical terminology
 - Continuing education and training
 - Data entry and coding
 - Patient vital signs, patient history, and chief complaint
 - Wound care and splinting
 - Problem solving
- Summit Building and Remodeling, co-owner 06/01 to 06/12
- Accounts Receivable and Accounts Payable
 - Billing, filing, all written and verbal communication
 - Data entry and bank reconciliation
 - QuickBooks and Microsoft office products
 - Client and subcontractor management
 - Reconcile all client accounts, material purchases and contractors
 - Project cost and schedule management
- McCall Memorial Hospital, surgical staff/ nursing floor/ ER 11/03 to 12/04
- Set up and maintain sterile field for patient procedures
 - Account for all surgical instruments and supplies
 - Assist surgeon as needed with procedures
 - Wash and decontaminate surgical instruments
 - Medical terminology and continuing education
 - Patient history and chief complaint
 - Patient vital signs and wound care

Back Country Chiropractic, receptionist 11/01 to 10/02

- Patient scheduling, answer phones, receive payments and prepare deposits
- Insurance billing, coding, medical terminology
- Collected insurance payments for previously denied insurance claims
- Customer service and maintain patient exam rooms
- Coverage of front desk and customer service
- Room patients and prepare room for next patient

The Eye Surgery Institute, Redmond, OR, Clinic and OR Tech 01/97 to 01/99

- Reception, scheduling, multi line phones, and office equipment
- Room patients, vital signs, and chief complaint
- Pre-exam testing, pre-surgery testing, and surgery scheduling
- Clinic tech, testing, patient history, charting, and medical terminology
- Sterile processing tech, surgical instrument cleaning and maintenance
- Assist in the operating room with surgical procedures

EDUCATION

- 06/2020: Idaho Real Estate Sales; Mod 1 and Mod 2
- 06/2020: Continuing Education
- 2001/2012: Continuing Education for fire and EMS certifications
- 2005: Advanced EMT state and national certification
- 2003: Basic EMT state and national certification
- 2002: First Responder state and national certification
- 1999: Central Oregon Community College: Marketing
- 1998: Scrub Tech/ Ophthalmology Assistant
- 1989-1991: Central Oregon Community College: General Accounting/ Business Management
- 1989: Bend Senior High School: Diploma

Licenses

Real Estate License: SP51333

Registered Individual Contractor: RCT-43923

VOLUNTEER POSITIONS

07/20 to 07/22: Housing Advisory Committee Member

08/20 to 11/22: Housing Advisory Committee Chair

07/22 to Present: LOT Commissioner

January 26, 2003

McCall City Clerk

Ms. Bessie Jo Wagner

I am writing once again to express my interest in applying for the open position on the Planning and Zoning Commission. I have been a member of the Parks and Recreation advisory committee for some time and have been the chairperson for the past 2 years. Over my almost 3 years on the committee, I have enjoyed being involved in the government of my hometown and am interested in becoming further involved. I am also a member of the LOT commission and wish to continue serving the community my wife and I have chosen to be a part of.

I am a licensed CPA with a lengthy career consulting and advising small businesses and individuals in all areas of finance, accounting, and tax work. I have been a member of many non-profit organizations, serving as a flag officer of the Mill Harbor Yacht Club at May Marina for 6 years. I have also worked as an event manager for the Leukemia and Lymphoma Society and before moving to McCall full-time, as a board member of Radio Boise, people powered community radio in the Treasure Valley.

Over my 31 years sailing on Payette Lake and more recently a business owner and homeowner in McCall, I have some knowledge of the historical and current challenges the town has faced and have some clear ideas on how to meet them going forward.

In closing, I hope you will consider my application to become a member of the commission. I believe that I have been an asset on the other committees I am a part of and look forward to learning more about the operation of the city as I become a more involved citizen.

Sincerely

Dave Petty

912B Fairway Dr

McCall, ID 83638

To the Planning and Zoning Committee,

I'm interested in applying for the open volunteer position on the planning and zoning committee. I've been living in McCall on and off since the mid 1990's. I moved here to start a branch of the Pacific Crest Outward Bound School; we operated wilderness courses in the mountain areas north and east of town and on the Salmon River until 2005. We were always very connected with the community doing many volunteer projects and giving local kids scholarships for the wilderness courses. Since then, I have found many reasons to return year after year most recently moving here with my wife and 2 teenage children permanently in 2020. Currently I am a small-scale builder with about one build a year as I move towards retirement.

I've worked on both sides of planning committees. Not only do I have extensive experience with building, rehabbing, selling and renting homes but I have also restored several historic homes requiring very close relationships with local governments and public private partnerships. Additionally, I have enjoyed several close partnerships with outfitters and the Forest Service in several western states. Locally I worked with the late Clem Pope to help create better standards for outfitters working in the local lands and forests.

I feel so fortunate to be a member of a town that I have always held in high regard. As I think about my increasing time entering retirement, I thought that I might be of use to the community. I love McCall and want to give back to a town that I've enjoyed for years. I think that my diversity of life experience will help me with sound judgment while helping guide the future of our incredible town.

Thanks for the consideration.

Mike Spilotros

1405 Dragonfly Loop
McCall, ID 83638